

DEVELOPMENT APPLICATION

DRAWING SCHEDULE

SITE ANALYSIS PLAN	01
DEMOLITION PLAN	02
PROPOSED SUBDIVISION PLAN	03
PROPOSED SITE PLAN	04
PROPOSED GROUND FLOOR PLAN	05
PROPOSED FIRST FLOOR PLAN	06
PROPOSED SECOND FLOOR PLAN	07
PROPOSED ROOF PLAN	08
NORTH AND EAST ELEVATION	09
SOUTH AND WEST ELEVATIONS	10
NORTH AND SOUTH ELEVATIONS (GARAGE)	11
SECTION VIEW	12
SECTION VIEW	13
SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES	14
FRONT FENCE DETAILS	15
SHADOW DIAGRAMS 21ST OF JUNE - 9AM	16
SHADOW DIAGRAMS 21ST OF JUNE - 10AM	17
SHADOW DIAGRAMS 21ST OF JUNE - 11AM	18
SHADOW DIAGRAMS 21ST OF JUNE - 12PM	19
SHADOW DIAGRAMS 21ST OF JUNE - 1PM	20
SHADOW DIAGRAMS 21ST OF JUNE - 2PM	21
SHADOW DIAGRAMS 21ST OF JUNE - 3PM	22
ELEVATION SHADOW DIAGRAMS 21ST OF JUNE - GARAGE (NORTH FACE)	24
NEIGHBOUR ALLOTMENT ANALYSIS	26
LONG SECTIONS ALONG TRADE LANE	27

ISSUE DETAILS

A	09.03.21	ISSUED FOR DEVELOPMENT APPLICATION
B	22.03.2021	ISSUED FOR RESPONSE TO LETTER OF ASSESSMENT

This application has been

REFUSED

Determination No: DA/2020/0993

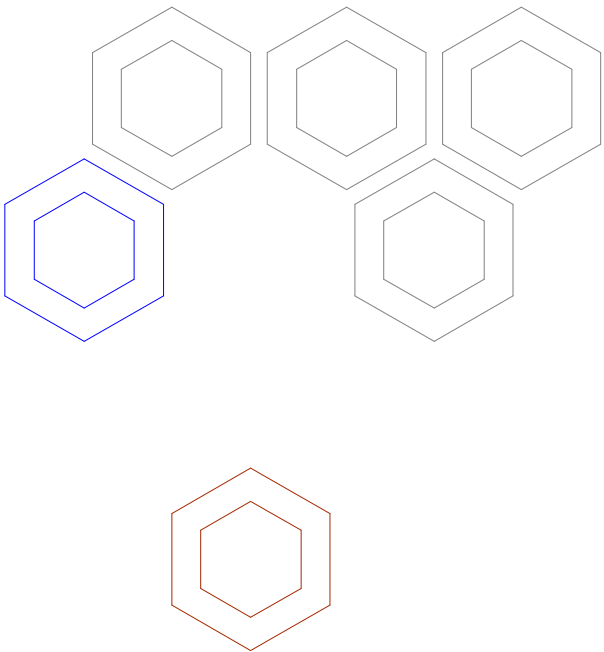
Determination Date: 8 June 2021

See attached reasons for refusal



ADDITIONAL INFORMATION

A01	OWNER'S CONSENT FORM
A02	SURVEY PLAN
A03	BASIX & NATHERS CERTIFICATION
A04	STORMWATER PLAN
A05	LANDSCAPE PLAN
A06	ACOUSTIC REPORT (ANEF ASSESSMENT)
A07	STATEMENT OF ENVIRONMENTAL EFFECTS
A08	WASTE MANAGEMENT PLAN
A09	QUANTITY SURVEYORS REPORT
A10	ARBORIST REPORT
A11	TRAFFIC ASSESSMENT REPORT

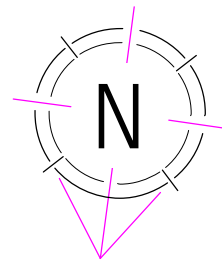


PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET,
CAMPERDOWN NSW 2050

UNIQUE DEVELOPMENTS PTY LTD





690m TO
NEWTOWN
TRAIN STATION

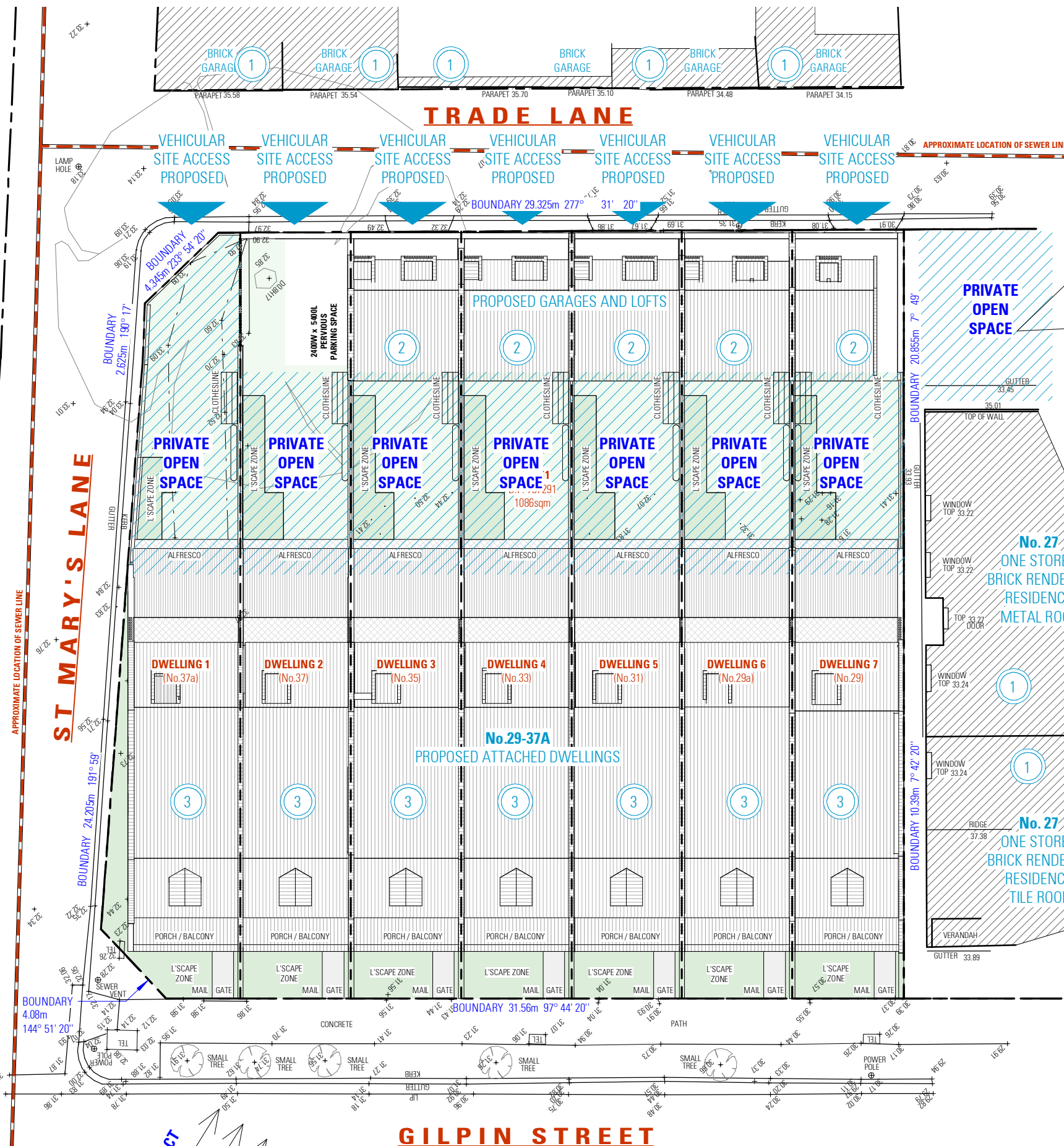
400m TO
CAMPERDOWN
MEMORIAL REST
PARK



90m TO
GEORGE SMITH
PLAYGROUND

570m TO
CAMPERDOWN
PARK

SITE ANALYSIS PLAN



KEY	ITEM	SYMBOL
	NUMBER OF STOREYS	①/②
	POSSIBLE OVERLOOKING	
	PRIVATE OPEN SPACE	
	REDUCED LEVELS	
SITE		
SITE DETAILS		
SITE LENGTH (APPROX.)		31.24 m
SITE WIDTH (APPROX.)		34.33 m
SITE AREA		1086m²



720m TO
STANMORE
PUBLIC SCHOOL

870m TO
STANMORE
TRAIN STATION

This application has been

REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal

NOTES

- ALL DIMENSIONS ARE IN MILLIMETERS
- VERIFY ALL DIMENSIONS ON SITE
- DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
- VERIFY ALL DISCREPANCIES WITH THE DESIGNER
- ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED ANUPAMA SAHA
UNIQUE DEVELOPMENTS PTY LTD

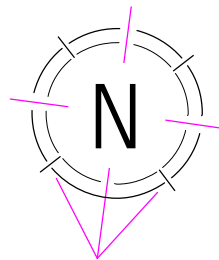
DRAWING

SITE ANALYSIS PLAN

SCALE 1 : 200 / A3
ISSUE B 22.03.2021

DWG No. 20153 - 01

NOT FOR CONSTRUCTION



EXISTING TREES TO BE REMOVED (SHOWN DASHED)- SEVEN (7) No. OF TREES IN TOTAL. REFER TO ARBORIST REPORT FOR MORE DETAILS

EXISTING DWELLINGS TO BE DEMOLISHED (SHOWN HATCHED)

EXISTING DWELLINGS TO BE DEMOLISHED (SHOWN HATCHED)

EXISTING CONCRETE FOOTPATHS TO BE REMOVED (SHOWN DASHED)- TYPICAL

EXISTING SEWER VENT SHAFT TO BE RELOCATED TO RELEVANT AUTHORITY APPROVAL

EXISTING LANEWAY POWER POLE TO BE RELOCATED TO RELEVANT AUTHORITY APPROVAL

EXISTING CONCRETE DRIVEWAYS TO BE REMOVED (SHOWN DASHED) - TYPICAL

EXISTING GARAGE TO BE DEMOLISHED (SHOWN HATCHED)

EXISTING GARAGE TO BE DEMOLISHED (SHOWN HATCHED)

EXISTING BRICK FENCE WALLS TO BE REMOVED (SHOWN DASHED) - TYPICAL

EXISTING SHRUBS TO BE REMOVED (SHOWN DASHED) - TYPICAL

EXISTING VEHICULAR CROSSING TO BE REMOVED AND PATHWAY TO BE RECONSTRUCTED TO THE SPECIFICATIONS OF COUNCIL

This application has been

REFUSED

Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal



DEMOLITION PLAN

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/ DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN
UNIQUE DEVELOPMENTS PTY LTD

DRAWING

DEMOLITION PLAN

SCALE 1 : 200 / A3
ISSUE B 22.03.2021

DWG No. 20153 - 02

NOT FOR CONSTRUCTION



INNER WEST

No. 27
ONE STOREY
BRICK RENDERED
RESIDENCE
TILE ROOF

32865 SITE DEPTH

APPROXIMATE LOCATION OF SEWER LINE

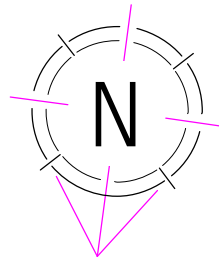
ST MARY'S LANE

26825

TRADE LANE

GILPIN STREET

Document Set ID: 34987323
Version: 1, Version Date: 11/06/2021



This application has been

REFUSED

Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal

INNER WEST

14620
GROUND FLOOR DWELLINGS DEPTH
14020
BALCONY
2000
SETB. PORCH

EXISTING SEWER VENT SHAFT
TO BE RELOCATED TO RELEVANT
AUTHORITY APPROVAL



PROPOSED SITE PLAN

NOTES:
REFER TO LANDSCAPE PLAN FOR DETAILS
REFER TO STORMWATER PLAN FOR STORMWATER DETAILS / SEDIMENT AND EROSION CONTROL PLAN
REFER TO STRUCTURAL PLAN FOR RETAINING WALL DETAILS
REFER TO STORMWATER PLAN AND BASIX REPORT FOR RAINWATER TANK DETAILS
ALL WORKS TO BE MAINTAINED OR CONSTRUCTED AT A HEIGHT OF 1800mm ABOVE NGL

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN
UNIQUE DEVELOPMENTS PTY LTD

DRAWING

PROPOSED SITE PLAN

SCALE 1 : 200 / A3
ISSUE B 22.03.2021

DWG No. 20153 - 04

UNIT 1 CALCULATIONS

LOT AREA	154.46sqm
GROUND FLOOR AREA	61.86sqm
FIRST FLOOR AREA	44.45sqm
SECOND FLOOR AREA	26.85sqm
TOTAL FLOOR AREA	133.16sqm
FLOOR SPACE RATIO	0.862 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	56.68+5.4sqm

UNIT 2 CALCULATIONS

LOT AREA	154.46sqm
GROUND FLOOR AREA	62.16sqm
FIRST FLOOR AREA	44.86sqm
SECOND FLOOR AREA	26.96sqm
TOTAL FLOOR AREA	133.98sqm
FLOOR SPACE RATIO	0.867 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	68.65+5.4sqm

UNIT 3 CALCULATIONS

LOT AREA	154.65sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.64sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 4 CALCULATIONS

LOT AREA	154.75sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.94sqm
TOTAL FLOOR AREA	154.74sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 5 CALCULATIONS

LOT AREA	154.86sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.77sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

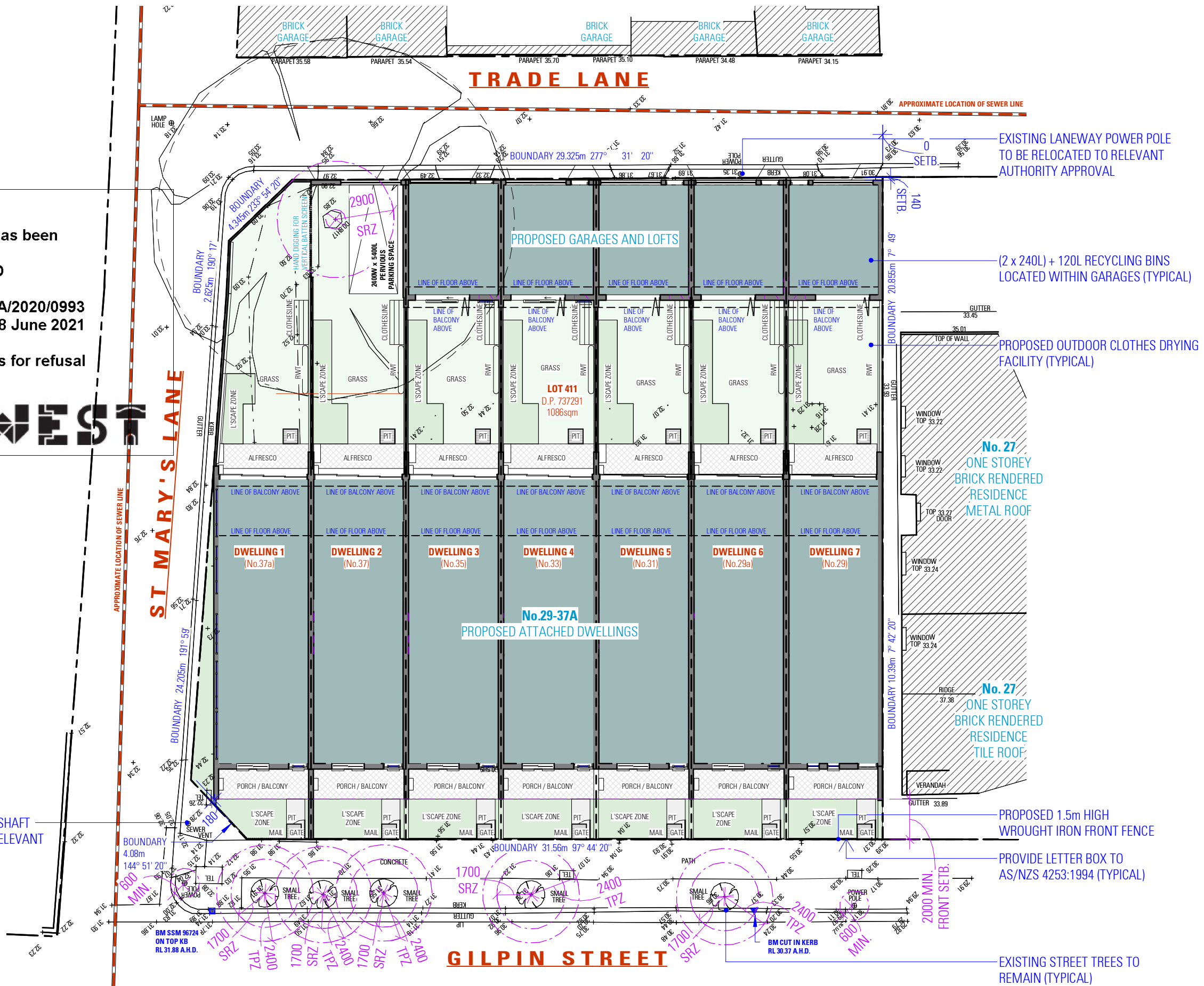
UNIT 6 CALCULATIONS

LOT AREA	154.96sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.77sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 7 CALCULATIONS

LOT AREA	157.07sqm
GROUND FLOOR AREA	67.89sqm
FIRST FLOOR AREA	54.00sqm
SECOND FLOOR AREA	26.44sqm
TOTAL FLOOR AREA	147.89sqm
FLOOR SPACE RATIO	0.941 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	41.71+5.4sqm

NOT FOR CONSTRUCTION



This application has been

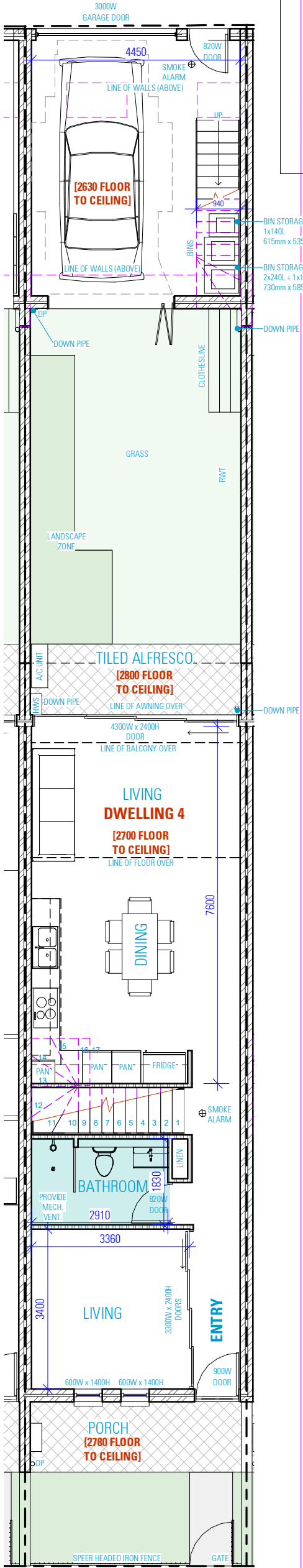
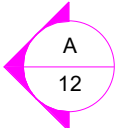
REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal



INNER WEST



GROUND FLOOR LAYOUT PLAN

1:200 SCALE

GROUND FLOOR PLAN (TYPICAL)

1:100 SCALE

NOT FOR CONSTRUCTION

- NOTES**
1. ALL DIMENSIONS ARE IN MILLIMETERS
 2. VERIFY ALL DIMENSIONS ON SITE
 3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
 4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
 5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED ANUPAMA SAHA UNIQUE DEVELOPMENTS PTY LTD

DRAWING

PROPOSED GROUND FLOOR PLAN

SCALE As indicated/A3
ISSUE B 22.03.2021

DWG No. 20153 - 05

This application has been

REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

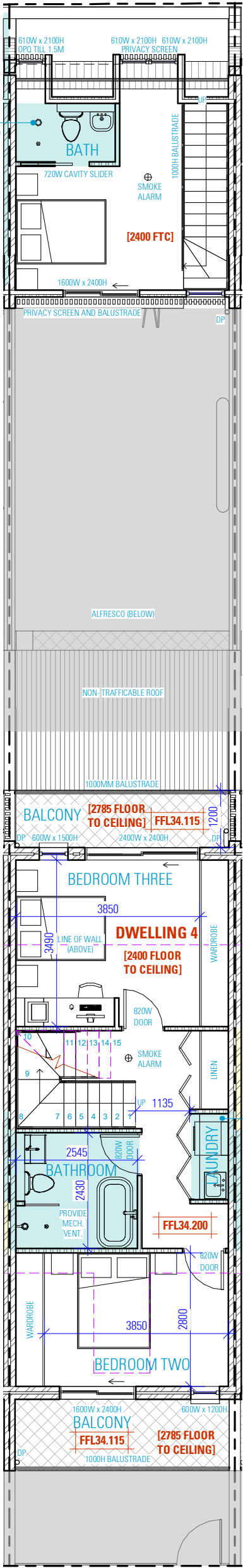
See attached reasons for refusal



INNER WEST

A

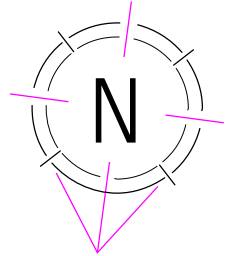
12



FIRST FLOOR PLAN (TYPICAL)
1:100 SCALE



FIRST FLOOR LAYOUT PLAN
1:200 SCALE



NOT FOR CONSTRUCTION

NOTES
1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS

COPYRIGHT
THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED ANUPAMA SAHA UNIQUE DEVELOPMENTS PTY LTD

DRAWING

PROPOSED FIRST FLOOR PLAN

SCALE As indicated/A3
ISSUE B 22.03.2021

DWG No. 20153 - 06

This application has been
REFUSED

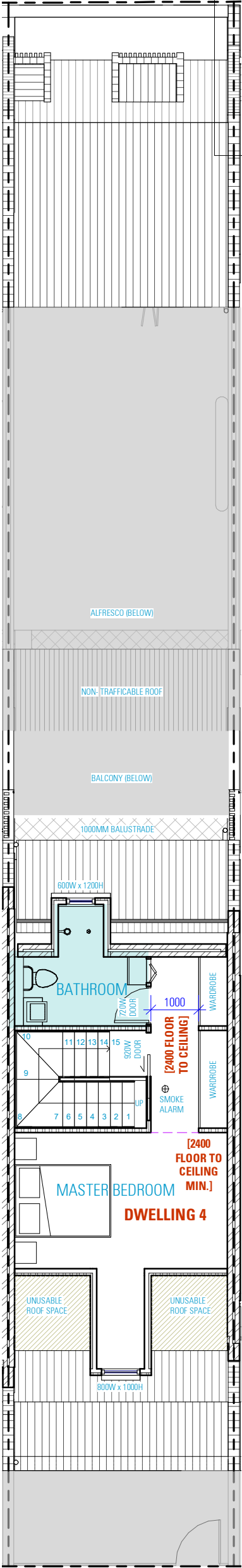
Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal



0005285830 12 Oct 2020
Assessor
Accreditation No.
Address
29-37A Gilpin Street,
CAMPERDOWN, NSW, 2050
hstar.com.au





SECOND FLOOR PLAN (TYPICAL)
1:100 SCALE

- NOTES
1. ALL DIMENSIONS ARE IN MILLIMETERS
 2. VERIFY ALL DIMENSIONS ON SITE
 3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
 4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
 5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT
THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/ DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED ANUPAMA SAHA UNIQUE DEVELOPMENTS PTY LTD

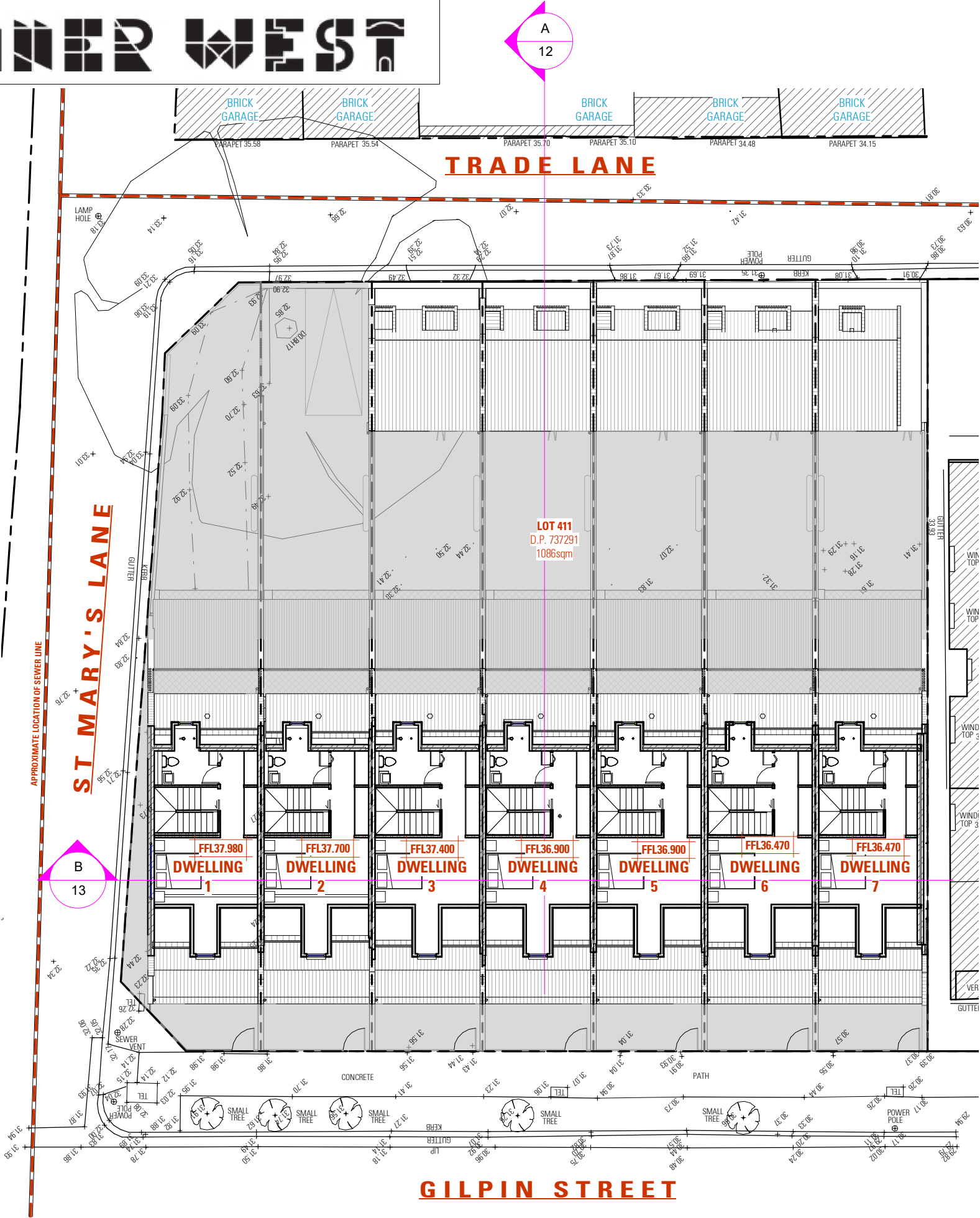
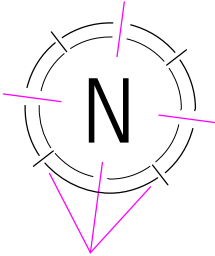
DRAWING

PROPOSED SECOND FLOOR PLAN

SCALE As indicated/A3
ISSUE B 22.03.2021

DWG No. 20153 - 07

NOT FOR CONSTRUCTION



SECOND FLOOR LAYOUT PLAN
1:200 SCALE

This application has been

REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal



0005285830 12 Oct 2020

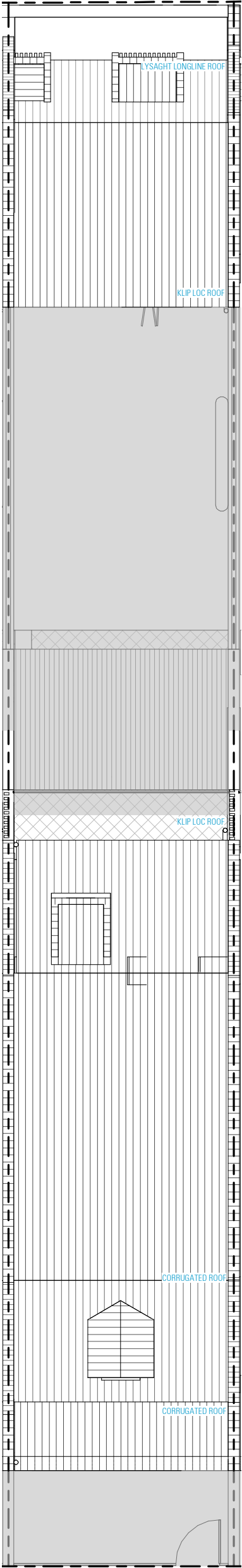
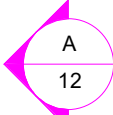
Assessor
Accreditation No.
Address
29-37A Gilpin Street,
CAMPERDOWN, NSW, 2050

Noura Al Hazzouri
VIC/DAV/18/1891



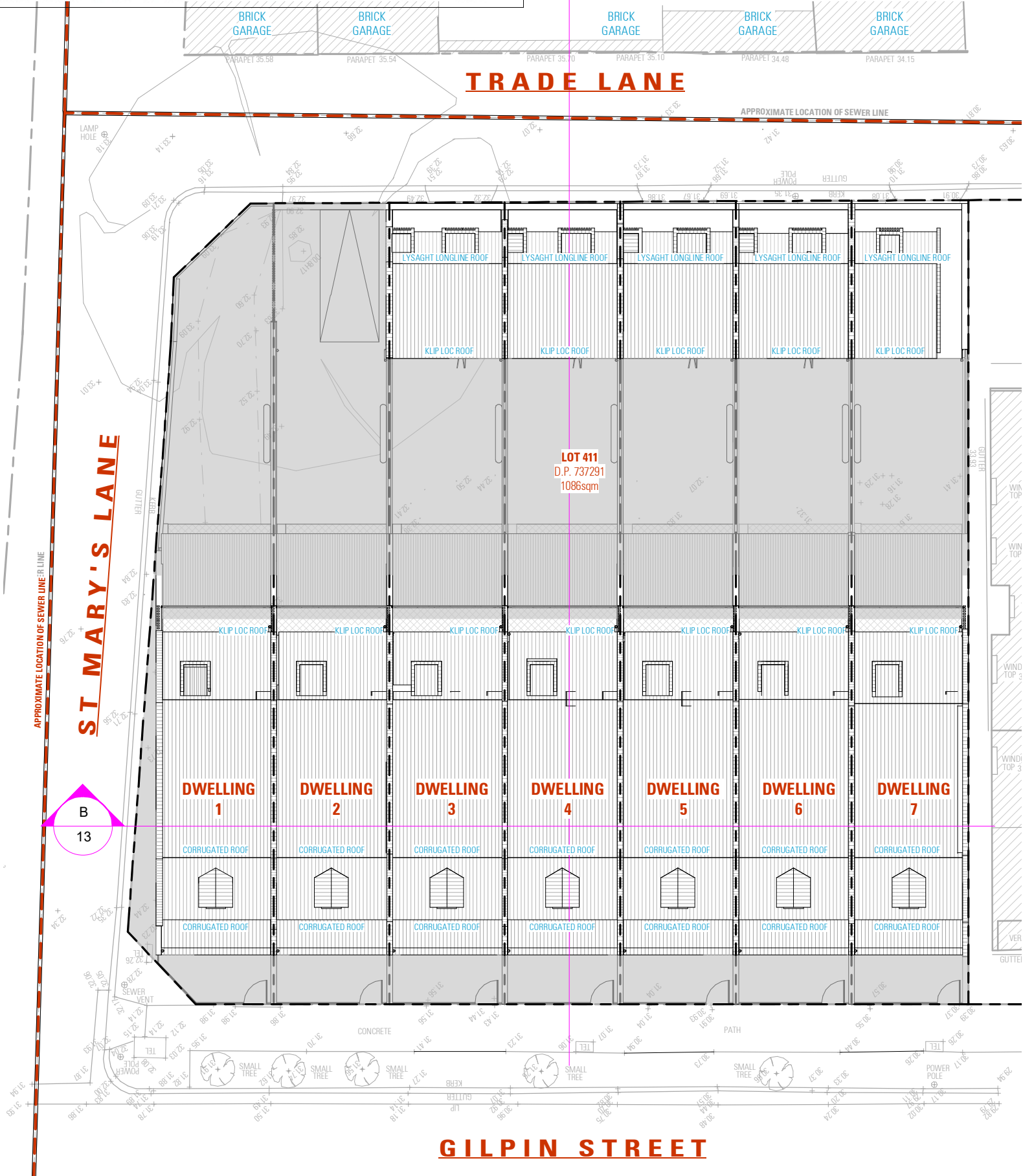
hstar.com.au

INNER WEST



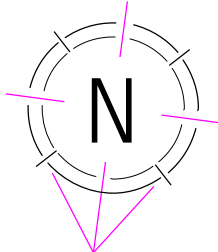
ROOF PLAN (TYPICAL)

1:100 SCALE



PROPOSED ROOF PLAN

1:200 SCALE



NOT FOR CONSTRUCTION

- NOTES**
1. ALL DIMENSIONS ARE IN MILLIMETERS
 2. VERIFY ALL DIMENSIONS ON SITE
 3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
 4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
 5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/ DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

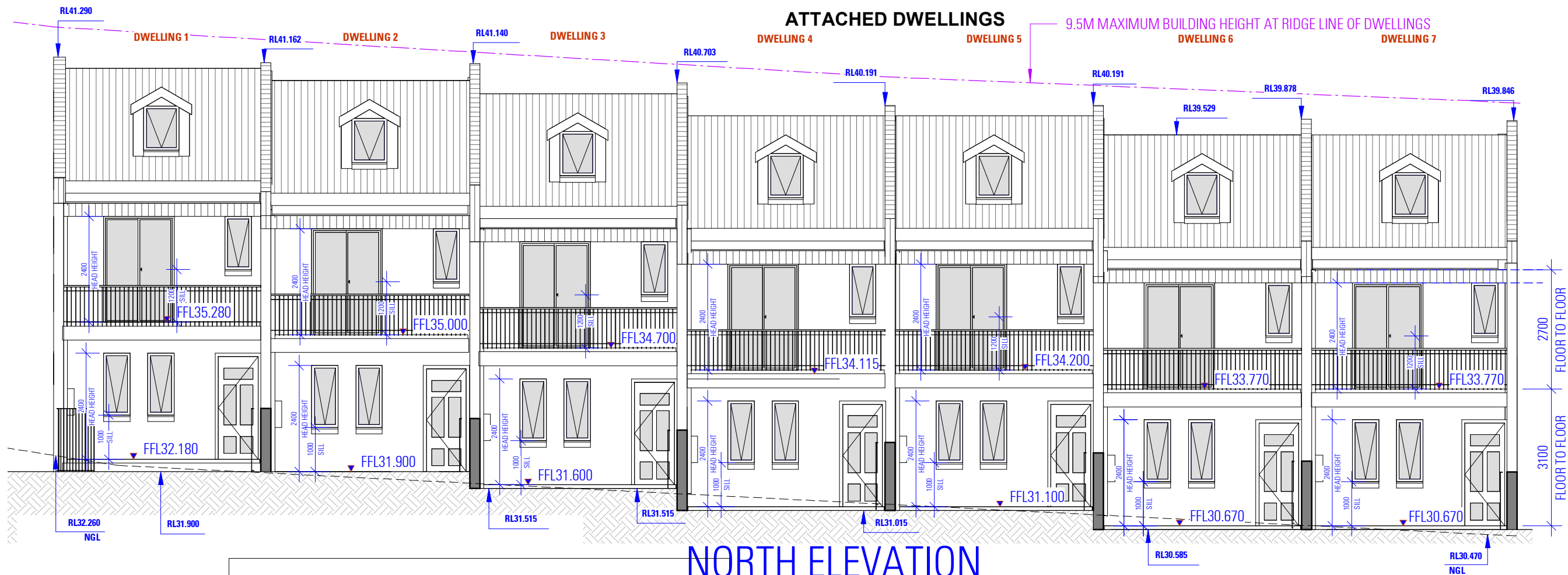
DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN
UNIQUE DEVELOPMENTS PTY LTD

DRAWING

PROPOSED ROOF PLAN

SCALE As indicated/A3
ISSUE B 22.03.2021

DWG No. 20153 - 08



NORTH ELEVATION

AS SEEN FROM GILPIN STREET

ATTACHED DWELLINGS

9.5M MAXIMUM BUILDING HEIGHT AT BOUNDARY WALL

This application has been

REFUSED

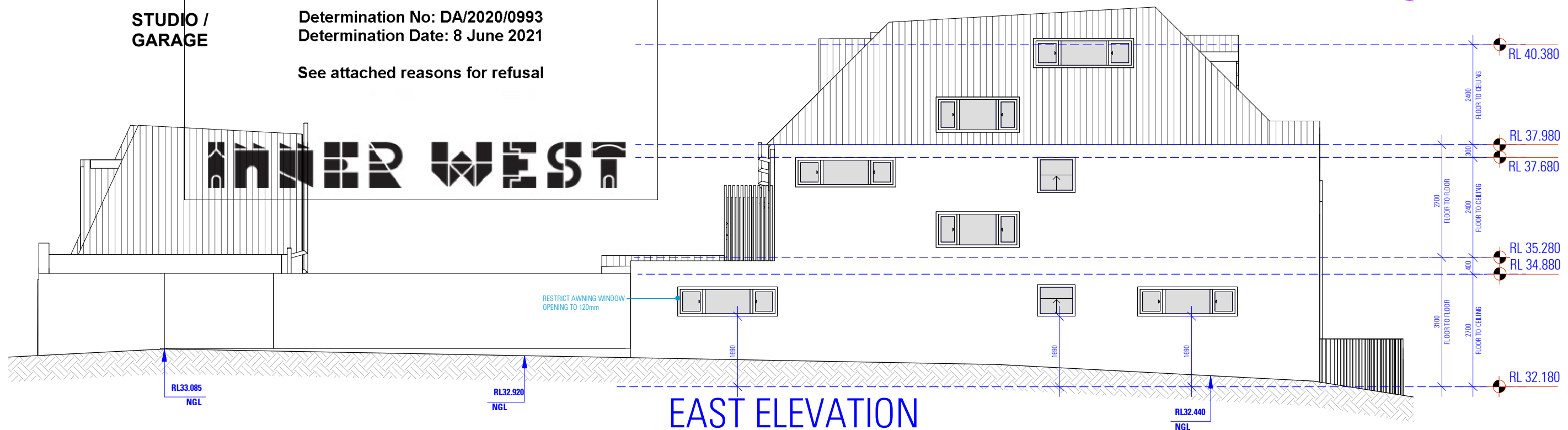
Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal

STUDIO /
GARAGE

INNER WEST



EAST ELEVATION

AS SEEN FROM ST MARY'S LANE

NOT FOR CONSTRUCTION



0005285830 12 Oct 2020
Assessor Noura Al Hazzouri
Accreditation No. VIC/DAV/181891
Address 29-37A Gilpin Street,
CAMPERDOWN, NSW, 2050
hstar.com.au

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

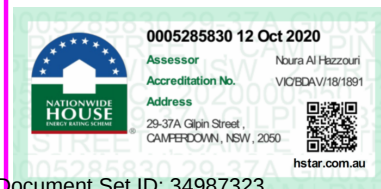
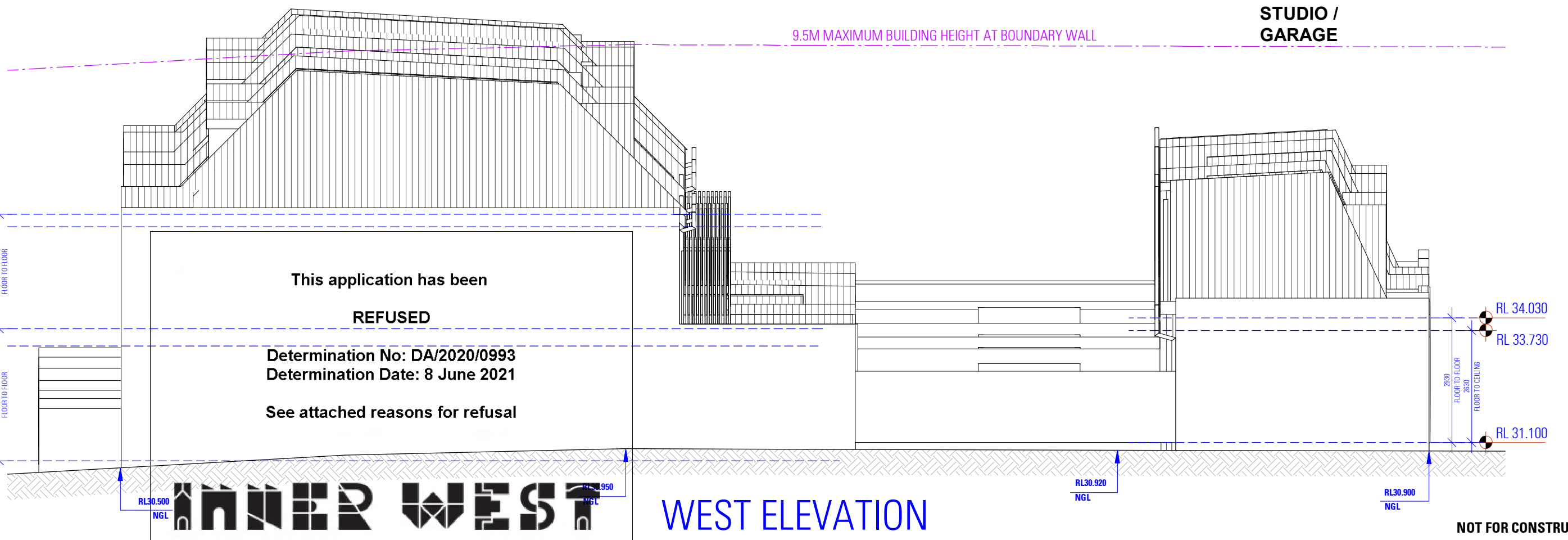
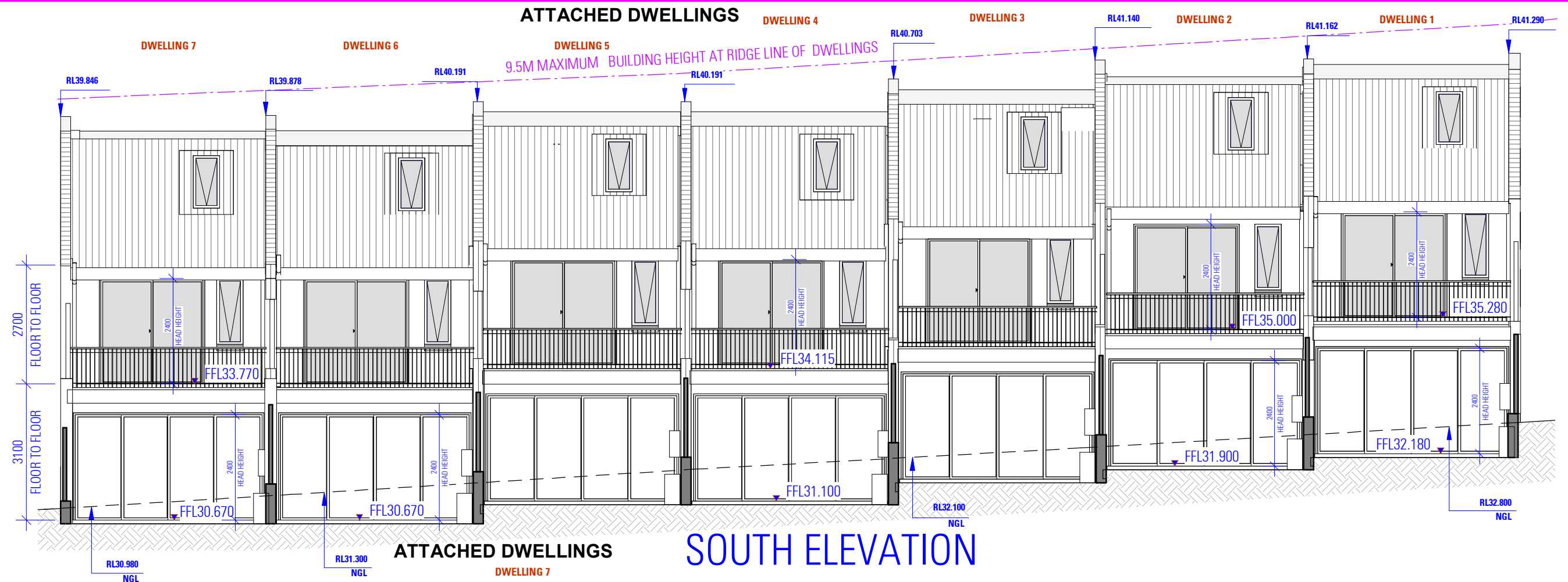
DESIGN ANUPAMA SAHA
DRAFTED ANUPAMA SAHA
UNIQUE DEVELOPMENTS PTY LTD

DRAWING

NORTH AND EAST ELEVATION

SCALE 1 : 100 / A3
ISSUE B 22.03.2021

DWG No. 20153 - 09



NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/ DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN
UNIQUE DEVELOPMENTS PTY LTD

DRAWING

SOUTH AND WEST ELEVATIONS

SCALE 1:100 / A3
ISSUE B 22.03.2021

DWG No. 20153 - 10

This application has been

REFUSED

Determination No: DA/2020/0993

Determination Date: 8 June 2021

DWELLING 1

DWELLING 2

See attached reasons for refusal

INNER WEST

9.5M MAXIMUM BUILDING HEIGHT AT RIDGE LINE OF STUDIO AND GARAGE

STUDIO / GARAGE

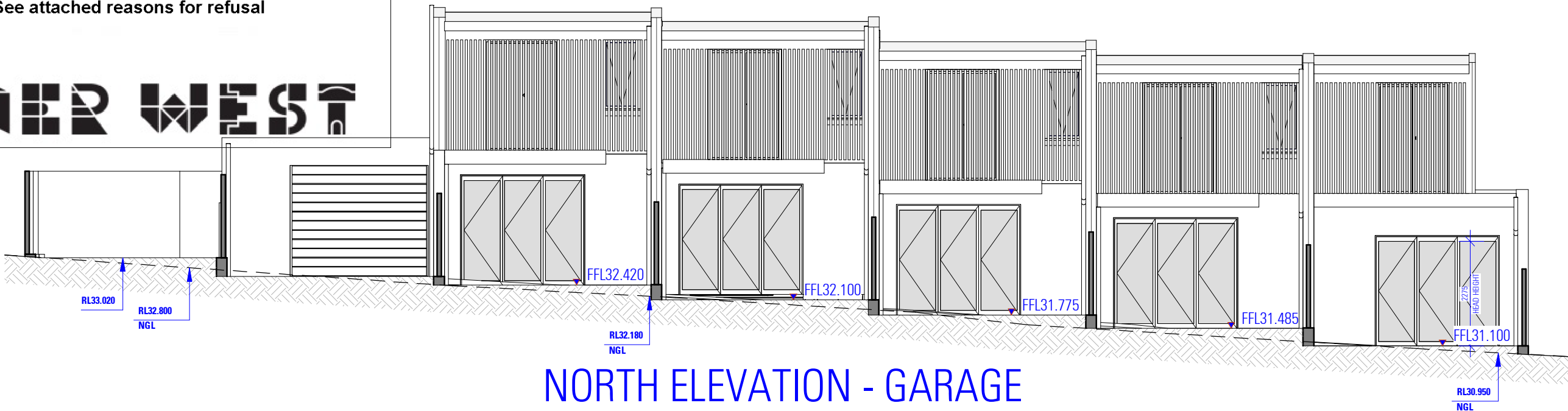
DWELLING 3

DWELLING 4

DWELLING 5

DWELLING 6

DWELLING 7



NORTH ELEVATION - GARAGE

9.5M MAXIMUM BUILDING HEIGHT AT RIDGE LINE OF STUDIO AND GARAGE

STUDIO / GARAGE

DWELLING 7

DWELLING 6

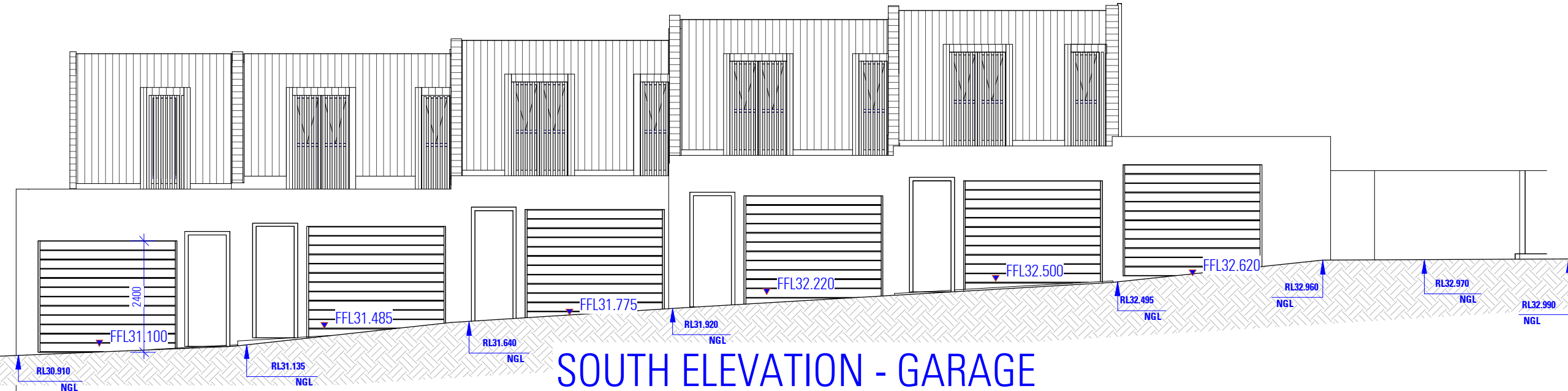
DWELLING 5

DWELLING 4

DWELLING 3

DWELLING 2

DWELLING 1



SOUTH ELEVATION - GARAGE

AS SEEN FROM TRADE LANE

NOT FOR CONSTRUCTION

0005285830 12 Oct 2020
Assessor: Noura Al Hazzouri
Accreditation No: VIC/DAV/18/1891
Address: 29-37A Gilpin Street, CAMPERDOWN, NSW, 2050
hstar.com.au

NOTES
1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT
THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.

design
www.es.com.au

bdaa
ACCREDITED
BUILDING DESIGNER

PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN: ANUPAMA SAHA
DRAFTED: JOHNNY NGUYEN
UNIQUE DEVELOPMENTS PTY LTD

DRAWING
NORTH AND SOUTH ELEVATIONS
(GARAGE)

SCALE 1:100 / A3
ISSUE B 22.03.2021

DWG No. 20153 - 11

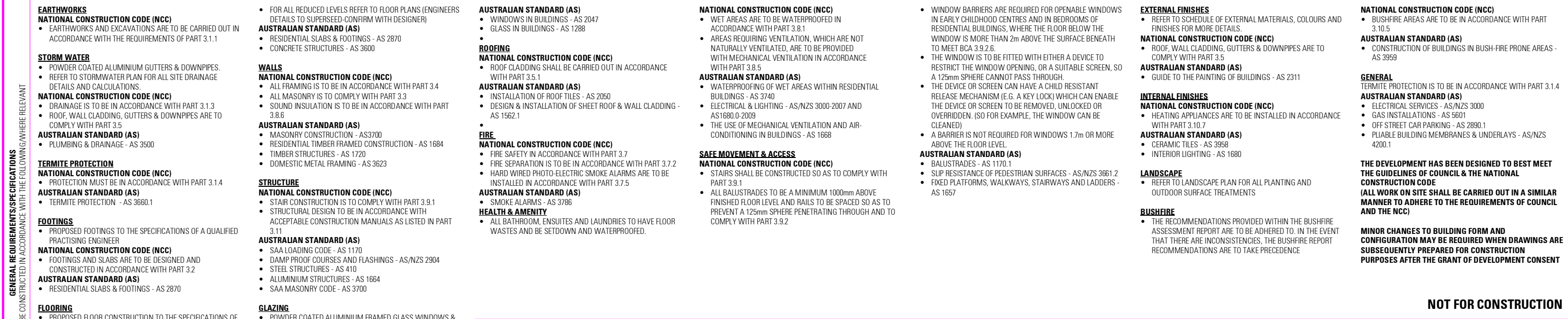
This application has been

REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal

INNER WEST

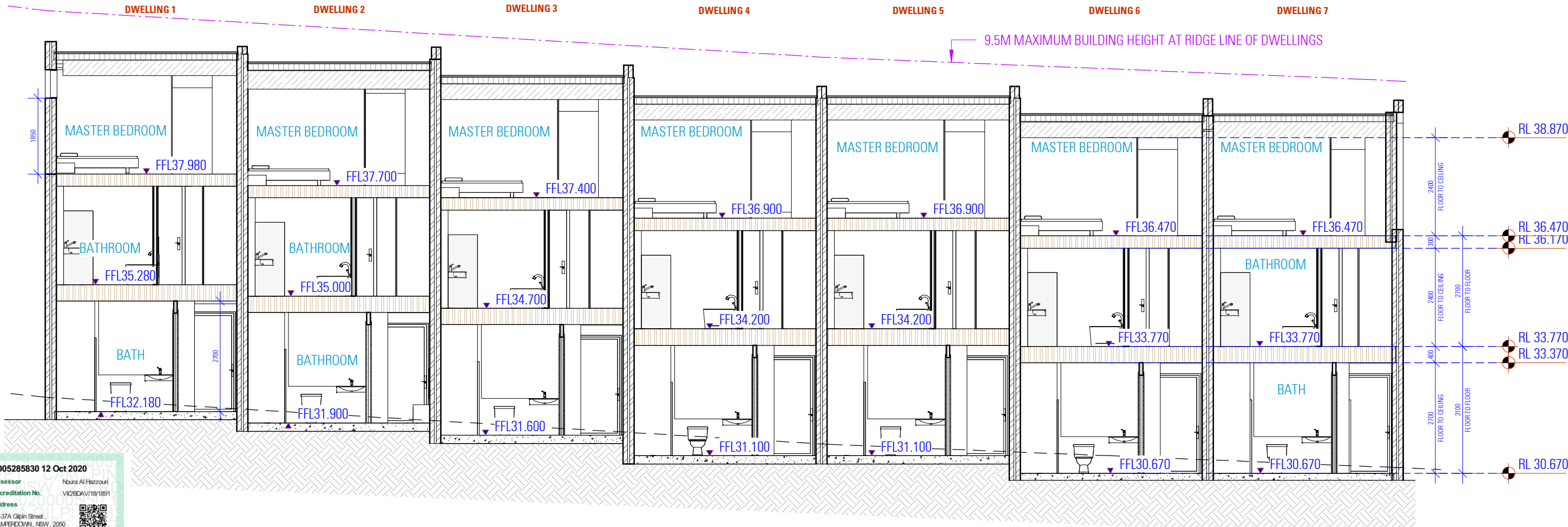


WALL SCHEDULE

270mm CAVITY BRICK 110mm BRICK SKIN 50mm CAVITY 110mm BRICK SKIN	230mm DOUBLE BRICK 110mm BRICK SKIN 10mm MORTAR 110mm BRICK SKIN	110mm SINGLE BRICK 110mm BRICK SKIN	250mm BRICK VENEER 110mm BRICK SKIN 50mm CAVITY 90mm STUD	140mm EXTERIOR STUD 50mm CLADDING 90mm STUD	90mm INTERNAL STUD 90mm STUD	190mm RETAINING WALL 190mm CONCRETE BLOCK	400mm HABITABLE BASEMENT 190mm CONCRETE BLOCK 100mm CAVITY 110mm BRICK SKIN
---	---	--	--	---	---------------------------------	--	--

NOTES

- THIS SCHEDULE DETAILS MAIN WALL COMPONENTS ONLY AND THE MEASUREMENTS GIVEN DO NOT INCLUDE RENDER, PLASTER OR THE LIKE. THEY ARE PROVIDED FOR 'CONSTRUCTION' PURPOSES AND SUCH DO NOT REPRESENT THE FINAL WALL THICKNESS.
- EXISTING WALLS SHOWN SOLID HATCHED.
- THE ITEMS PROVIDED ABOVE ARE A GENERAL LIST OF WALL TYPES. VERIFY ALL DISCREPANCIES WITH THE DESIGNER BEFORE COMMENCING CONSTRUCTION.



SECTION

B

05-08

This application has been

REFUSED

Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal

INNER WEST

NOT FOR CONSTRUCTION

INSULATION/ENERGY EFFICIENCY REQUIREMENTS
PROVIDE TO BUILDING IN ACCORDANCE WITH AS 2627.1-1993

WATER COMMITMENTS

FIXTURES

- ALL SHOWERHEADS TO HAVE A MINIMUM RATING OF 3 STARS
- ALL TOILETS TO HAVE A MINIMUM RATING OF 5 STARS
- KITCHEN AND BATHROOM TAPS TO HAVE A MINIMUM RATING OF 5 STARS

ALTERNATIVE WATER

- A RAINWATER TANK WITH A MINIMUM CAPACITY OF 1000L TO BE INSTALLED AND CONFIGURED TO COLLECT RAIN RUNOFF FROM AT LEAST 45sqm OF THE ROOF AREA
- RAINWATER TANK MUST CONNECT TO AT LEAST 1 OUTDOOR TAP

THERMAL COMFORT COMMITMENTS

- FLOOR - SUSPENDED FLOOR/ENCLOSED SUBFLOOR - ALL OR PART OF FLOOR AREA SQUARE METRES

ENERGY COMMITMENTS

HOT WATER

- HOT WATER SYSTEM TO BE 'GAS INSTANTANEOUS' WITH A PERFORMANCE OF 3 STARS

COOLING/HEATING SYSTEM

- DWELLINGS TO HAVE 1-PHASE AIRCONDITIONING; ENERGY RATING: 3 STAR (AVERAGE ZONE IN LIVING AND BEDROOM AREAS)

VENTILATION

- AT LEAST ONE BATHROOM TO HAVE INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF
- KITCHEN TO HAVE INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF
- LAUNDRY TO HAVE INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF

ARTIFICIAL LIGHTING

- FLUORESCENT OR LIGHT EMITTING DIODE (LED) LIGHTING IN AT LEAST:
 - 3 OF THE BEDROOMS / STUDY, (DEDICATED)
 - 2 OF THE LIVING / DINING ROOMS, (DEDICATED)
 - THE KITCHEN, (DEDICATED)
 - ALL BATHROOMS/TOILETS, (DEDICATED)
 - THE LAUNDRY (DEDICATED)
 - ALL HALLWAYS (DEDICATED)

NATURAL LIGHTING

- WINDOW AND/OR SKYLIGHT FOR NATURAL LIGHTING TO BE INSTALLED:
 - 1 BATHROOM/TOILET.

OTHER

- GAS COOKTOP AND AN ELECTRIC OVEN TO BE INSTALLED.
- FRIDGE SPACE TO BE 'WELL VENTILATED', AS DEFINED IN 'BASIX DEFINITIONS'
- A FIXED OUTDOOR CLOTHES DRYING LINE IS TO BE INSTALLED AS PART OF THE DEVELOPMENT

NATHERS REQUIREMENTS

- R3.5 INSULATION TO PLASTERBOARD CEILING
- R1.3 FOIL BLANKET AND SISALATION UNDERNEATH METAL ROOF
- DOWNLIGHTS WHICH PENETRATE THE CEILING TO BE FITTED WITH APPROVED FIREPROOF, NON-VENTILATED COVERS ALLOWING UNINTERRUPTED CEILING INSULATION
- FOIL+R2.5 TO ALL TIMBER FRAMED EXTERNAL WALLS
- WEATHER STRIPPING TO EXTERNAL DOORS & WINDOWS
- ALL AWNING WINDOWS SHALL BE: ALUMINIUM STANDARD SINGLE-GLAZED: CLEAR GLASS: U = 6.70 & SHGC = 0.57
- ALL OTHER WINDOWS AND SLIDING DOORS SHALL BE: ALUMINIUM STANDARD SINGLE-GLAZED: CLEAR GLASS: U = 6.70& SHGC = 0.70
- RWT: 1,000L TO COLLECT 45 SQM OF ROOF AREA AND TO BE CONNECTED TO LANDSCAPE ONLY
- HOT WATER SYSTEM: 3STAR GAS INSTANTANEOUS OR EQUIVALENT

REFER TO BASIX AND NATHERS CERTIFICATES FOR COMPREHENSIVE LIST OF ENERGY EFFICIENCY COMMITMENTS. ALL COMMITMENTS DETAILED IN THE APPROVED BASIX CERTIFICATE MUST BE INSTALLED TO THE BUILDING.

NOTES

- ALL DIMENSIONS ARE IN MILLIMETERS
- VERIFY ALL DIMENSIONS ON SITE
- DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
- VERIFY ALL DISCREPANCIES WITH THE DESIGNER
- ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/ DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN
DRAFTED

ANUPAMA SAHA
ANUPAMA SAHA

UNIQUE DEVELOPMENTS PTY LTD

DRAWING

SECTION VIEW

SCALE
ISSUE

1 : 100 / A3
B 22.03.2021

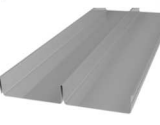
DWG No. 20153 - 13

SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES

- 1



ROOF SHEETING - COLORBOND
CORRUGATED IN DULUX MONUMENT
- 2



ROOF SHEETING - LYSAGHT LONGLINE
305
- 3



RENDER AND PAINT FINISH - DULUX
STEPNEY
- 4



GUTTERS, DOWNPIPES, FASCIA,
EAVES, BALUSTRADES, FRONT FENCE
(POWDER COATED ALUMINIUM),
GARAGE DOOR - DULUX MONUMENT
- 5



POWDER-COATED ALUMINIUM
WINDOWS, GLASS FRAMES
DULUX WESTERN CEDAR
- 6



SOLID CORE TIMBER ENTRY DOORS
DULUX WESTERN CEDAR
- 7



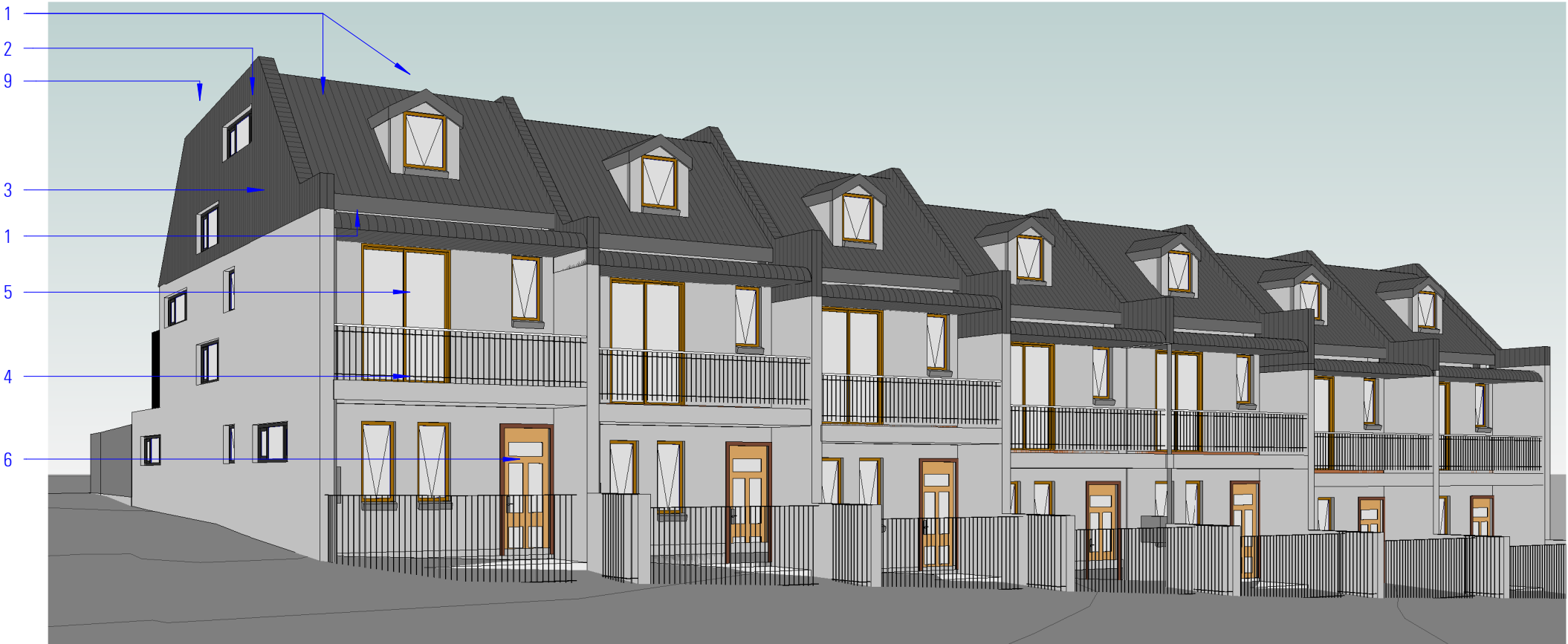
BOUNDARY FENCING - DULUX SHALE
GREY WITH DULUX MONUMENT
CAPPING
- 8



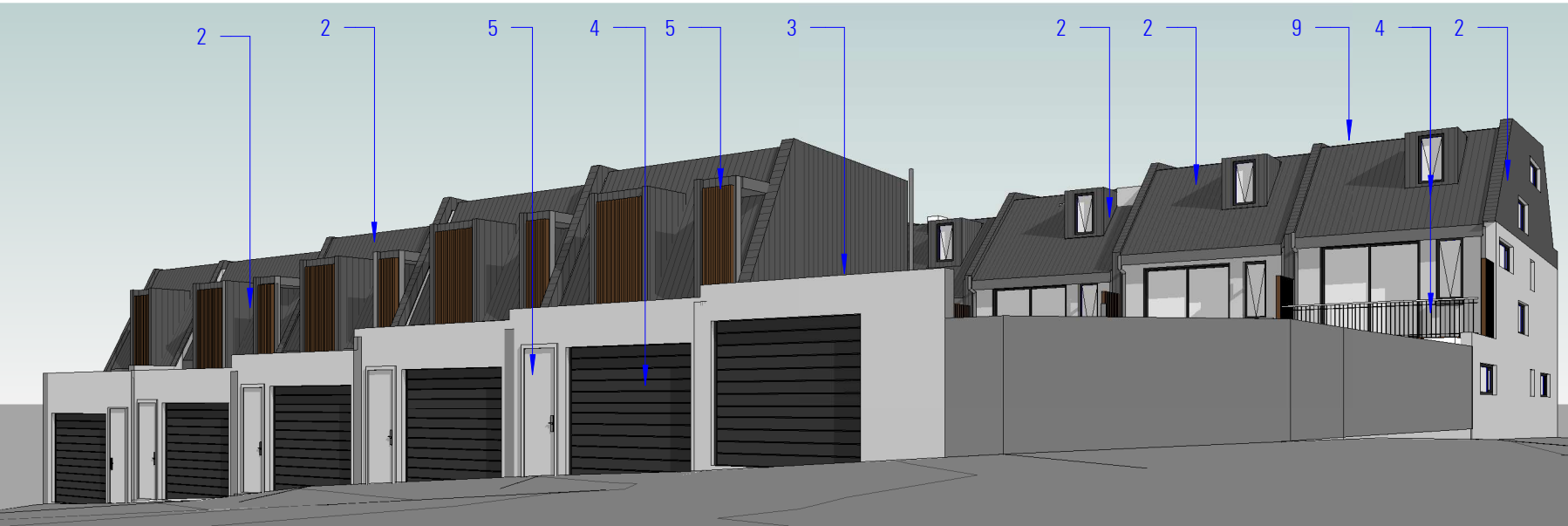
RAINWATER TANKS - DULUX SHALE
GREY
- 9



ROOF SHEETING - COLORBOND KLIP
LOC LYSAGHT 406 IN DULUX
MONUMENT



NORTH ELEVATION
AS SEEN FROM GILPIN STREET



SOUTH ELEVATION
AS SEEN FROM TRADE LANE

This application has been
REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal

NOT FOR CONSTRUCTION

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED ANUPAMA SAHA UNIQUE DEVELOPMENTS PTY LTD

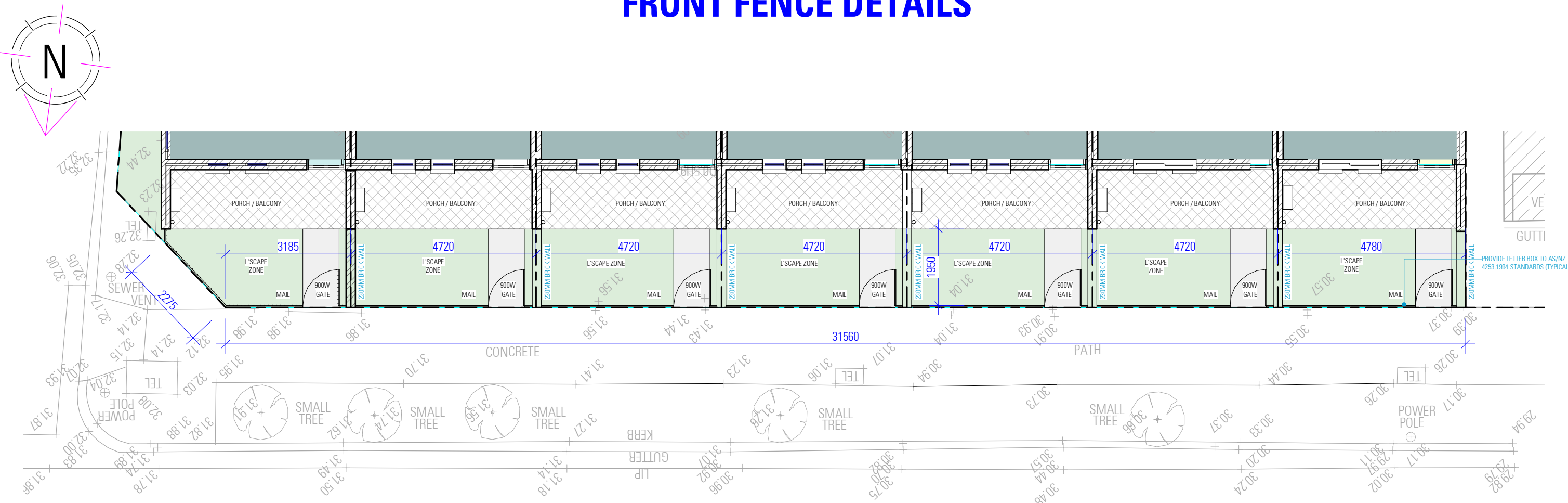
DRAWING

SCHEDULE OF EXTERNAL MATERIALS,
COLOURS AND FINISHES

SCALE NTS / A3
ISSUE B 22.03.2021

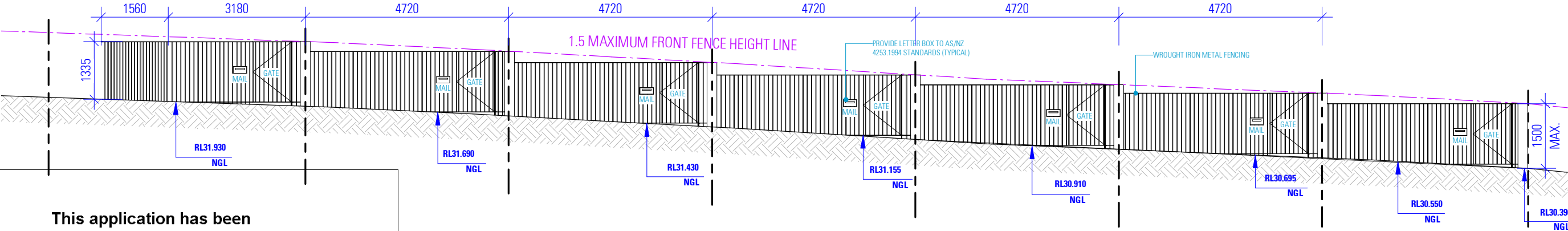
DWG No. 20153 - 14

FRONT FENCE DETAILS



GILPIN STREET

PROPOSED FRONT FENCE PLAN



This application has been
REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal

FRONT FENCE ELEVATION

AS SEEN FROM GILPIN STREET

NOT FOR CONSTRUCTION



NOTES
1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT
THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



PROPOSED ATTACHED DWELLINGS
29-37A GILPIN STREET
CAMPERDOWN NSW 2050

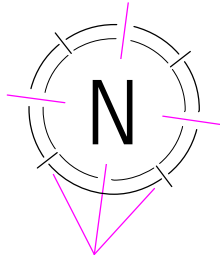
DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN
UNIQUE DEVELOPMENTS PTY LTD

DRAWING
FRONT FENCE DETAILS

SCALE 1 : 100 / A3
ISSUE B 22.03.2021

DWG No. 20153 - 15

SHADOW DIAGRAMS - 21st OF JUNE - 9AM



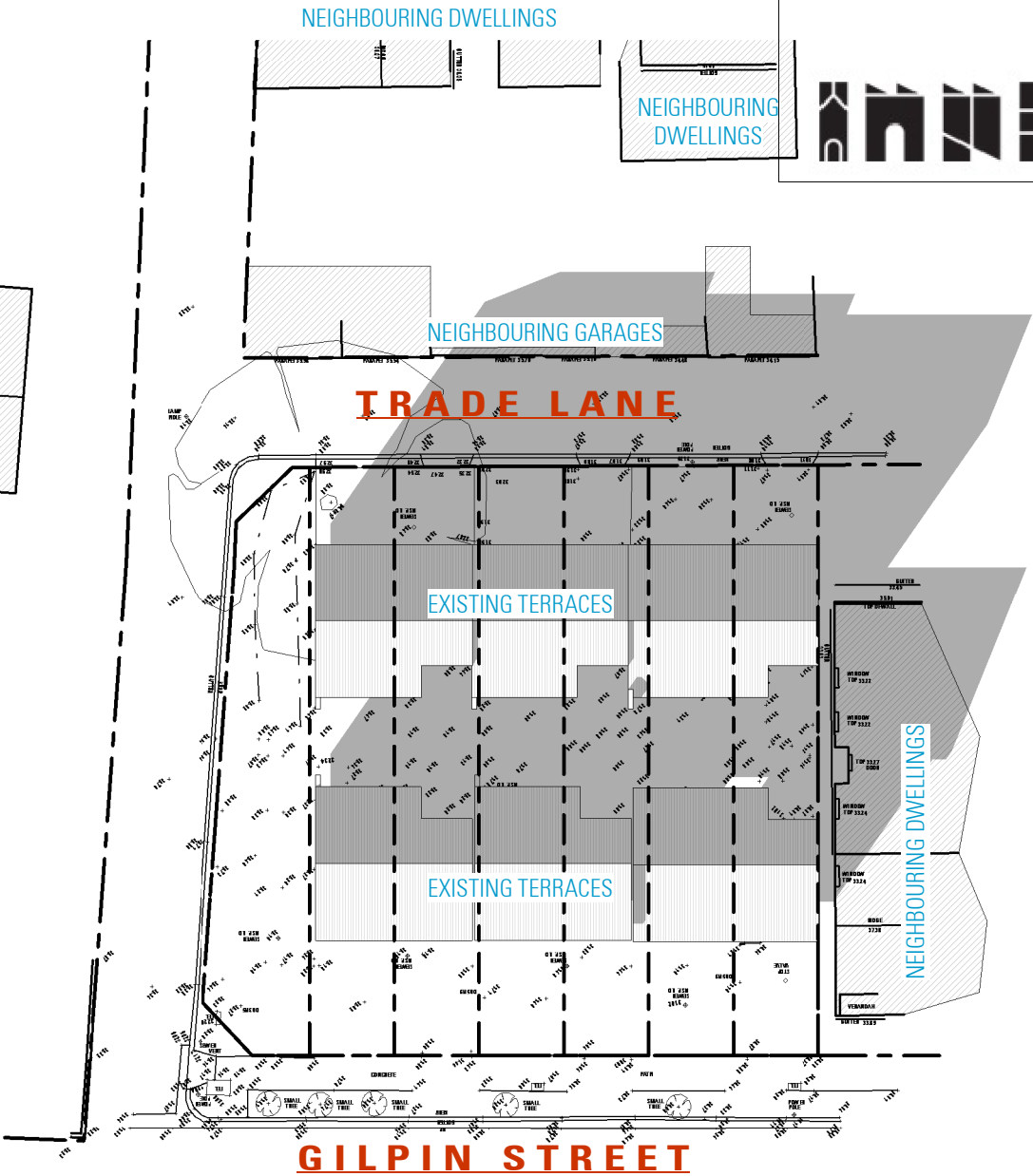
This application has been

REFUSED

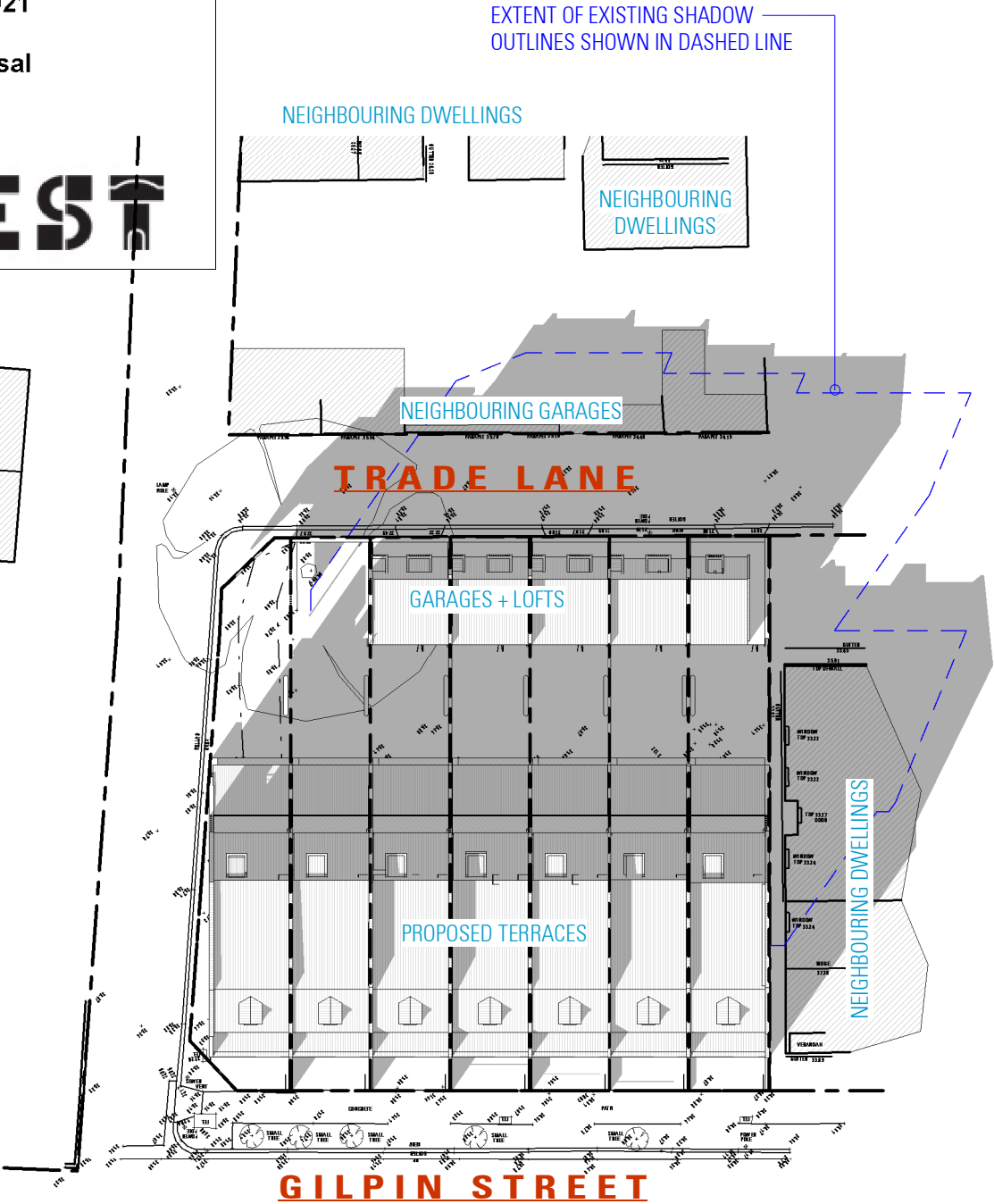
Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal



EXISTING SHADOWS 9AM



PROPOSED SHADOWS 9AM

NOT FOR CONSTRUCTION

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN
DRAFTED

ANUPAMA SAHA
ANUPAMA SAHA

UNIQUE DEVELOPMENTS PTY LTD

DRAWING

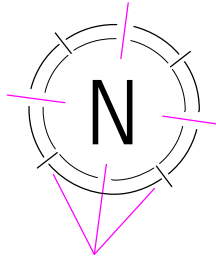
SHADOW DIAGRAMS 21ST OF JUNE - 9AM

SCALE
ISSUE

1 : 400 / A3
B 22.03.2021

DWG No. 20153 - 16

SHADOW DIAGRAMS - 21st OF JUNE - 10AM



This application has been

REFUSED

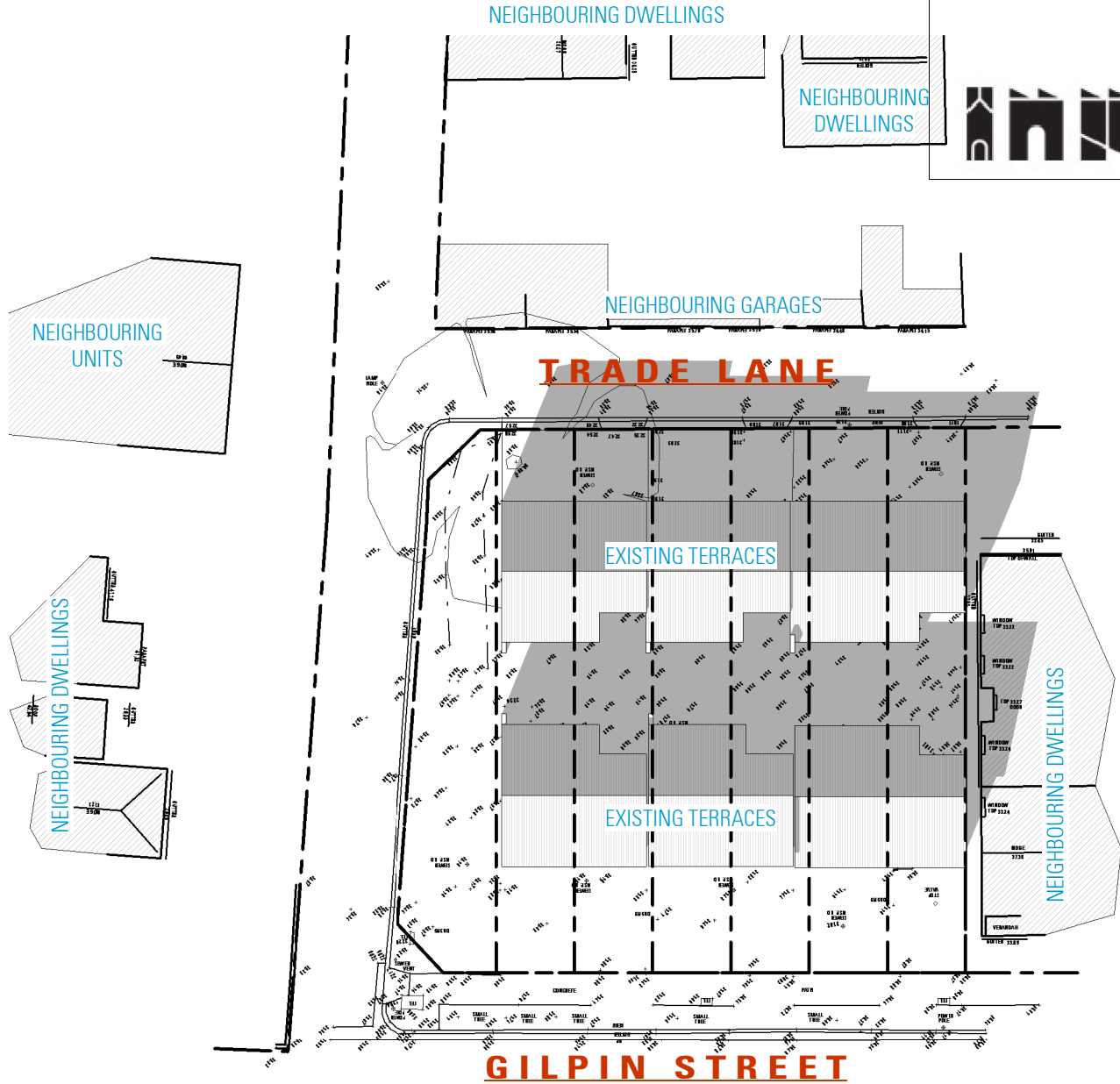
Determination No: DA/2020/0993

Determination Date: 8 June 2021

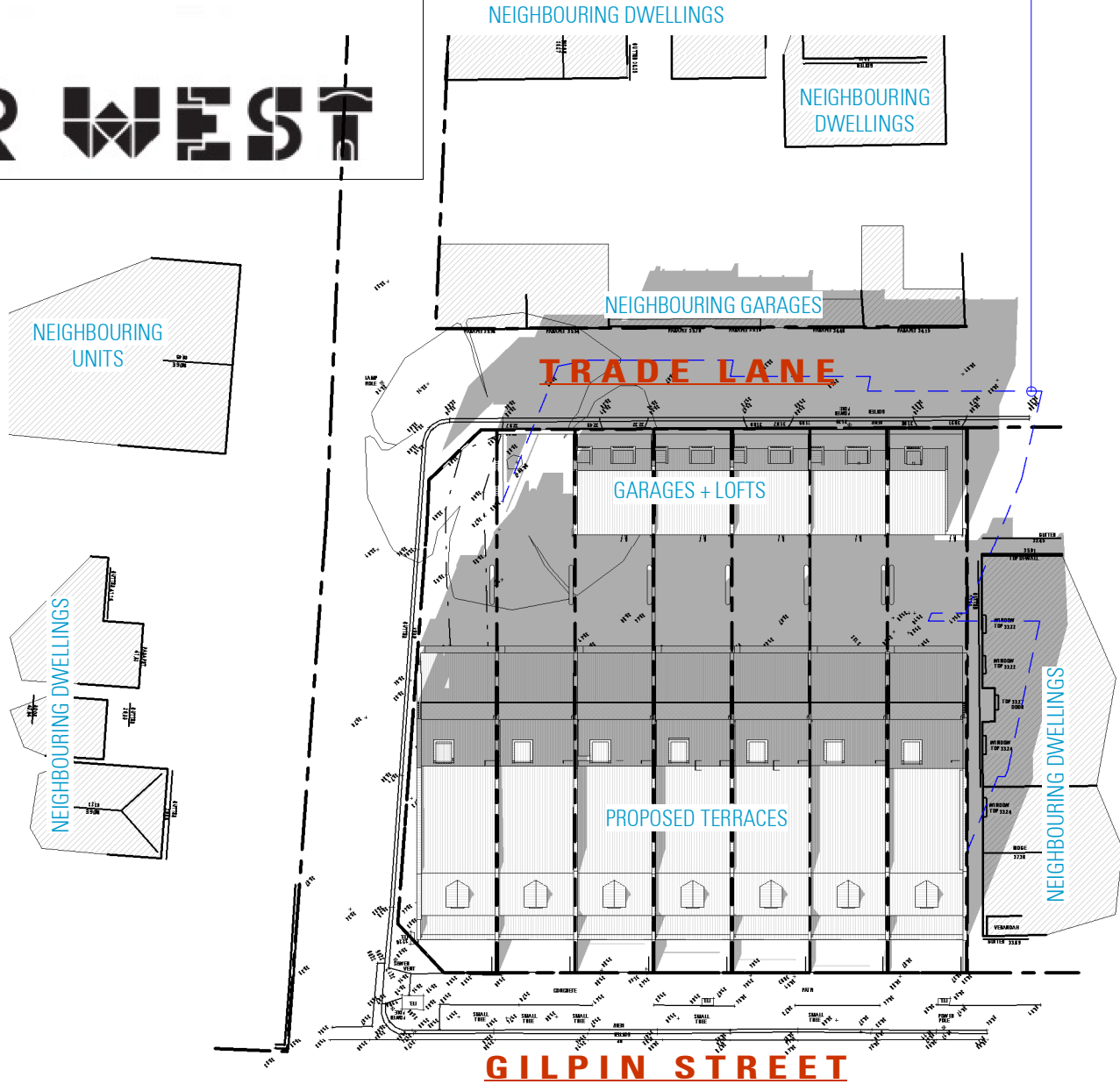
See attached reasons for refusal

INNER WEST

EXTENT OF EXISTING SHADOW
OUTLINES SHOWN IN DASHED LINE



EXISTING SHADOWS 10AM



PROPOSED SHADOWS 10AM

NOT FOR CONSTRUCTION

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/ DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN UNIQUE DEVELOPMENTS PTY LTD

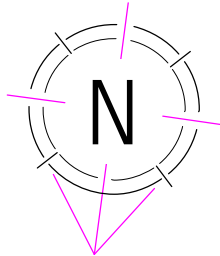
DRAWING

SHADOW DIAGRAMS 21ST OF JUNE - 10AM

SCALE 1 : 400 /
ISSUE B 22.03.2021

DWG No. 20153 - 17

SHADOW DIAGRAMS - 21st OF JUNE - 11AM



This application has been

REFUSED

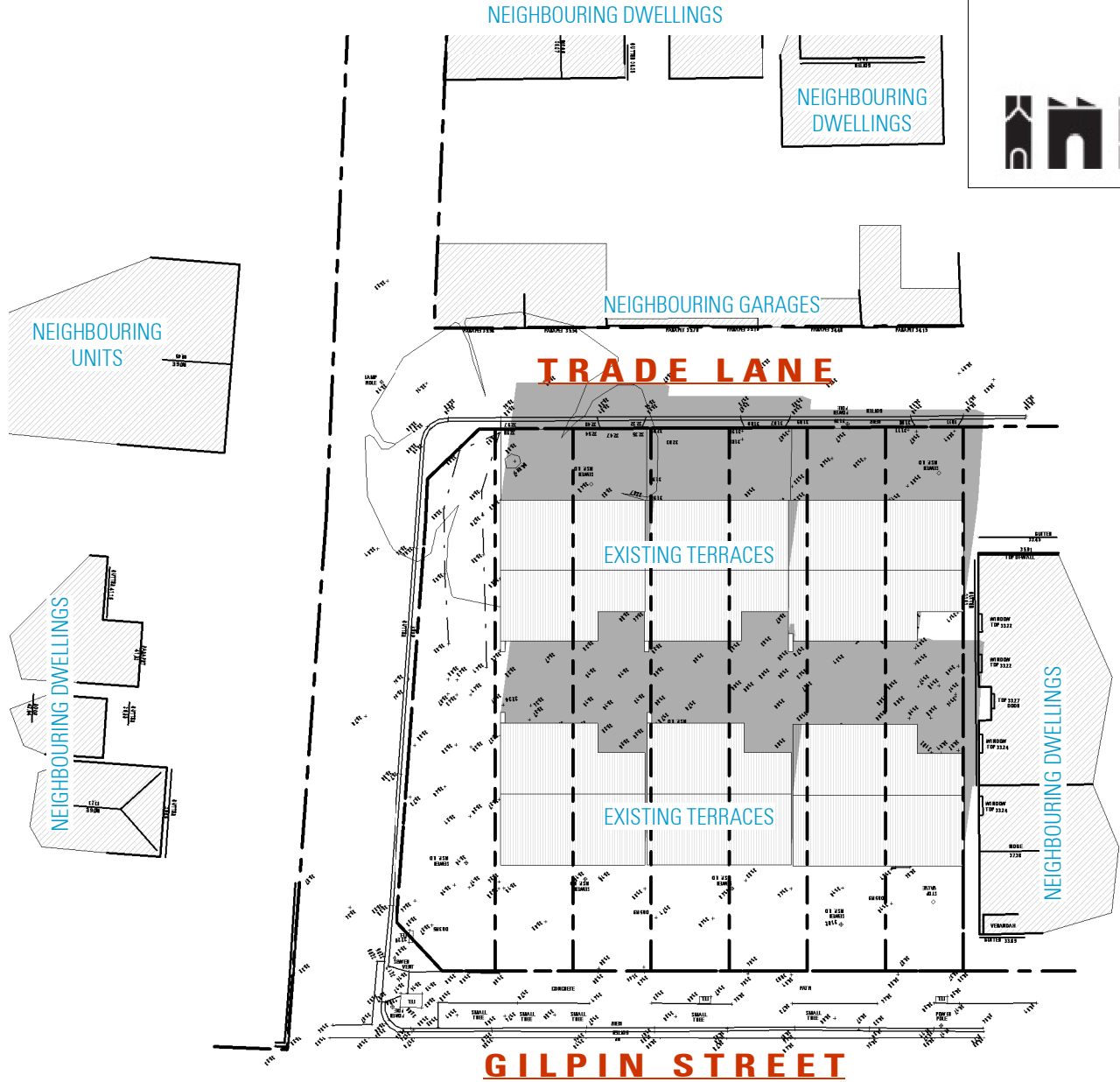
Determination No: DA/2020/0993

Determination Date: 8 June 2021

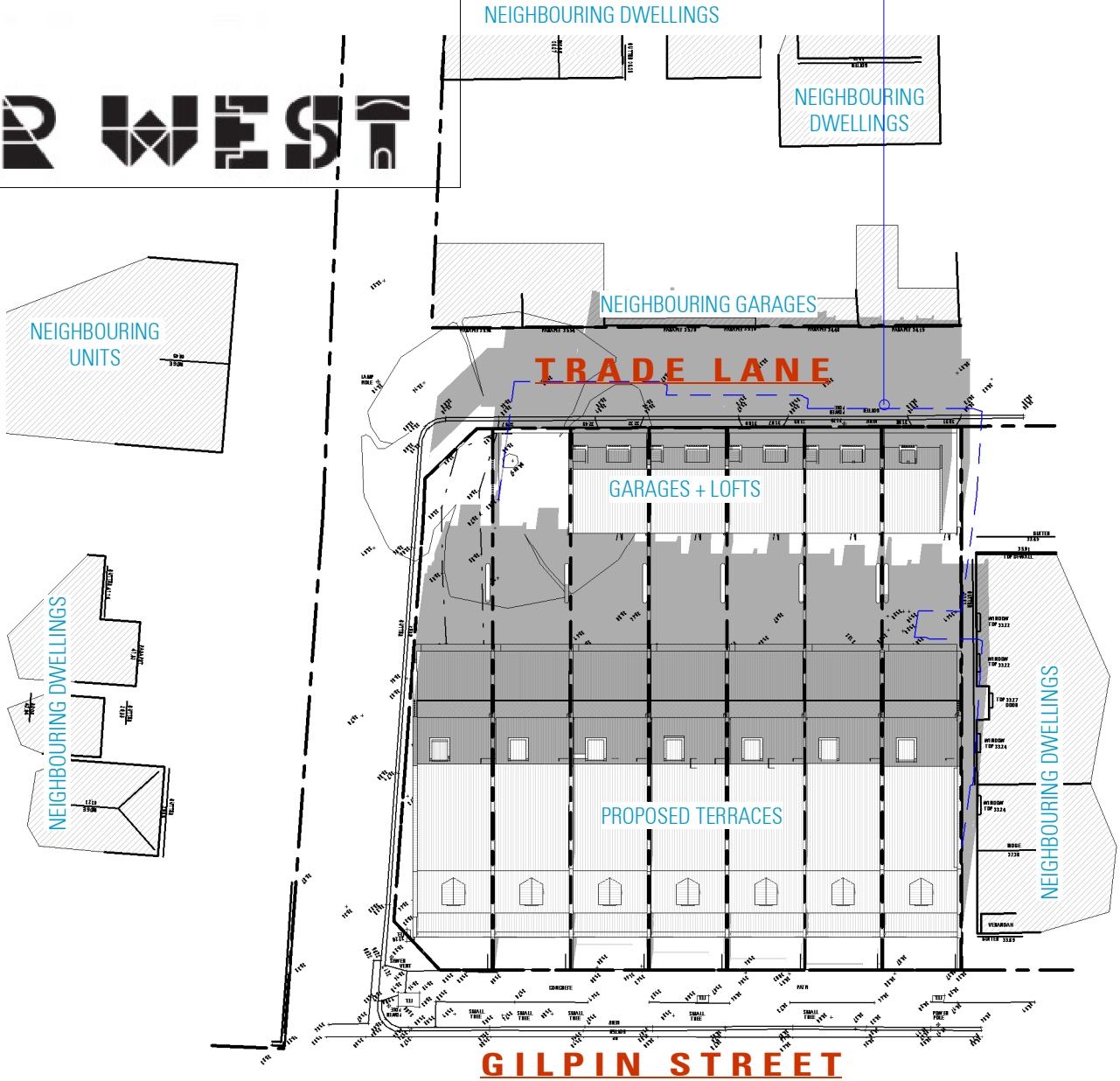
See attached reasons for refusal

INNER WEST

EXTENT OF EXISTING SHADOW
OUTLINES SHOWN IN DASHED LINE



EXISTING SHADOWS 11AM



PROPOSED SHADOWS 11AM

NOT FOR CONSTRUCTION

NOTES

- 1. ALL DIMENSIONS ARE IN MILLIMETERS
- 2. VERIFY ALL DIMENSIONS ON SITE
- 3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
- 4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
- 5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/ DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

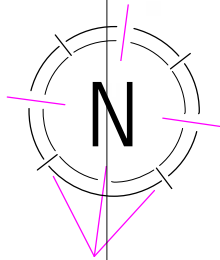
DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN
UNIQUE DEVELOPMENTS PTY LTD

DRAWING

SHADOW DIAGRAMS 21ST OF JUNE - 11AM

SCALE 1 : 400 /
ISSUE B 22.03.2021

DWG No. 20153 - 18



This application has been

REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal

INNER WEST

NEIGHBOURING DWELLINGS

NEIGHBOURING DWELLINGS

NEIGHBOURING GARAGES

NEIGHBOURING UNITS

TRADE LANE

EXISTING TERRACES

EXISTING TERRACES

NEIGHBOURING DWELLINGS

GILPIN STREET

EXISTING SHADOWS 12PM

SHADOW DIAGRAMS - 21st OF JUNE - 12PM

EXTENT OF EXISTING SHADOW
OUTLINES SHOWN IN DASHED LINE

NEIGHBOURING DWELLINGS

NEIGHBOURING DWELLINGS

NEIGHBOURING GARAGES

NEIGHBOURING UNITS

TRADE LANE

GARAGES + LOFTS

PROPOSED TERRACES

NEIGHBOURING DWELLINGS

GILPIN STREET

PROPOSED SHADOWS 12PM

NOT FOR CONSTRUCTION

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN
UNIQUE DEVELOPMENTS PTY LTD

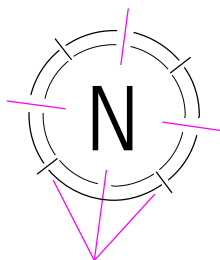
DRAWING

SHADOW DIAGRAMS 21ST OF JUNE - 12PM

SCALE 1: 400 / A3
ISSUE B 22.03.2021

DWG No. 20153 - 19

SHADOW DIAGRAMS - 21st OF JUNE - 1PM



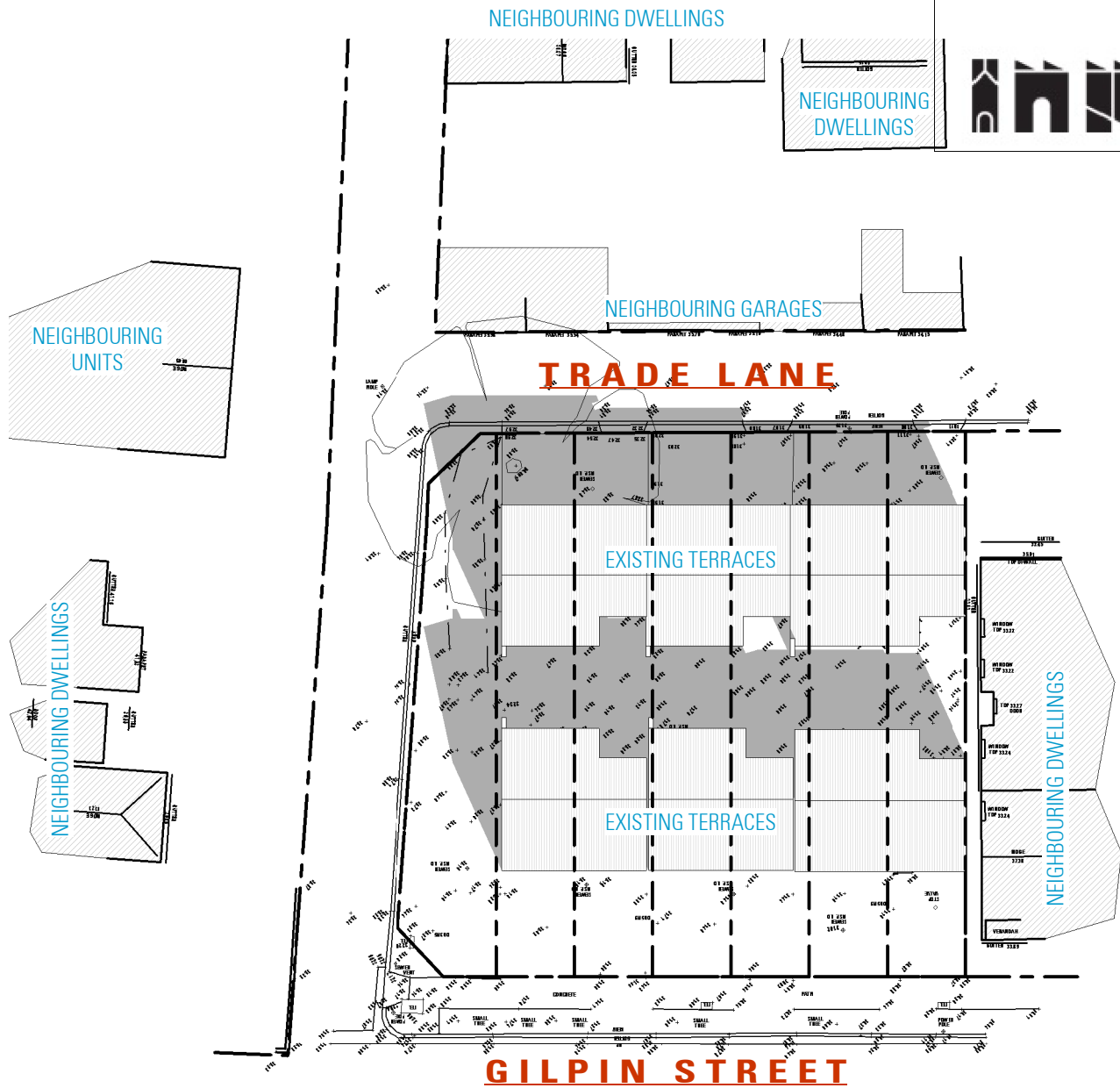
This application has been

REFUSED

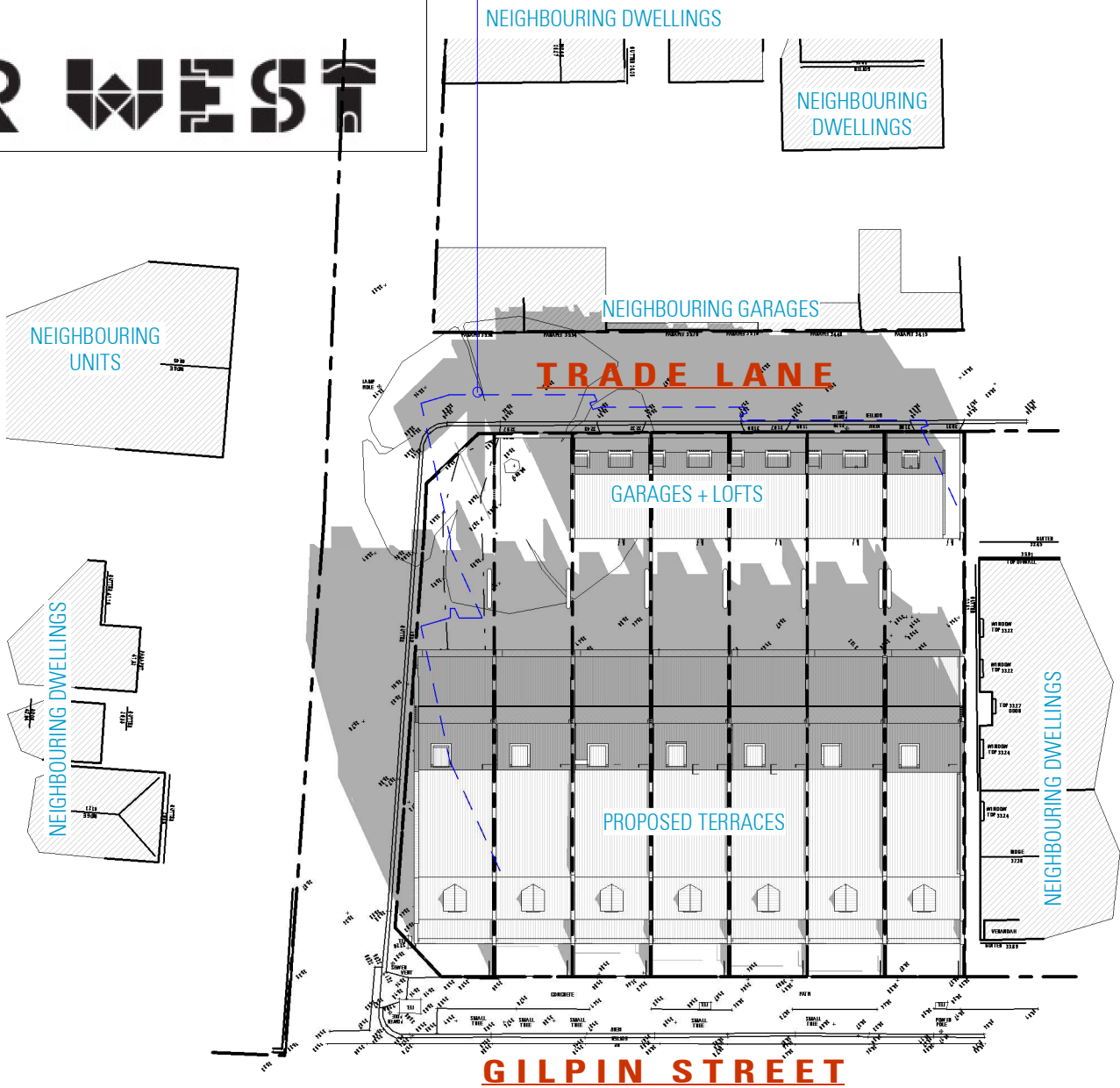
Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal
EXTENT OF EXISTING SHADOW
DURATION SHOWN IN DASHED LINE



EXISTING SHADOWS 1PM



PROPOSED SHADOWS 1PM

NOT FOR CONSTRUCTION

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

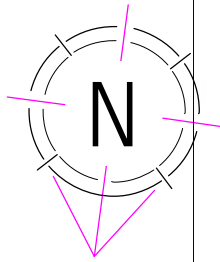
DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN
UNIQUE DEVELOPMENTS PTY LTD

DRAWING

SHADOW DIAGRAMS 21ST OF JUNE - 1PM

SCALE 1:400 /
ISSUE B 22.03.2021

DWG No. 20153 - 20



This application has been

REFUSED

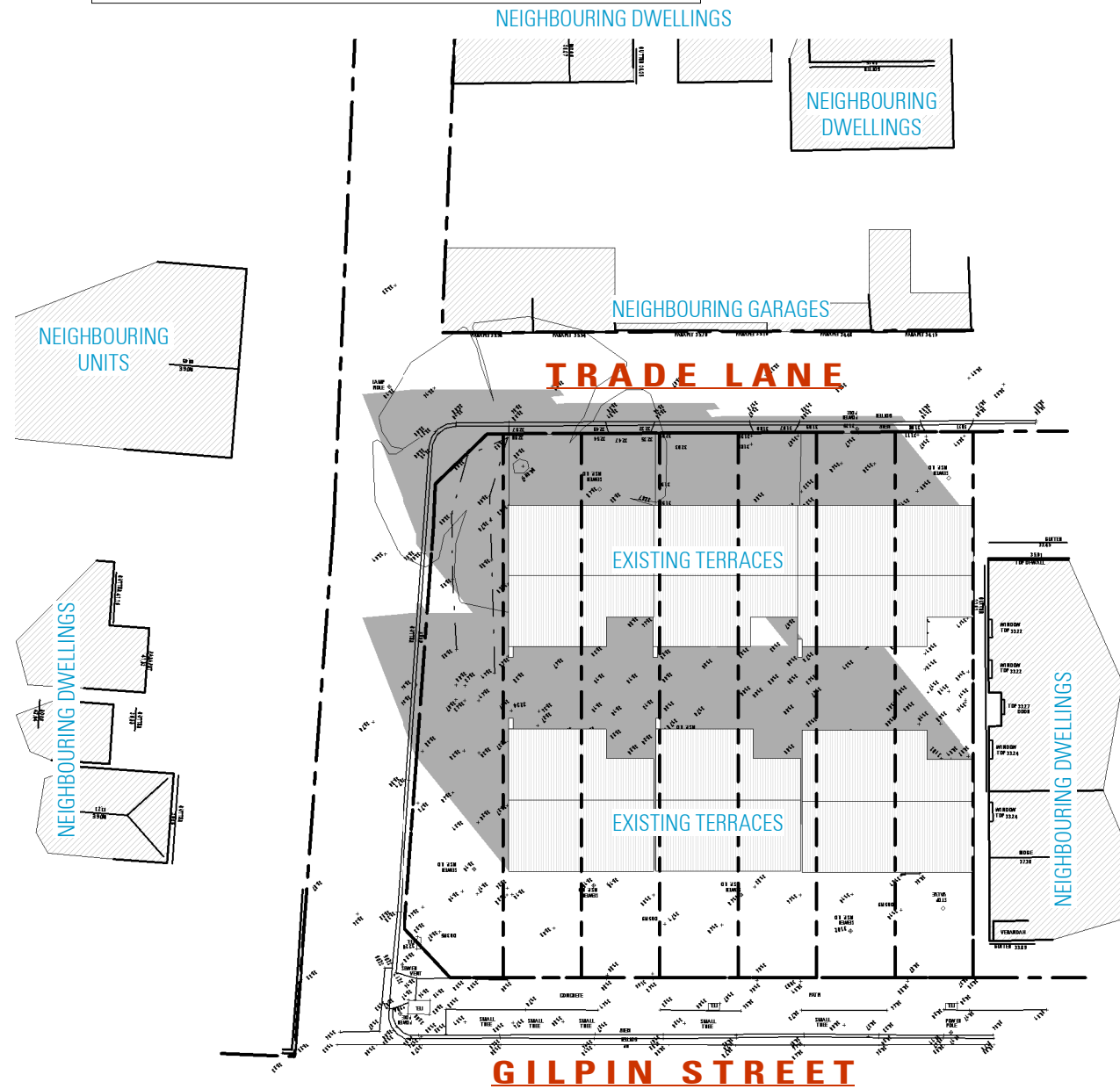
Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal

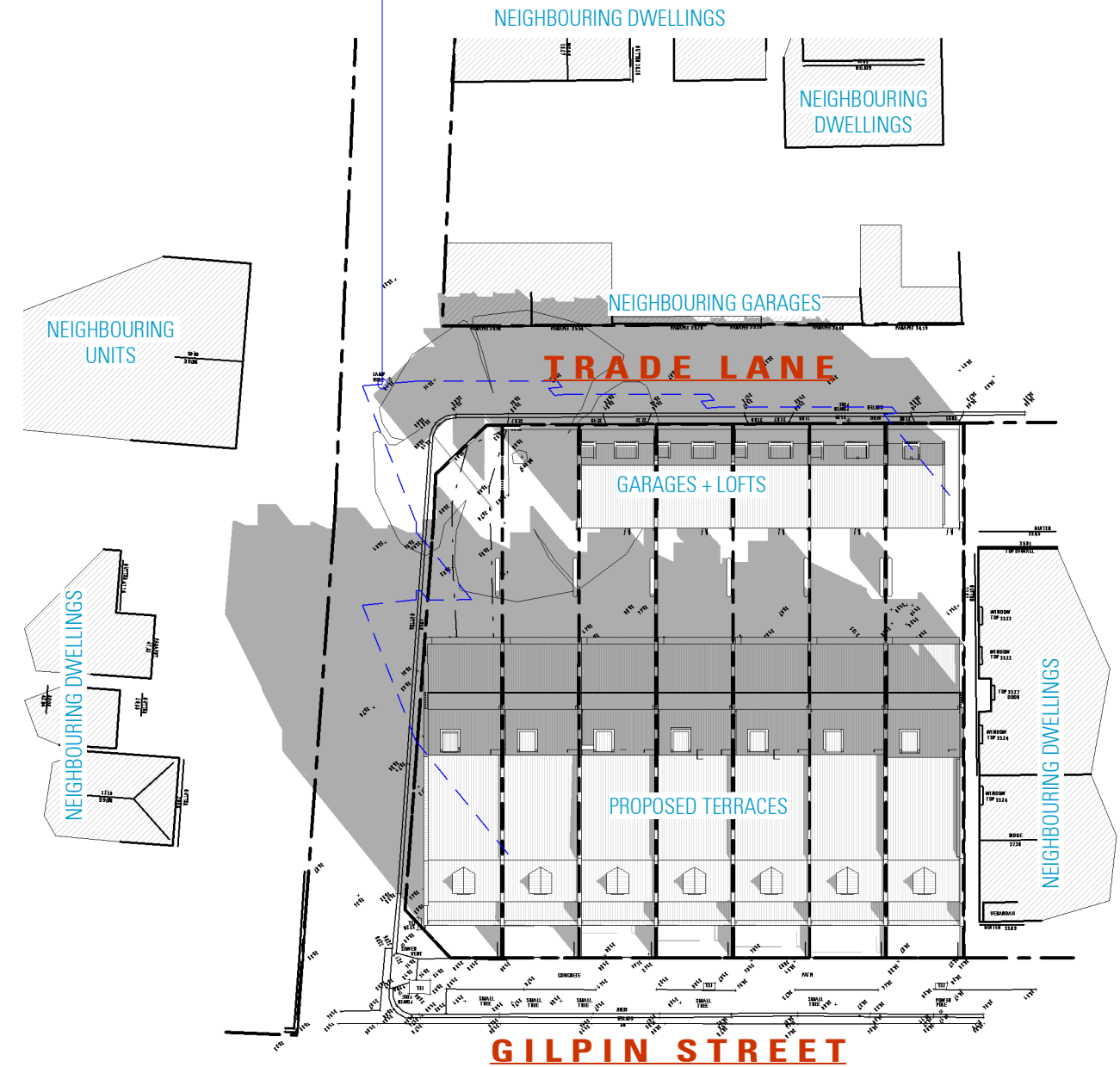


SHADOW DIAGRAMS - 21st OF JUNE - 2PM

EXTENT OF EXISTING SHADOW
OUTLINES SHOWN IN DASHED LINE



EXISTING SHADOWS 2PM



PROPOSED SHADOWS 2PM

NOT FOR CONSTRUCTION

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

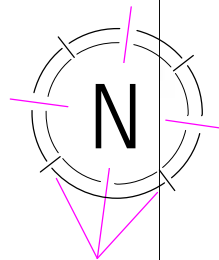
DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN UNIQUE DEVELOPMENTS PTY LTD

DRAWING

SHADOW DIAGRAMS 21ST OF JUNE - 2PM

SCALE 1:400 /
ISSUE B 22.03.2021

DWG No. 20153 - 21



This application has been

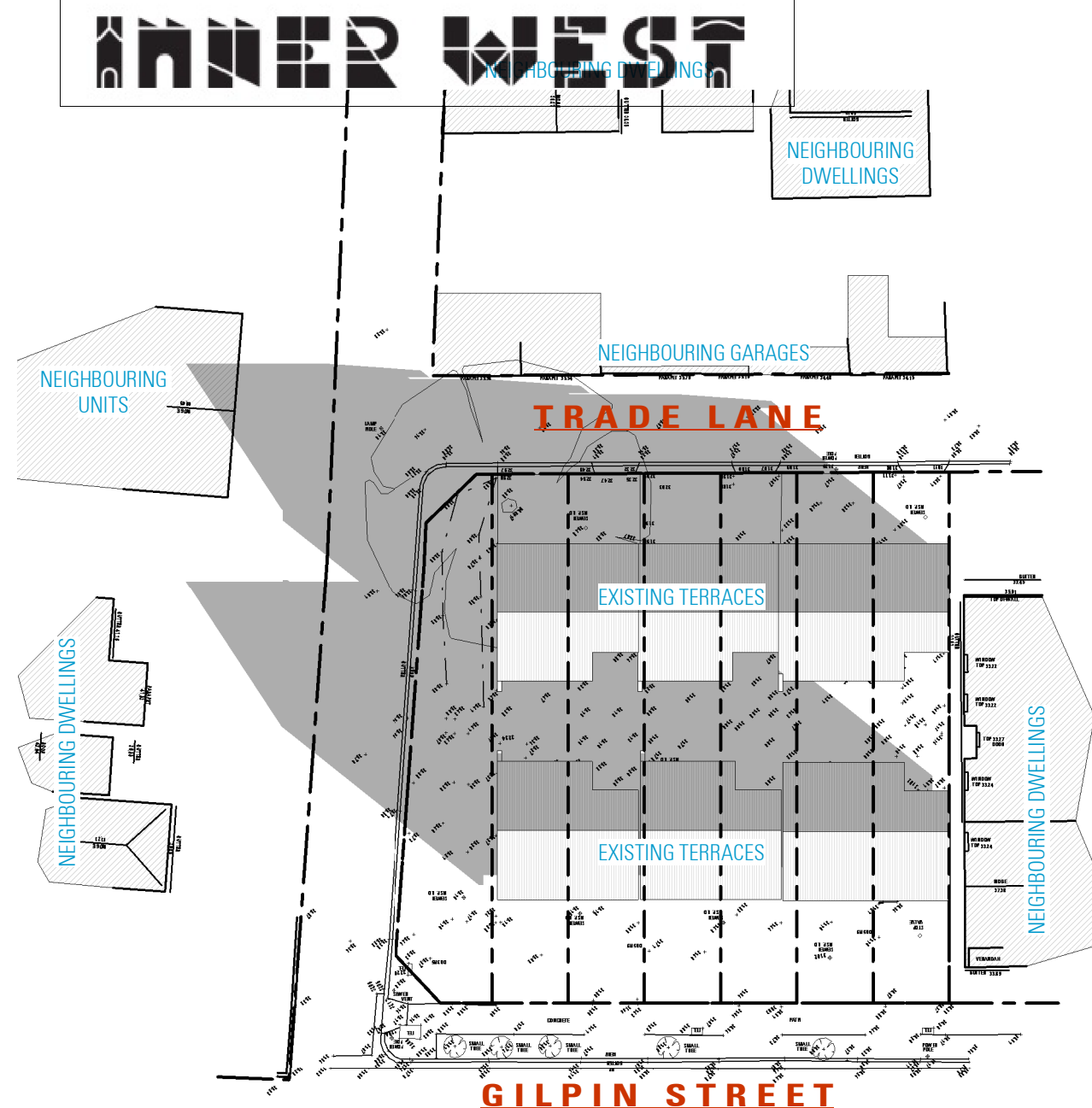
REFUSED

Determination No: DA/2020/0993

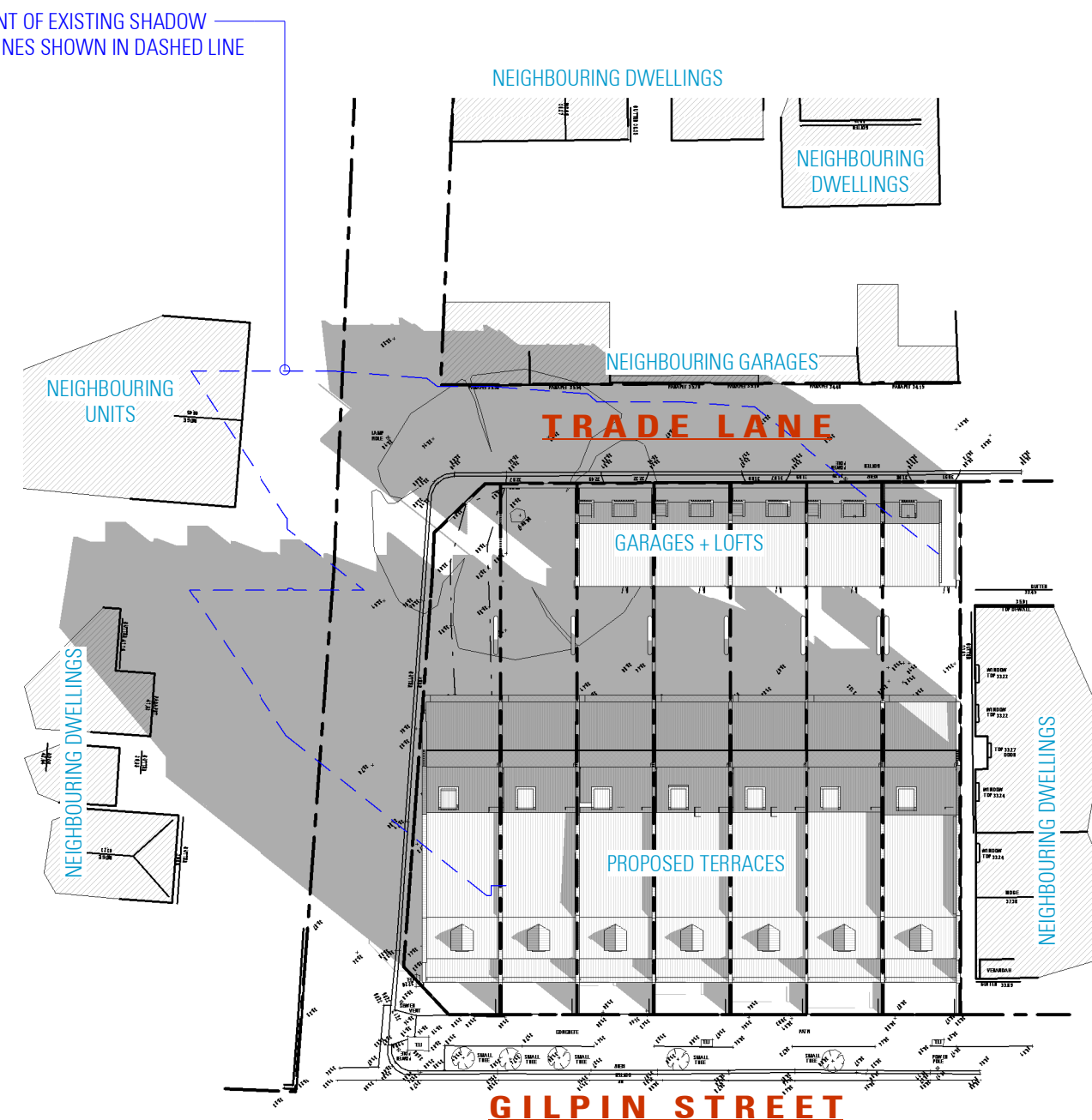
Determination Date: 8 June 2021

See attached reasons for refusal

SHADOW DIAGRAMS - 21st OF JUNE - 3PM



EXISTING SHADOWS 3PM



PROPOSED SHADOWS 3PM

NOT FOR CONSTRUCTION

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A.) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

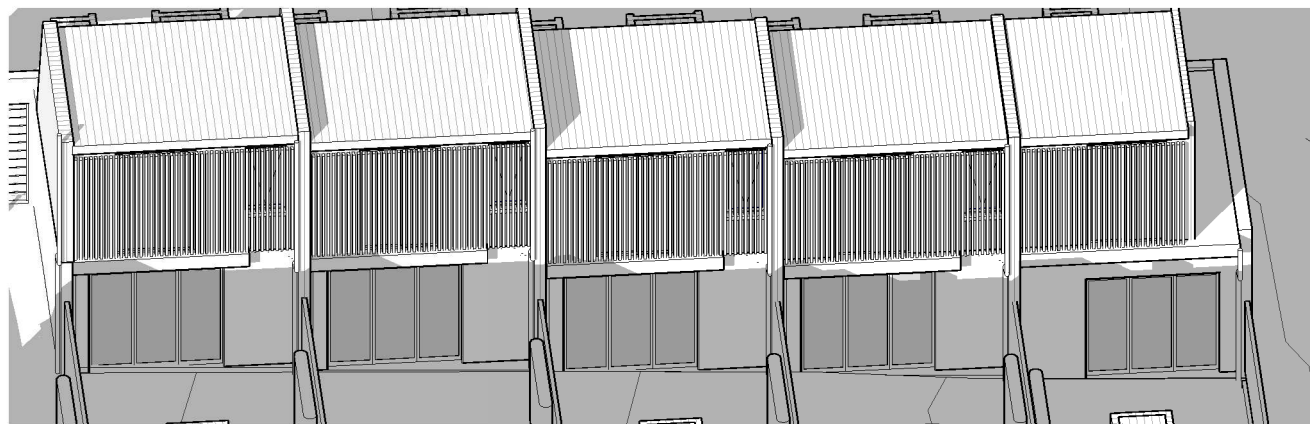
DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN
UNIQUE DEVELOPMENTS PTY LTD

DRAWING

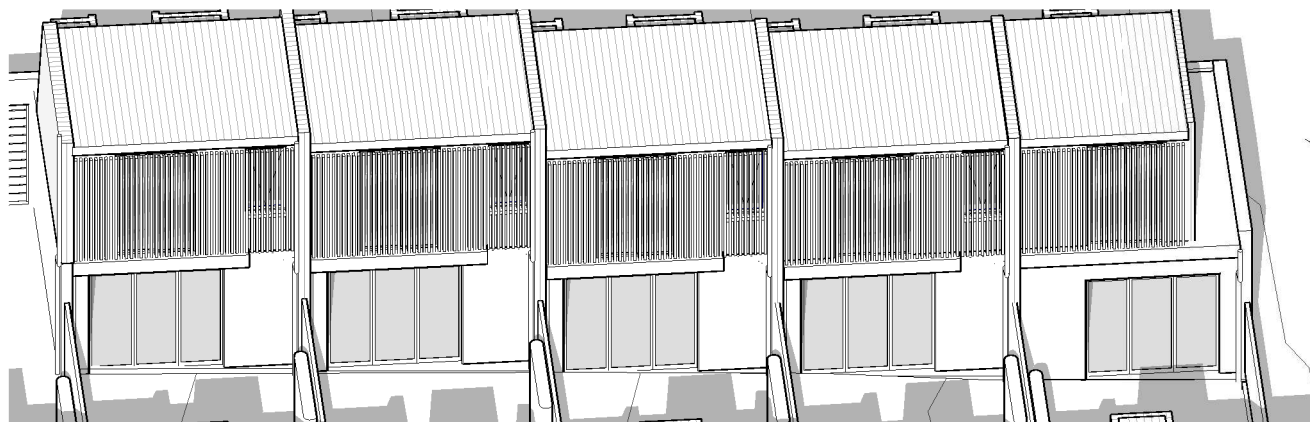
SHADOW DIAGRAMS 21ST OF JUNE - 3PM

SCALE 1: 400 / A3
ISSUE B 22.03.2021

DWG No. 20153 - 22



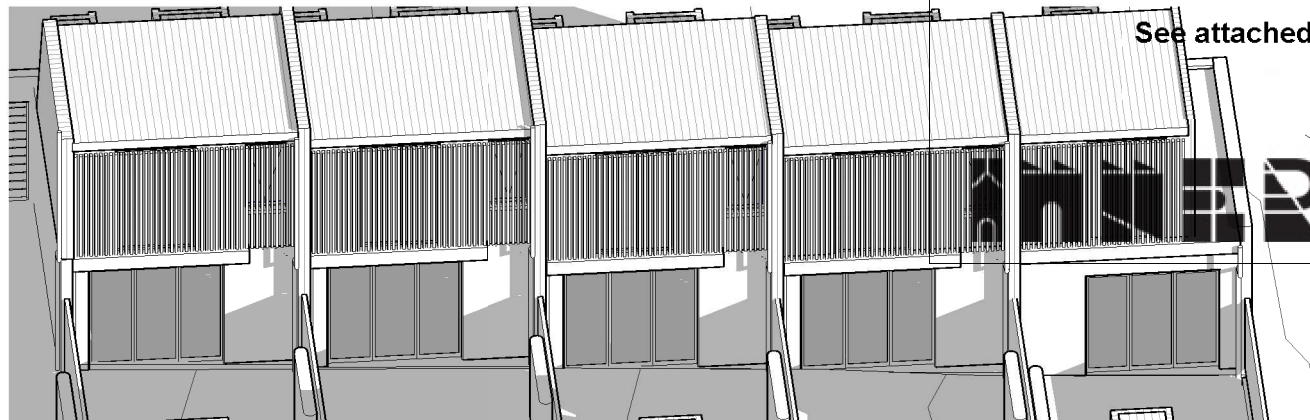
PROPOSED SHADOWS 9AM



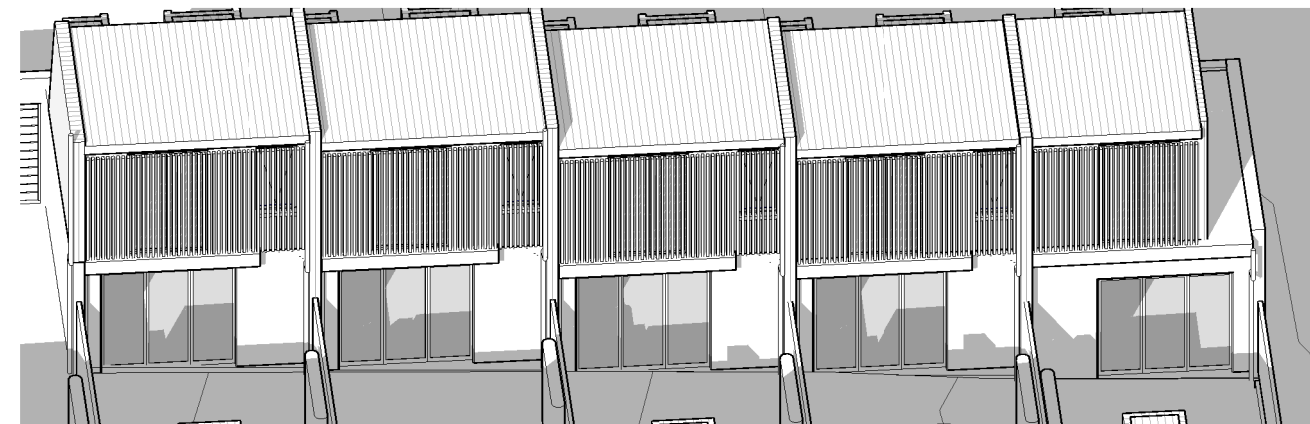
PROPOSED SHADOWS 11AM



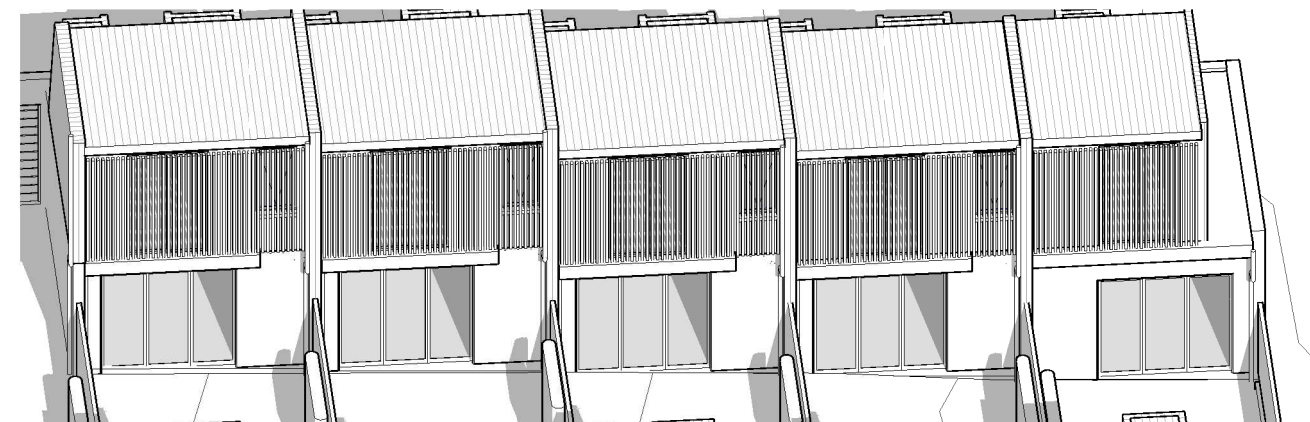
PROPOSED SHADOWS 1PM



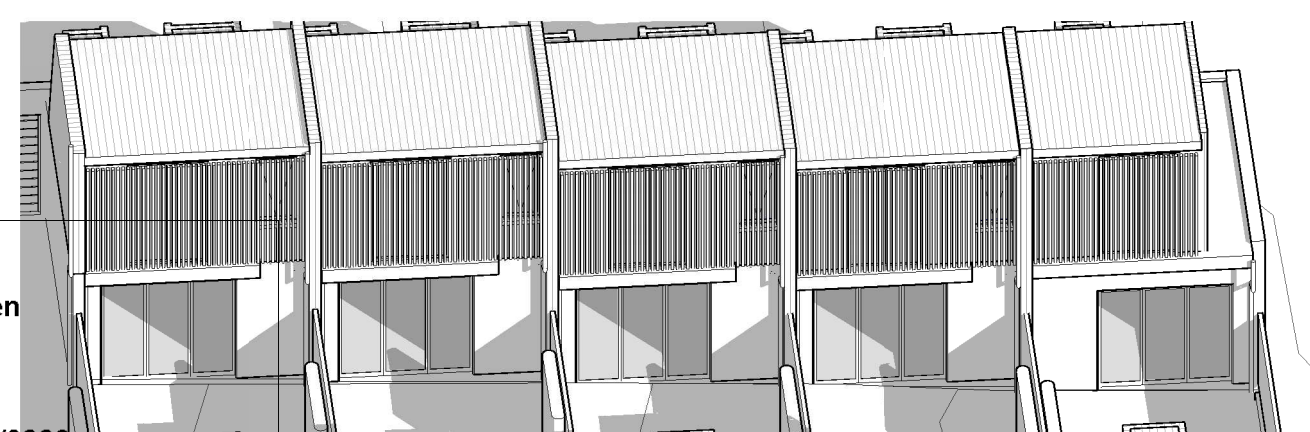
PROPOSED SHADOWS 3PM



PROPOSED SHADOWS 10AM



PROPOSED SHADOWS 12PM



PROPOSED SHADOWS 2PM

This application has been
REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal

INNER WEST

ELEVATION SHADOW DIAGRAMS - 21st OF JUNE - GARAGE

NOT FOR CONSTRUCTION

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN
DRAFTED

ANUPAMA SAHA
JOHNNY NGUYEN

UNIQUE DEVELOPMENTS PTY LTD

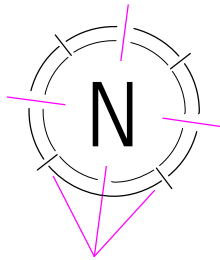
DRAWING

ELEVATION SHADOW DIAGRAMS 21ST
OF JUNE - GARAGE (NORTH FACE)

SCALE
ISSUE

/
B 22.03.2021

DWG No. 20153 - 24



NOT FOR CONSTRUCTION

NIEGHBOURING ALLOTMENTS

(APPROXIMATE DIMENSIONS AND AREAS)

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN
DRAFTED

ANUPAMA SAHA
JOHNNY NGUYEN

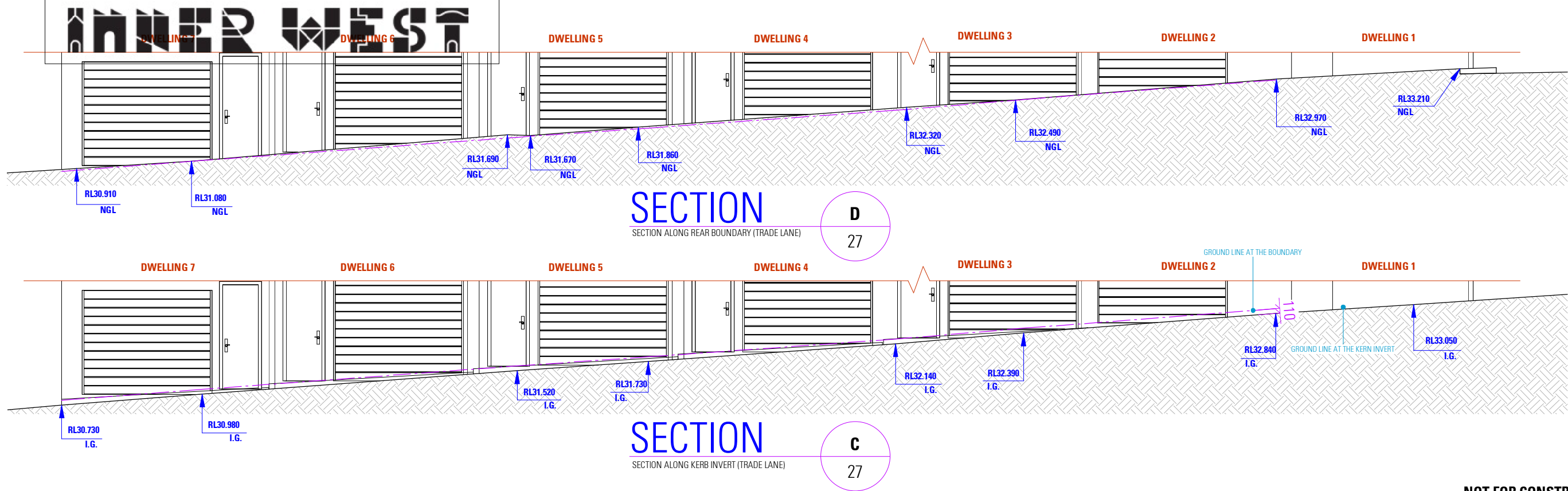
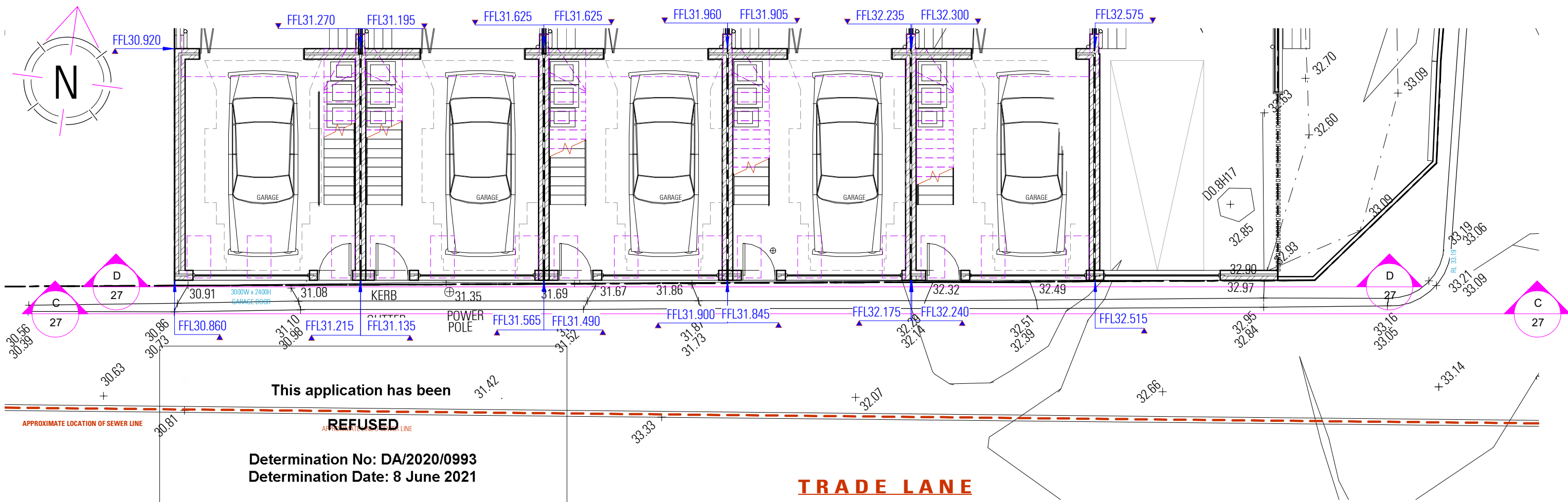
UNIQUE DEVELOPMENTS PTY LTD

DRAWING

NEIGHBOUR ALLOTMENT ANALYSIS

SCALE
ISSUE 1 : 500/
B 22.03.2021

DWG No. 20153 - 26



NOT FOR CONSTRUCTION

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN
DRAFTED

ANUPAMA SAHA
JOHNNY NGUYEN

UNIQUE DEVELOPMENTS PTY LTD

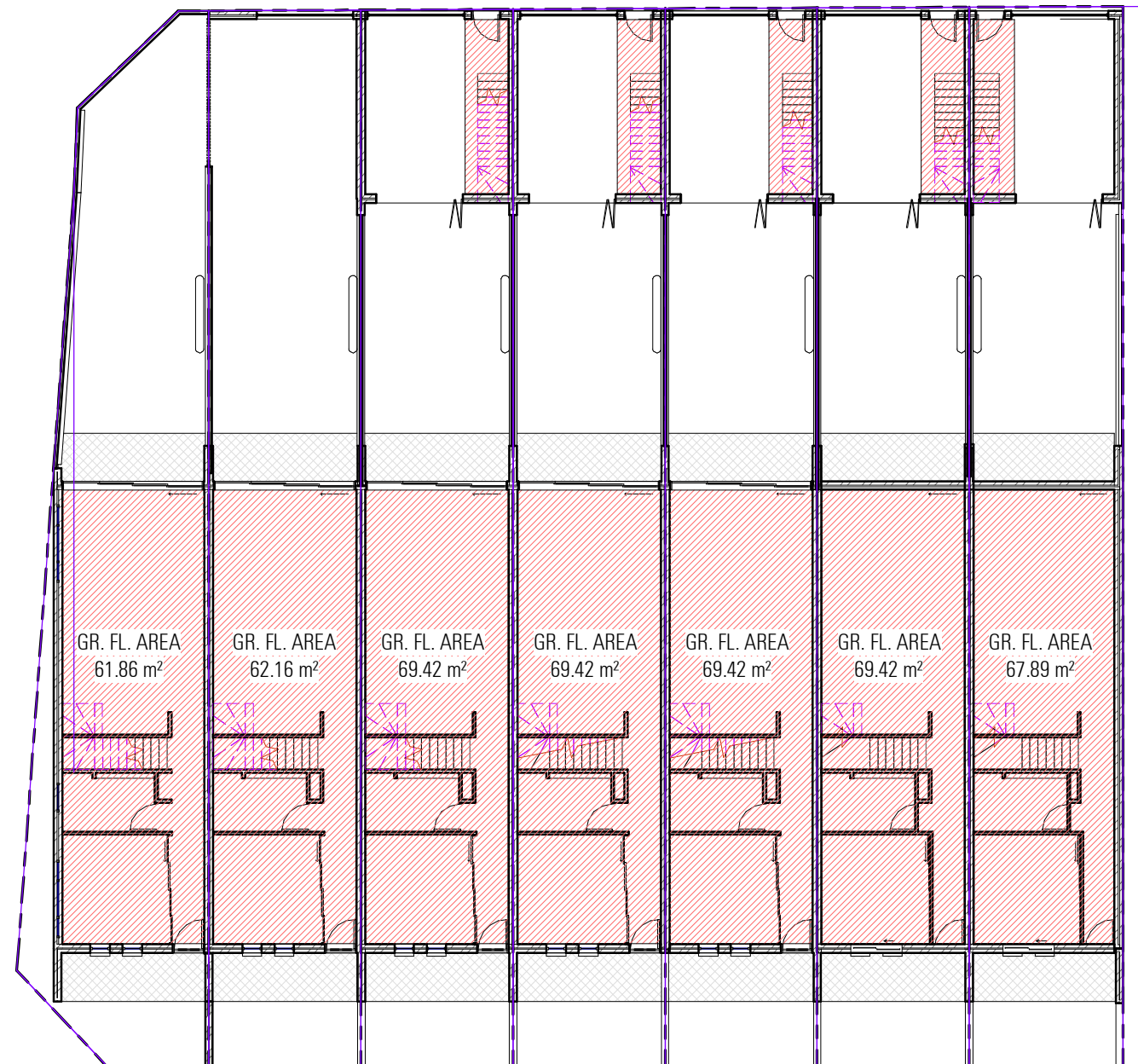
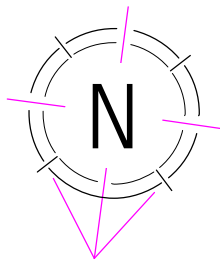
DRAWING

LONG SECTIONS ALONG TRADE LANE

SCALE
ISSUE

1 : 100 / A3
B 22.03.2021

DWG No. 20153 - 27



This application has been

REFUSED

Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA
DRAFTED JOHNNY NGUYEN

UNIQUE DEVELOPMENTS PTY LTD

DRAWING

GFA CALCULATIONS - GROUND FLOOR
PLAN

SCALE 1 : 200 /
ISSUE

DWG No. 20153 - 29

UNIT 1 CALCULATIONS

LOT AREA	154.46sqm
GROUND FLOOR AREA	61.86sqm
FIRST FLOOR AREA	44.45sqm
SECOND FLOOR AREA	26.85sqm
TOTAL FLOOR AREA	133.16sqm
FLOOR SPACE RATIO	0.862 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	56.68+5.4sqm

UNIT 2 CALCULATIONS

LOT AREA	154.46sqm
GROUND FLOOR AREA	62.16sqm
FIRST FLOOR AREA	44.86sqm
SECOND FLOOR AREA	26.96sqm
TOTAL FLOOR AREA	133.98sqm
FLOOR SPACE RATIO	0.867 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	68.65+5.4sqm

UNIT 3 CALCULATIONS

LOT AREA	154.65sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.64sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 4 CALCULATIONS

LOT AREA	154.75sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.94sqm
TOTAL FLOOR AREA	154.74sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 5 CALCULATIONS

LOT AREA	154.86sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.77sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 6 CALCULATIONS

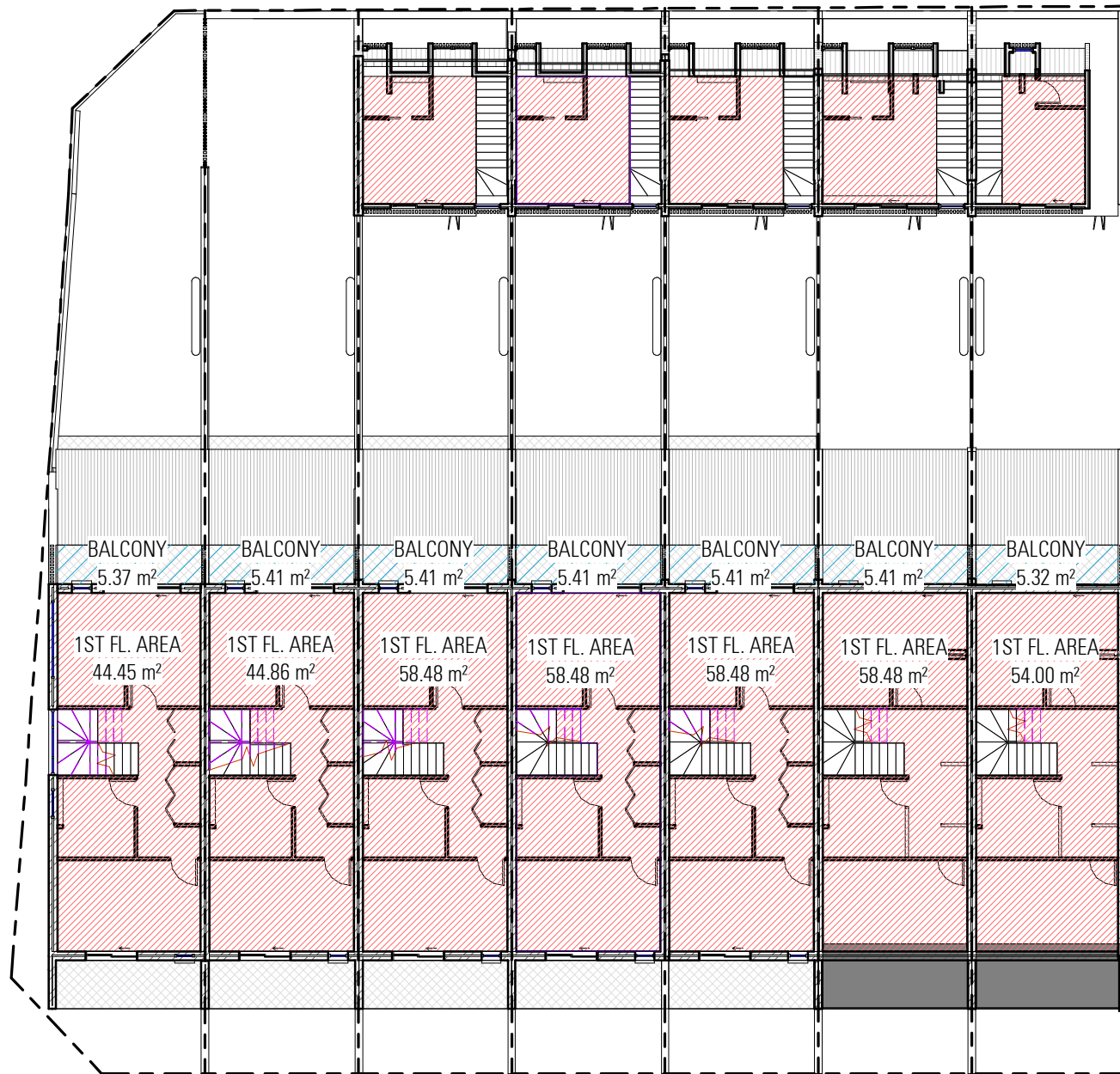
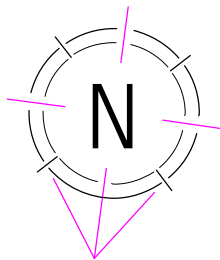
LOT AREA	154.96sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.77sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 7 CALCULATIONS

LOT AREA	157.07sqm
GROUND FLOOR AREA	67.89qm
FIRST FLOOR AREA	54.00sqm
SECOND FLOOR AREA	26.44sqm
TOTAL FLOOR AREA	147.89sqm
FLOOR SPACE RATIO	0.941 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	41.71+5.4sqm

NOT FOR CONSTRUCTION





This application has been

REFUSED

Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal

INNER WEST

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/ DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN
DRAFTED

ANUPAMA SAHA
JOHNNY NGUYEN

UNIQUE DEVELOPMENTS PTY LTD

DRAWING

GFA CALCULATIONS - FIRST FLOOR PLAN

SCALE
ISSUE

1 : 200 /

DWG No. 20153 - 30

UNIT 1 CALCULATIONS

LOT AREA	154.46sqm
GROUND FLOOR AREA	61.86sqm
FIRST FLOOR AREA	44.45sqm
SECOND FLOOR AREA	26.85sqm
TOTAL FLOOR AREA	133.16sqm
FLOOR SPACE RATIO	0.862 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	56.68+5.4sqm

UNIT 2 CALCULATIONS

LOT AREA	154.46sqm
GROUND FLOOR AREA	62.16sqm
FIRST FLOOR AREA	44.86sqm
SECOND FLOOR AREA	26.96sqm
TOTAL FLOOR AREA	133.98sqm
FLOOR SPACE RATIO	0.867 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	68.65+5.4sqm

UNIT 3 CALCULATIONS

LOT AREA	154.65sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.64sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 4 CALCULATIONS

LOT AREA	154.75sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.94sqm
TOTAL FLOOR AREA	154.74sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 5 CALCULATIONS

LOT AREA	154.86sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.77sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

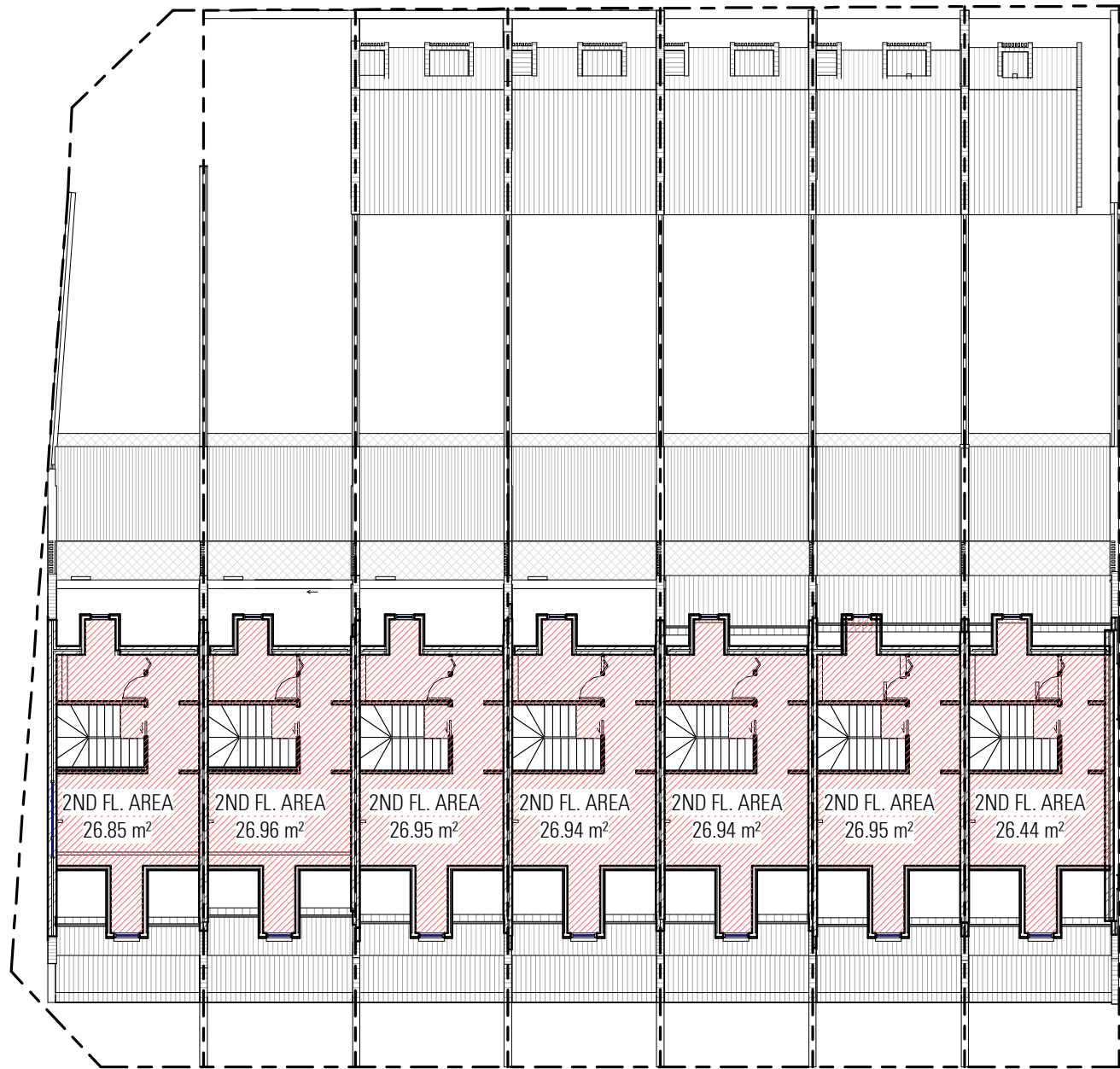
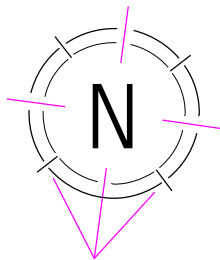
UNIT 6 CALCULATIONS

LOT AREA	154.96sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.77sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 7 CALCULATIONS

LOT AREA	157.07sqm
GROUND FLOOR AREA	67.89qm
FIRST FLOOR AREA	54.00sqm
SECOND FLOOR AREA	26.44sqm
TOTAL FLOOR AREA	147.89sqm
FLOOR SPACE RATIO	0.941 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	41.71+5.4sqm

NOT FOR CONSTRUCTION



This application has been

REFUSED

Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal

INNER WEST

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
4. VERIFY ALL DISCREPANCIES WITH THE DESIGNER
5. ALL WORKS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (B.C.A) & AUSTRALIAN STANDARDS

COPYRIGHT

THESE DRAWINGS HAVE BEEN PREPARED BY ES DESIGN, AND SHALL REMAIN THE PROPERTY OF THE SAME. NO PORTION OF THESE DRAWINGS, WHETHER IN PART OR WHOLE, SHALL BE USED IN ANY FORM, DUPLICATED OR OTHERWISE, WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT/ DESIGNER. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LAWS.



www.es.com.au



PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET
CAMPERDOWN NSW 2050

DESIGN
DRAFTED

ANUPAMA SAHA
JOHNNY NGUYEN

UNIQUE DEVELOPMENTS PTY LTD

DRAWING

GFA CALCULATIONS - SECOND FLOOR
PLAN

SCALE
ISSUE

1 : 200 /

DWG No. 20153 - 31

UNIT 1 CALCULATIONS

LOT AREA	154.46sqm
GROUND FLOOR AREA	61.86sqm
FIRST FLOOR AREA	44.45sqm
SECOND FLOOR AREA	26.85sqm
TOTAL FLOOR AREA	133.16sqm
FLOOR SPACE RATIO	0.862 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	56.68+5.4sqm

UNIT 2 CALCULATIONS

LOT AREA	154.46sqm
GROUND FLOOR AREA	62.16sqm
FIRST FLOOR AREA	44.86sqm
SECOND FLOOR AREA	26.96sqm
TOTAL FLOOR AREA	133.98sqm
FLOOR SPACE RATIO	0.867 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	68.65+5.4sqm

UNIT 3 CALCULATIONS

LOT AREA	154.65sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.64sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 4 CALCULATIONS

LOT AREA	154.75sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.94sqm
TOTAL FLOOR AREA	154.74sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 5 CALCULATIONS

LOT AREA	154.86sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.77sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

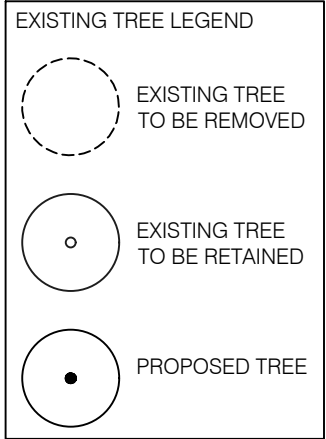
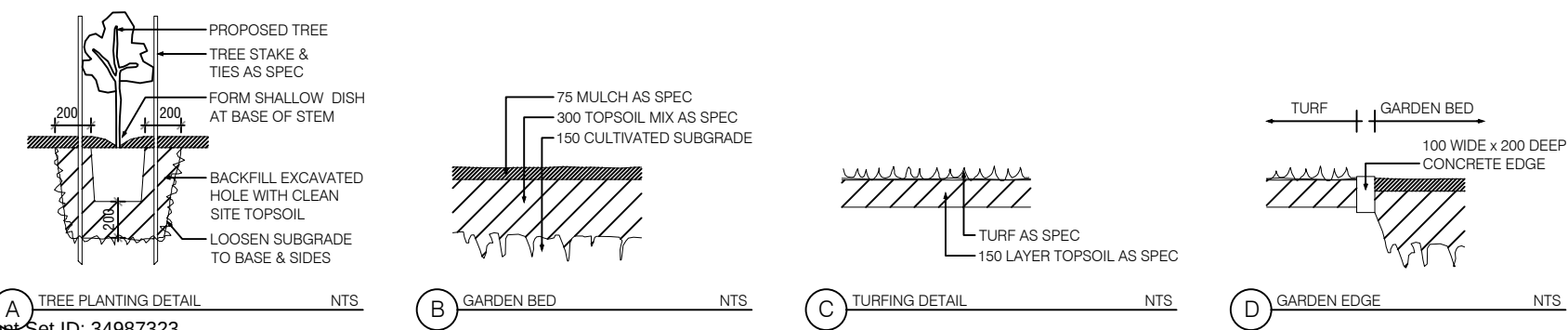
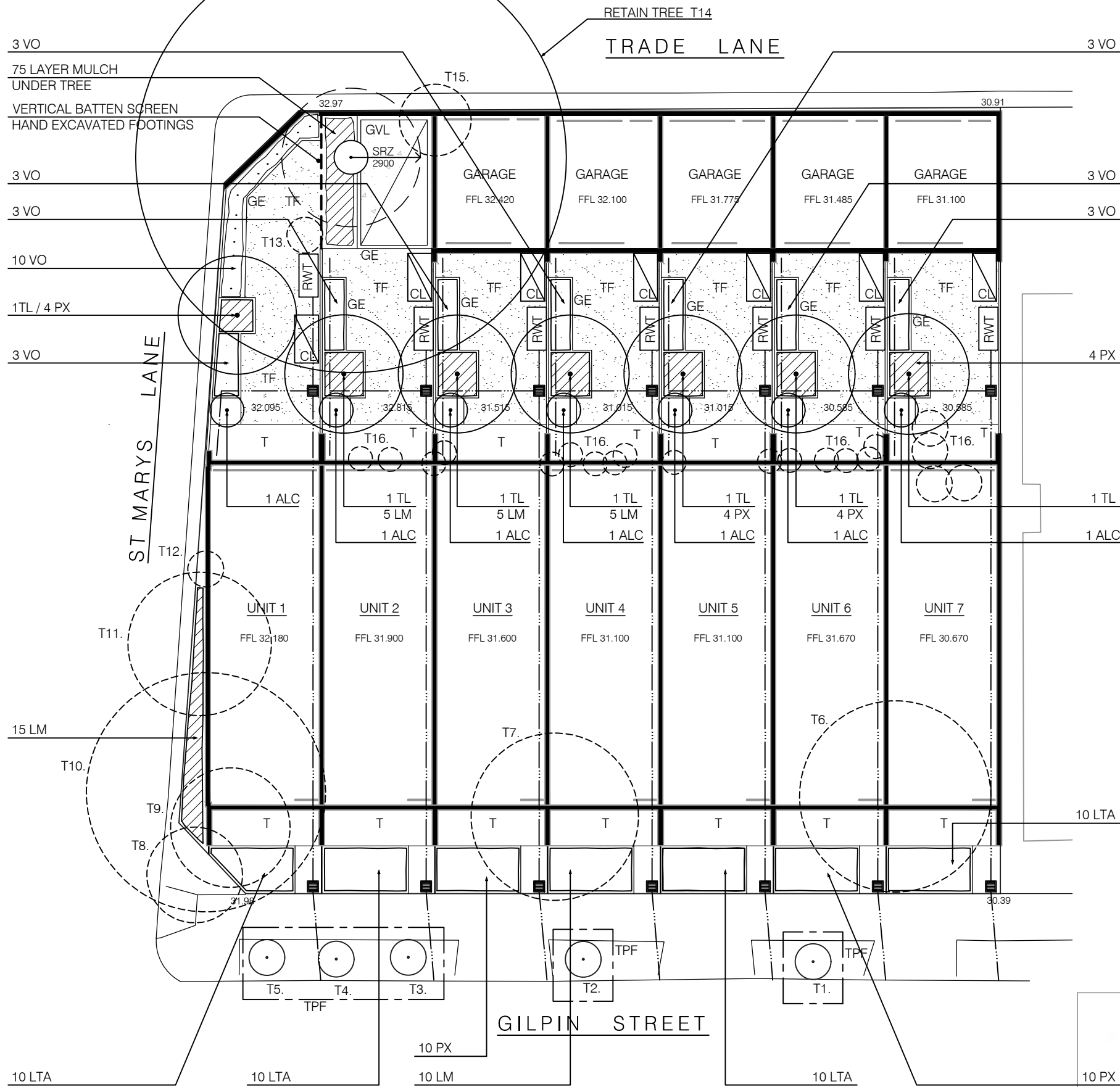
UNIT 6 CALCULATIONS

LOT AREA	154.96sqm
GROUND FLOOR AREA	69.42sqm
FIRST FLOOR AREA	58.48sqm
SECOND FLOOR AREA	26.95sqm
TOTAL FLOOR AREA	154.77sqm
FLOOR SPACE RATIO	0.999 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	40.79+5.4sqm

UNIT 7 CALCULATIONS

LOT AREA	157.07sqm
GROUND FLOOR AREA	67.89qm
FIRST FLOOR AREA	54.00sqm
SECOND FLOOR AREA	26.44sqm
TOTAL FLOOR AREA	147.89sqm
FLOOR SPACE RATIO	0.941 : 1
BALCONY AREA	5.4sqm
PRIVATE OPEN SPACE (POS)	41.71+5.4sqm

NOT FOR CONSTRUCTION



NOTES AND SPECIFICATIONS

EXCAVATIONS
Prior to carrying out any excavations, the contractor is to confirm the locations of all services. Service pits and lids are not to be covered by any materials. Trim and grade area to form a smooth even finish.

GARDEN BED / MULCH
The topsoil to all garden bed areas shall be four (4) parts site topsoil to one (1) part organic compost thoroughly blended together prior to placing into position. Where the site topsoil is considered not suitable, an imported topsoil blend meeting the requirements of AS4419-1998 shall be used. Garden bed subgrades are to be cultivated to a depth of 150mm. Topsoil depths to all garden bed areas in deep soil to be 300mm (min). At the completion of all planting operations apply a 75mm layer of mulch over entire garden bed taking care not to smother plants. Reduce depth of mulch around base of plants to form "watering dish". Mulch used shall be Pine Bark Nuggets as supplied by ANL or similar. All proposed planting is subject to suitable topsoil depths on site. Where there is insufficient depth due to presence of bedrock or other structures, the proposed planting is to be modified to suit in accordance with instructions from landscape architect.

TURF / GARDEN EDGING
Turf used for this site shall be Sir Walter Buffalo or similar soft leaf variety. Unless specified otherwise, turf shall be laid over 150mm topsoil and finished flush with adjacent surfaces. Water turfed areas immediately after turfing operations. Topdress any excessively undulating areas to form a smooth level surface with a coarse grade washed river sand. All garden edging as denoted by 'GE' on the plan is to be constructed as per detail.

PLANT MATERIAL
The plants are to be healthy nursery stock, free from disease, injury, insects all weed or roots of weeds. All plants are to be thoroughly soaked 1 hour prior to planting. All plants delivered for use on site shall be fully acclimatized to prevailing local Sydney conditions.

EXISTING TREES TO BE RETAINED
The existing trees indicated for retention shall be protected for the duration of the construction period. Install a 1.8m high temporary protective fence (TPF) to the locations as indicated on the plan. Do not store or otherwise place bulk or harmful materials under or near a tree which is to be retained. Do not attach stays, guys and the like to a tree which is to be retained. Where it is absolutely necessary to prune tree roots / limbs contractor to ensure all Council approvals have been obtained. All tree work is to be carried out by a qualified and insured arborist. Where an arborist report has been prepared for the existing tree on site: The landscape plan shall be read in conjunction with this report. All trees identified for retention shall be protected and managed in accordance recommendations of this report. These recommendations will take precedence over any measures outline in the landscape plan.

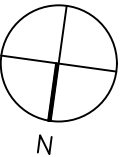
MAINTENANCE / ON GOING CARE
Maintain all landscape areas to ensure plant health and occupant safety for period of 12 months beginning from date of practical completion to the satisfaction of Council. Maintenance will include but is not limited to the following activities: Mowing and edging lawn areas, fertilizing all plant material, pruning, watering, replacing failed planting, treating for pests and diseases, topping up of mulch areas and weeding garden beds as required. On completion of the initial 12 month period, all maintenance responsibilities shall be handed over to building management / property owner for on-going care. Note: All trees will require ongoing annual observation and maintenance by qualified arborist to reduce the risk of causing damage to adjacent property and to ensure occupant safety and tree health.

DISCREPANCIES
Should there be any discrepancies on the drawings with existing site conditions; contractor is to notify the landscape architect prior to proceeding with the works

PLANTING SCHEDULE

Code	Name	Pot Size	Mt Size	Qty
ALC	Alcantarea imperialis 'Rubra'	300mm	Accent 1.2m	11No.
DE	Doryanthes excelsa	300mm	1.5m	3No.
LM	Liriope muscari	100mm	0.8m	40No.
LTA	Lomandra tanika	100mm	0.3m	30No.
TL	Tristaniopsis laurina*	100Litre	6.0m	7No.
PX	Philodendron "Xanadu"	200mm	0.5m	46No.
VO	Viburnum odoratissimum	300mm	Trim to 2.0m	31No.

29-37A Gilpin St Camperdown *as requested 15 March 2021



SURFACE TREATMENT LEGEND

STF	Synthetic Turf
TF	Turf
GE	Steel Garden Edge (to detail)
GE	Garden Edge (to detail)
CL	Clothes Lines (to client requirements)
CB/TP	Colorbond / Timber Palling (1.8 high)
T	Tile (to client requirements)
RWT	Rainwater Tank (to Engineers Specifications)
PV	Pavers
PP	Water Permeable Unit Paver
SC	Stenciled Concrete (Charcoal/gunmetal)
TPF	Temporary Protection Fence (1.8m chainmesh)
GVL	Gravel Surface / Path (Nepean River Pebble)
TD	Timber Deck
CP	Concrete Path
B	Bench Seat
BT	Table / Seating

This application has been

REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal

Rev C Rear Terrace / Remove ER	18 March 2021
Rev B Revised Site Plan	15 March 2021
Rev A Modified Floor Levels	27 Oct 2020

Michael Siu
Landscape Architects
PO Box 550 Hurstville NSW 1481
michael@msla.com.au
02 9557 9833 | 0417 280 249

Landscape Planting Plan

Residential Development
29-37a Gilpin St Camperdown

1:200@A3 Dwg: L01/1- K25118 22 Sept 2020

ABN 15 086 982 158 Copyright 2020 M.SIU





DESIGN NOTES:

THE SITE IS LOCATED IN INNER WEST COUNCIL LGA.

SITE AREA: 1086m²

OSD IS REQUIRED AS PER COUNCIL DCP 2011.

THE OSD IS SIZED USING "DRAINS" SOFTWARE BASED ON REDUCING THE PEAK DISCHARGE FROM 100-YR STORM POST-DEV. DOWN TO 5-YR STORM PRE-DEV. BOTH PRE AND POST DEVELOPMENT. SEE SHEET SW05 FOR DETAILS.

FROM "DRAINS" RESULT, THE OSD VOLUME REQUIRED IS 5.6m³. RAINWATER TANK IS PROPOSED IN LIEU OF OSD. RATIO OF 2.5m³ IS ADOPTED TO OFFSET OSD REQUIREMENT. THEREFORE, MINIMUM OF 14.0m³(2.0 PER LOT) IS PROPOSED ON SITE.

This application has been

REFUSED

Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal

INNER WEST

GROUND FLOOR PLAN

SCALE 1:100 (A1)

SCALE 1:200 (A3)

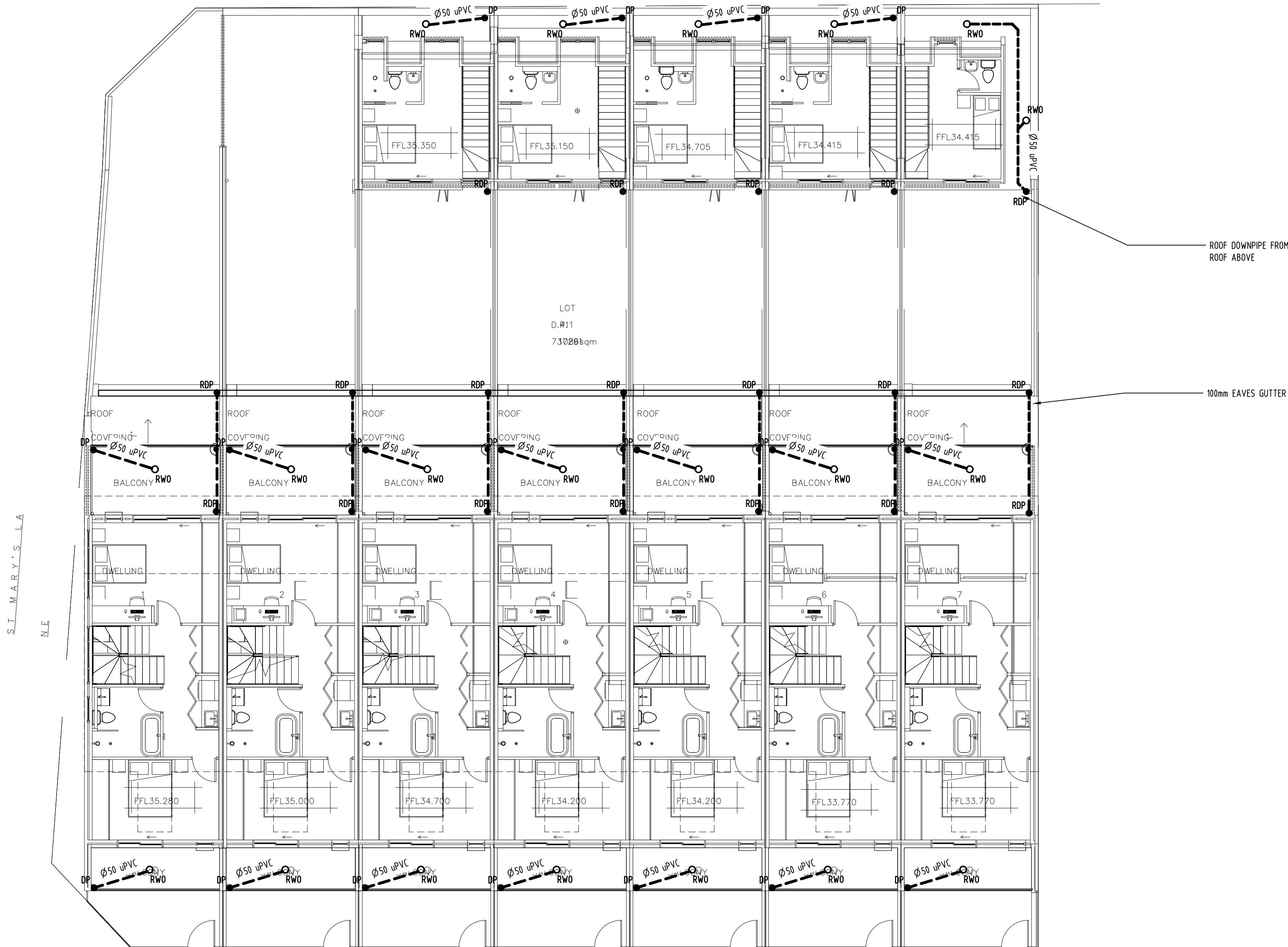
B	22.03.2020	REVISED AS PER COUNCIL COMMENT	TA
A	01.10.2020	ISSUED FOR DA	TA
REV.	DATE	AMENDMENT DESCRIPTION	DRAWN
TAA CONSULTING ENGINEERS CONSULTING CIVIL & STRUCTURAL ENGINEERS 201/25 FALCON STREET, CROWS NEST NSW 2065 Ph 0411778799 TAAENGINEERS@GMAIL.COM			
PROPOSED RESIDENTIAL DEVELOPMENT AT: 29-37A GILPIN STREET, CAMPERDOWN NSW			
SITE DRAINAGE PLAN			
DRAWN	CHECKED	SCALE	DATUM
TA	TONY AHAL - Civil & Structural Engineer B.E. CIVIL (1994) (MIL/ANZS)11060225	AS SHOWN	AHD
DRAWING No.		REV.	
H306 - S1/4		B	



TRADE LANE

E

This application has been
REFUSED
Determination No: DA/2020/0993
Determination Date: 8 June 2021
See attached reasons for refusal



FIRST FLOOR PLAN
SCALE 1:100 (A1)
SCALE 1:200 (A3)

GILPIN STREET

E

B	22.03.2020	REVISED AS PER COUNCIL COMMENT		TA
A	01.10.2020	ISSUED FOR DA		TA
REV.	DATE	AMENDMENT DESCRIPTION		DRAWN
TAA CONSULTING ENGINEERS CONSULTING CIVIL & STRUCTURAL ENGINEERS 201/25 FALCON STREET, CROWS NEST NSW 2065 Ph 0411778799 TAAENGINEERS@GMAIL.COM PROPOSED RESIDENTIAL DEVELOPMENT AT: 29-37A GILPIN STREET, CAMPERDOWN NSW				
ROOF DRAINAGE PLAN				
DRAWN	CHECKED	SCALE	DATUM	DRAWING No.
TA	TONY ANAL - Civil & Structural Engineer (B.E. Civil (Lisys) (MENAus)1985229)	AS SHOWN	AHD	H306 - S2/4
				REV.
				B



TRADE LANE

E

100mm EAVES GUTTER

This application has been

REFUSED

Determination No: DA/2020/0993
Determination Date: 8 June 2021

See attached reasons for refusal

INNER WEST

ST MARYS LA
N/E

SECOND FLOOR PLAN

SCALE 1:100 (A1)
SCALE 1:200 (A3)

GILPIN STREET

E T

B	22.03.2020	REVISED AS PER COUNCIL COMMENT		TA
A	01.10.2020	ISSUED FOR DA		TA
REV.	DATE	AMENDMENT DESCRIPTION		DRAWN
TAA CONSULTING ENGINEERS CONSULTING CIVIL & STRUCTURAL ENGINEERS 201/25 FALCON STREET, CROWS NEST NSW 2065 Ph 0411778799 TAAENGINEERS@GMAIL.COM				
PROPOSED RESIDENTIAL DEVELOPMENT AT: 29-37A GILPIN STREET, CAMPERDOWN NSW				
ROOF DRAINAGE PLAN				
DRAWN	CHECKED	SCALE	DATUM	DRAWING No.
TA	TONY ANAL - Civil & Structural Engineer (B.E. Civil (Lispy) (MEANet):1905229	AS SHOWN	AHD	H306 - S2/4
				REV.
				B

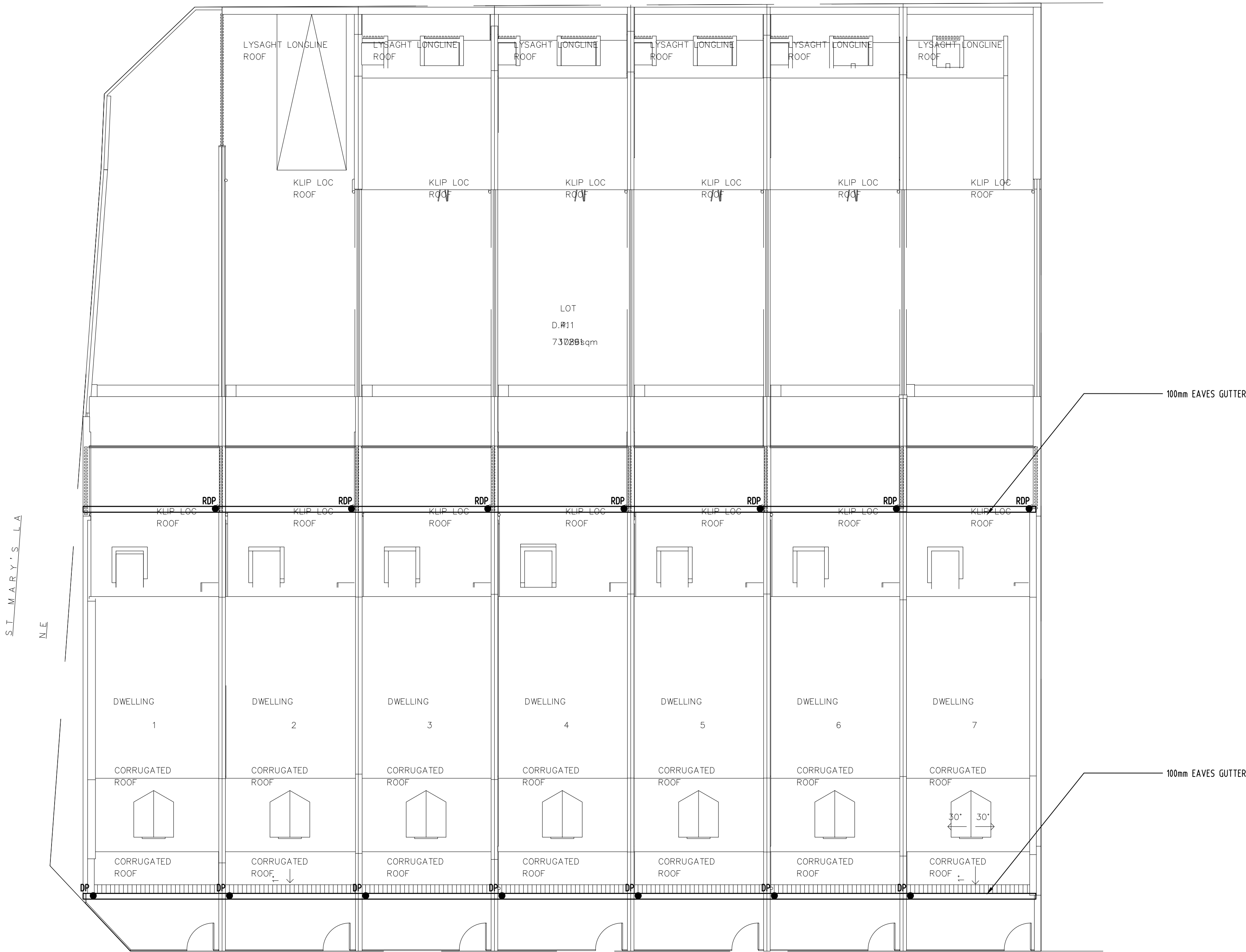


TRADE LAN

E

This application has been
REFUSED
Determination No: DA/2020/0993
Determination Date: 8 June 2021
See attached reasons for refusal

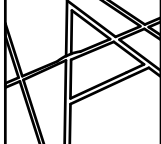
INNER WEST

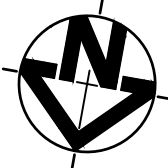


ROOF PLAN
SCALE 1:100 (A1)
SCALE 1:200 (A3)

GILPIN STRE

E T

B	22.03.2020	REVISED AS PER COUNCIL COMMENT		TA	
A	01.10.2020	ISSUED FOR DA		TA	
REV.	DATE	AMENDMENT DESCRIPTION		DRAWN	
 TAA CONSULTING ENGINEERS CONSULTING CIVIL & STRUCTURAL ENGINEERS 201/25 FALCON STREET, CROWS NEST NSW 2065 Ph 0411778799 TAAENGINEERS@GMAIL.COM					
PROPOSED RESIDENTIAL DEVELOPMENT AT:					
29-37A GILPIN STREET, CAMPERDOWN NSW					
ROOF DRAINAGE PLAN					
DRAWN	CHECKED	SCALE	DATUM	DRAWING No.	REV.
TA	TONY ANAH - Civil & Structural Engineer B.E. Civil (Ulyss) (MEIAust):1905229	AS SHOWN	AHD	H306 - S2/4	B



Sub-Catchment Data

Sub-catchment name: Post Dev Cat Sub-catchment area (ha): 0.1086

Hydrological Model

Use

☒ Default model

☐ You specify

☐ abbreviated data

☒ more detailed data

Note: The additional times you specify will be added to the times calculated from flow path length, slope and roughness to get the total times of concentration.

	Paved	Supplementary	Grassed
Percentage of area	75	0	25
Additional time (mins)	0	0	0
Flow path length (m)	40	0	30
Flow path slope (%)	1	0	1
Retardance coefficient n*	0.012	0	0.15

Notes

OK Cancel Customise Storms Help

Pre Dev Cat

Area = 0.109 ha

Paved Area = 60%, Tc = 0.0 min

Grassed Area = 40%, Tc = 0.0 min

Supp. Area = 0%, Tc = 0.0 min

Sub-Catchment Data

Sub-catchment name: Pre Dev Cat Sub-catchment area (ha): 0.1086

Hydrological Model

Use

☒ Default model

☐ You specify

☐ abbreviated data

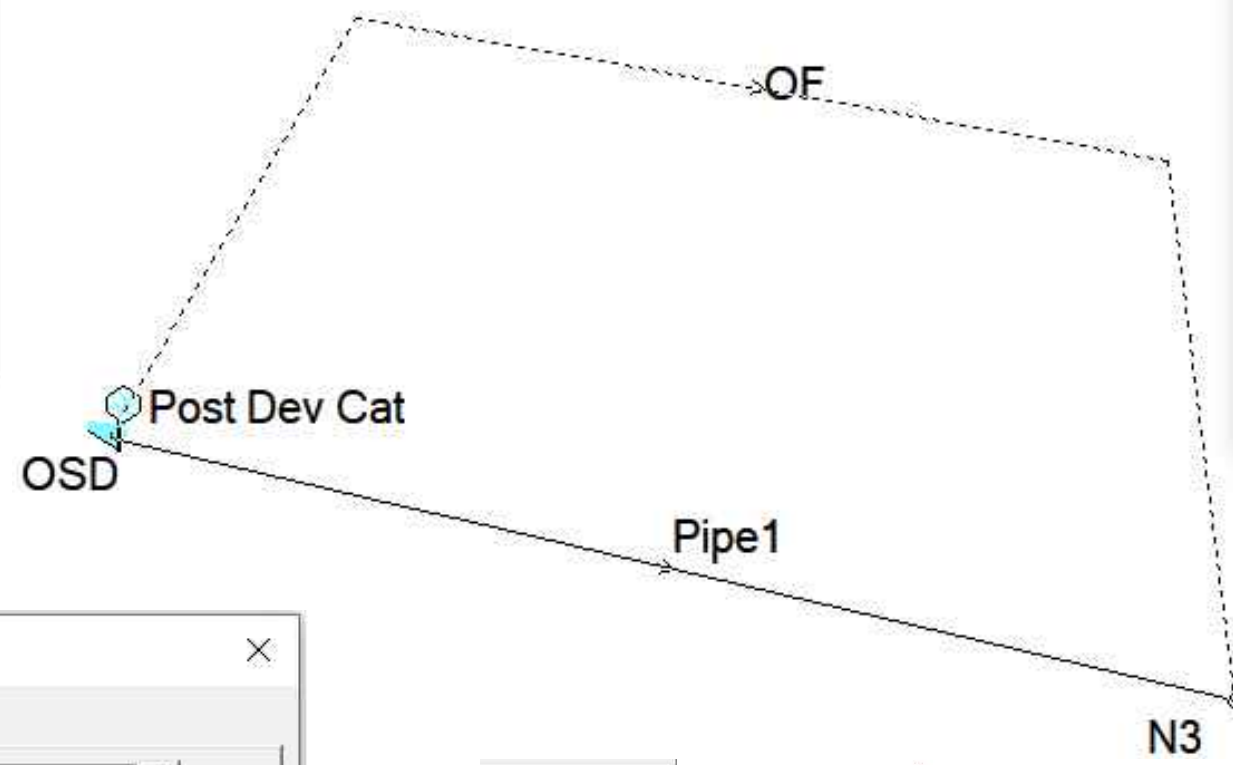
☒ more detailed data

Note: The additional times you specify will be added to the times calculated from flow path length, slope and roughness to get the total times of concentration.

	Paved	Supplementary	Grassed
Percentage of area	60	0	40
Additional time (mins)	0	0	0
Flow path length (m)	40	0	30
Flow path slope (%)	1	0	1
Retardance coefficient n*	0.012	0	0.15

Notes

OK Cancel Customise Storms Help



Detention Basin

Data Initial Water Level Infiltration Data

Name: OSD

Low Level Outlet Type (connecting to a pipe)

☒ Orifice

☐ Pit/Sump

☐ Circular culvert

☐ Rectangular culvert

☐ Other or None

Dia. (mm): 162

Centre Elev. (m): 30.3

Orifice Sizing Wizard

Paste Table

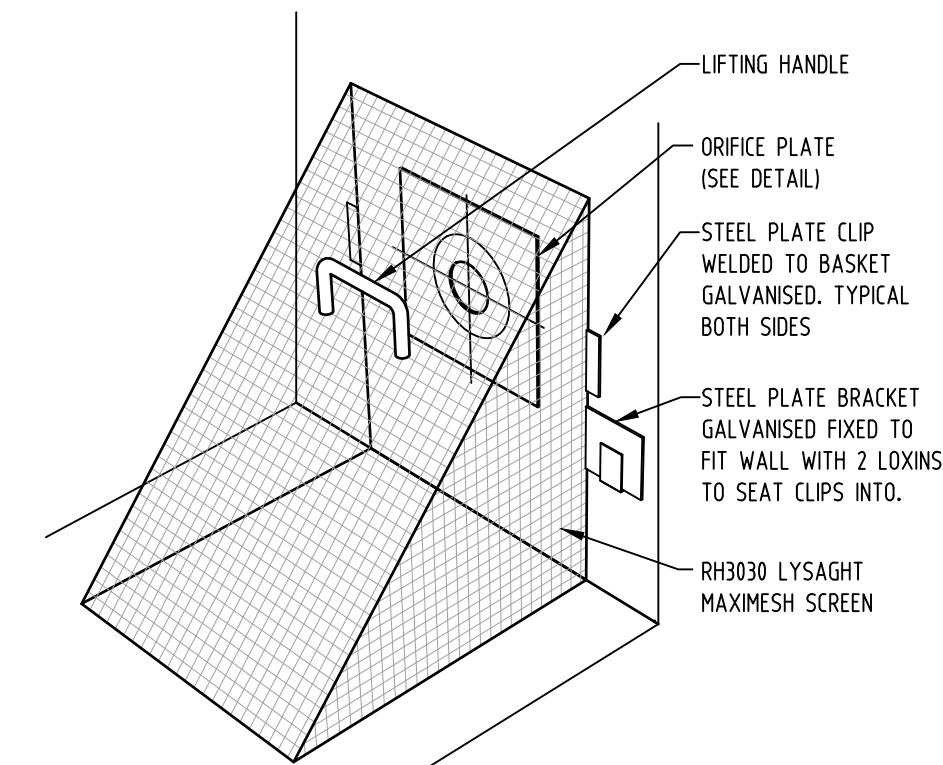
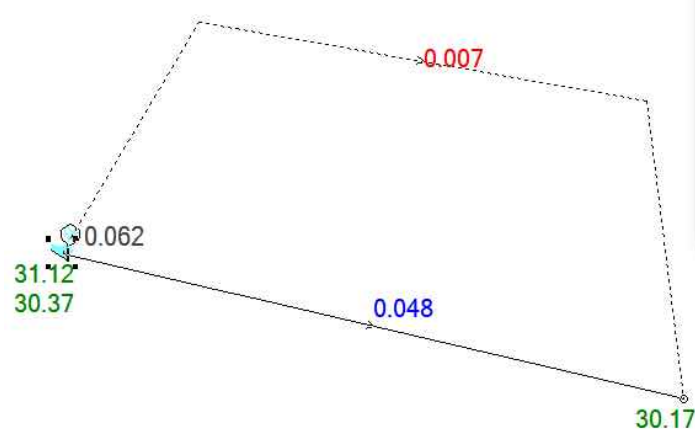
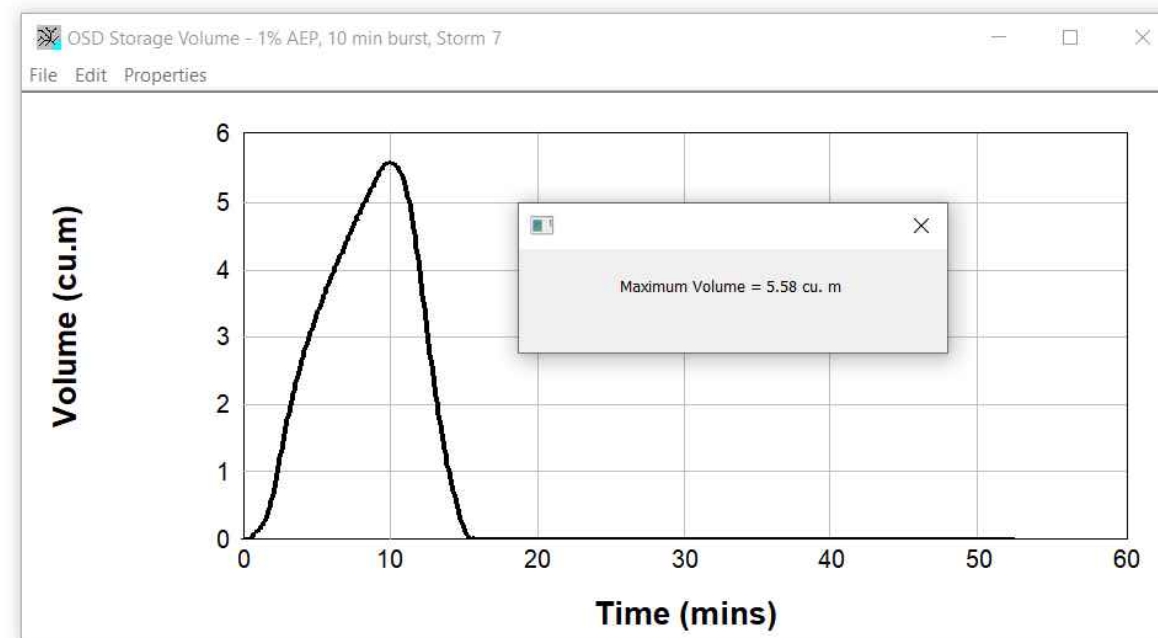
	Elev. (m)	Surf. Area (sq. m)
1	30.2	0
2	30.3	1
3	30.35	7
4	31.3	7
5		
6		
7		
8		

Note: The prismoidal formula is used to calculate volumes from surface areas. Click Help for more details.

High Early Discharge

Notes

OK Cancel Apply Help



This application has been

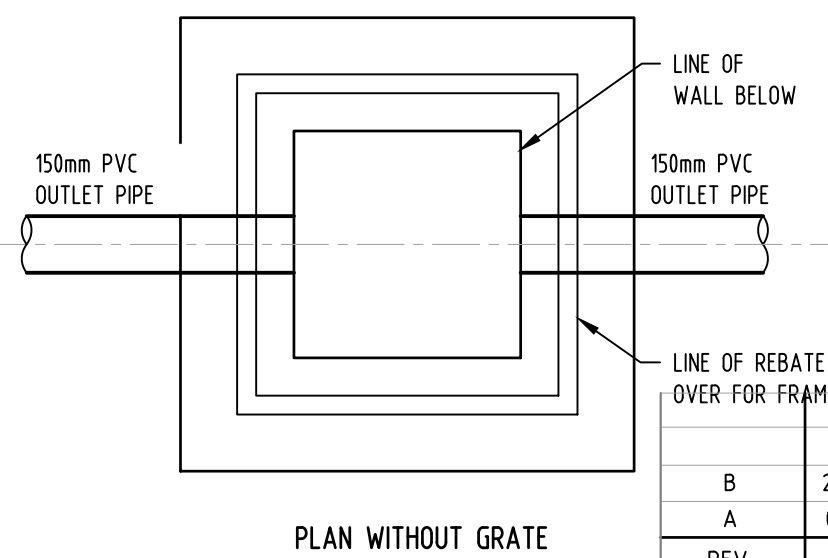
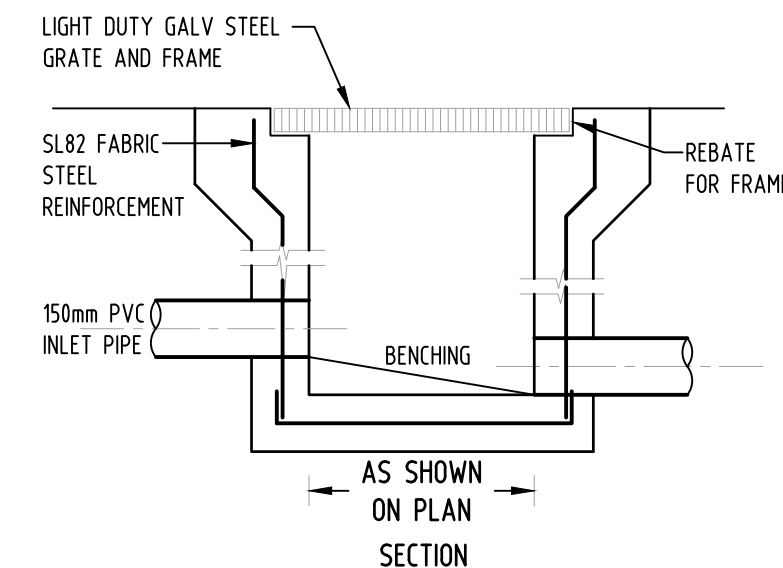
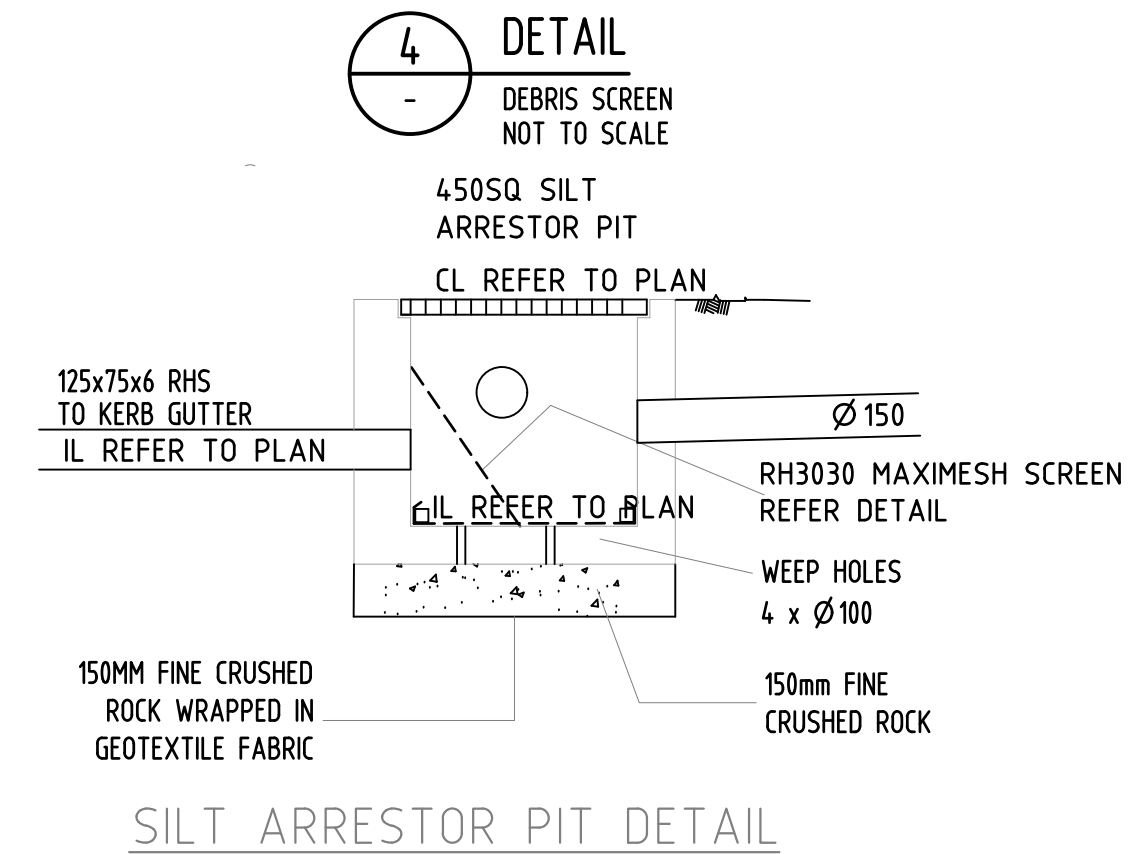
REFUSED

Determination No: DA/2020/0993

Determination Date: 8 June 2021

See attached reasons for refusal

INNER WEST



RAINWATER TANK NOTES:

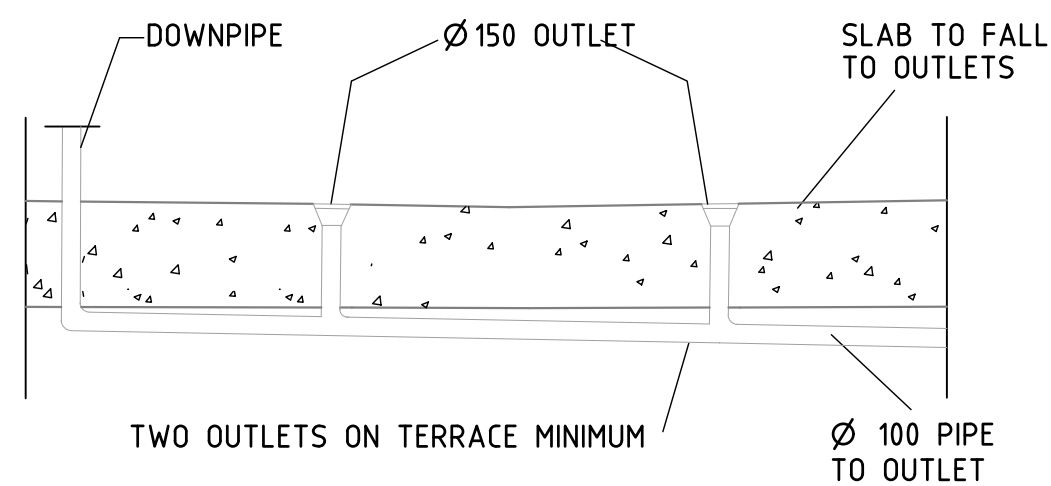
CONNECT ROOFWATER AS PER BASIX REQUIREMENTS

RECYCLED WATER CONNECTIONS AS PER BASIX REQUIREMENTS

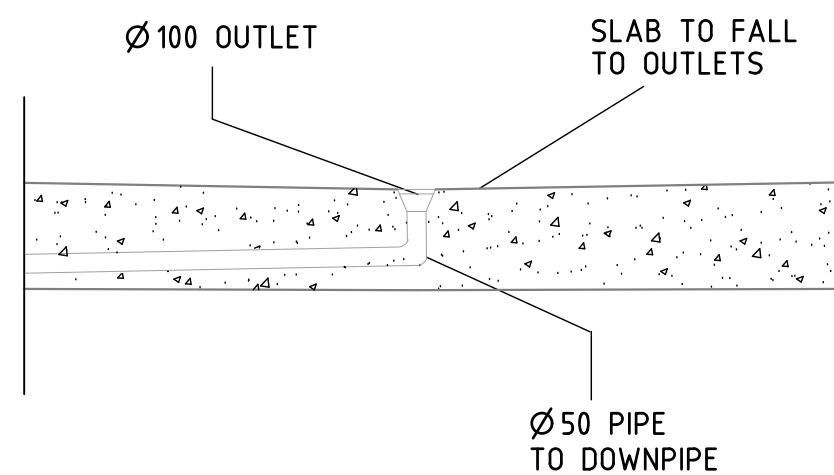
PROVIDE A MAINS BYPASS IN THE EVENT OF LOWER WATER LEVELS IN THE TANK OR POVER FAILURE.

PROVIDE WARNING LABEL AS PER SYDNEY WATER REQUIREMENT INDICATING THAT THE WATER IS RAINWATER AND NOT TO BE CONSUMED

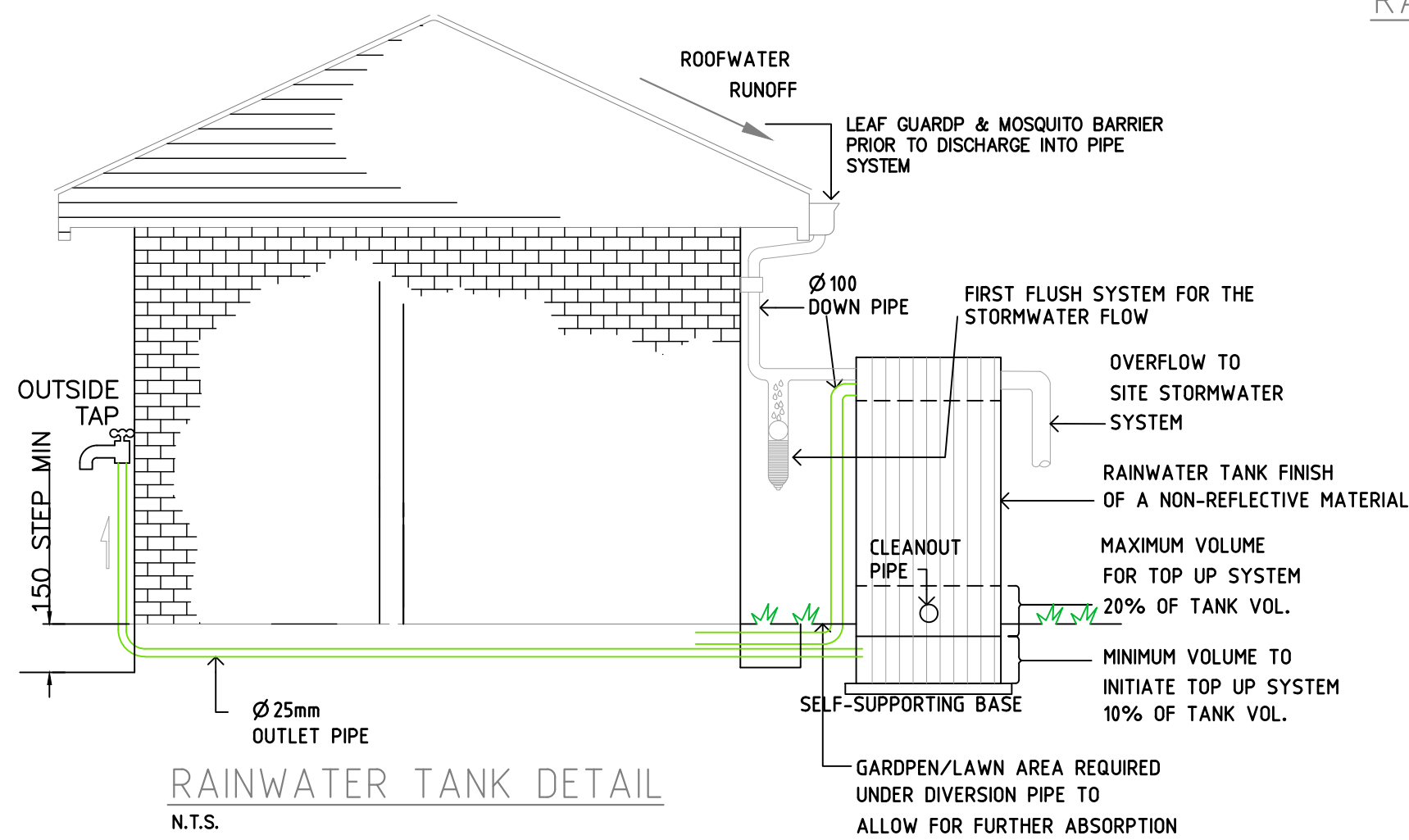
PROVIDE A FIRST FLUSH DIVERSION DEVICE AND SCREENING PRIOR TO WATER REACHING RAINWATER TANK. www.rainharvesting.com.au or equivalent



TERRACE OUTLET DETAIL (RWO)



BALCONY OUTLET DETAIL (RWO)



RAINWATER TANK DETAIL

N.T.S. INSTALLATION OF TANKS TO BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATION.

B	22.03.2020	REVISED AS PER COUNCIL COMMENT	TA
A	01.10.2020	ISSUED FOR DA	TA
REV.	DATE	AMENDMENT DESCRIPTION	DRAWN
TAA CONSULTING ENGINEERS CONSULTING CIVIL & STRUCTURAL ENGINEERS 201/25 FALCON STREET, CROWS NEST NSW 2065 Ph 0411778799 TAAENGINEERS@GMAIL.COM			
PROPOSED RESIDENTIAL DEVELOPMENT AT: 29-37A GLFW STREET, CAMPERDOWN NSW			
DETAILS SHEET			
DRAWN	CHECKED	SCALE	DATUM
TA	TONY ANAL - CIVIL & Structural Engineer (B.E. Civil (Lysaght) (MEAsust))1080229	AS SHOWN	AHD
DRAWING No.		REV.	
H306 - S3/4		B	



EROSION & SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE OF THE WORKS. TIE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (EG. HUMES PROPEX SILT STOP) STANDING 300mm ABOVE GROUND & EXTENDING 150mm BELOW GROUND.
- EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
- NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
- GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
- CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL DROPPABLE SOIL & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. CONTRACTOR SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING & LEAVING THE SITE DO SO IN A FORWARDP DIRECTION.

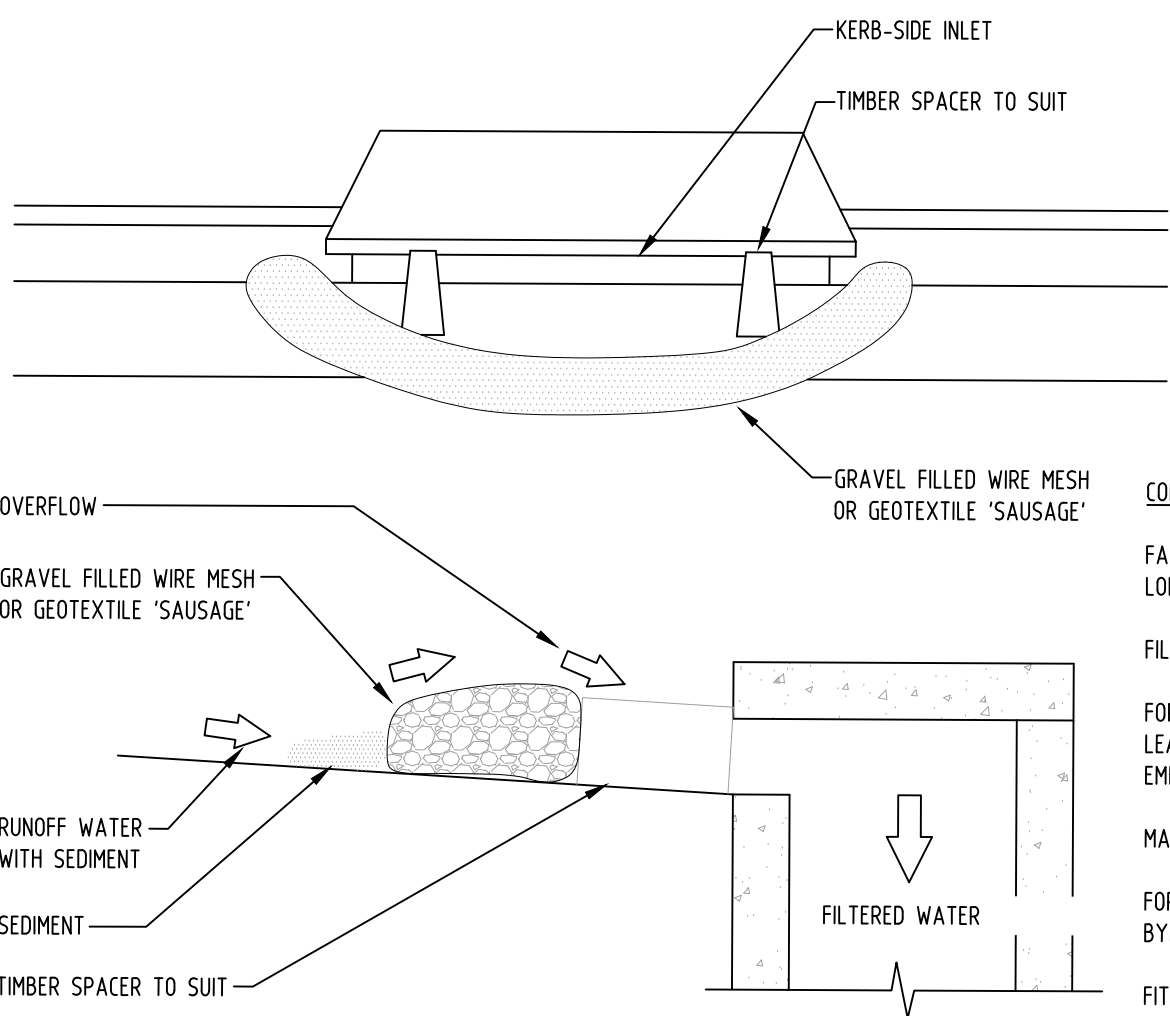
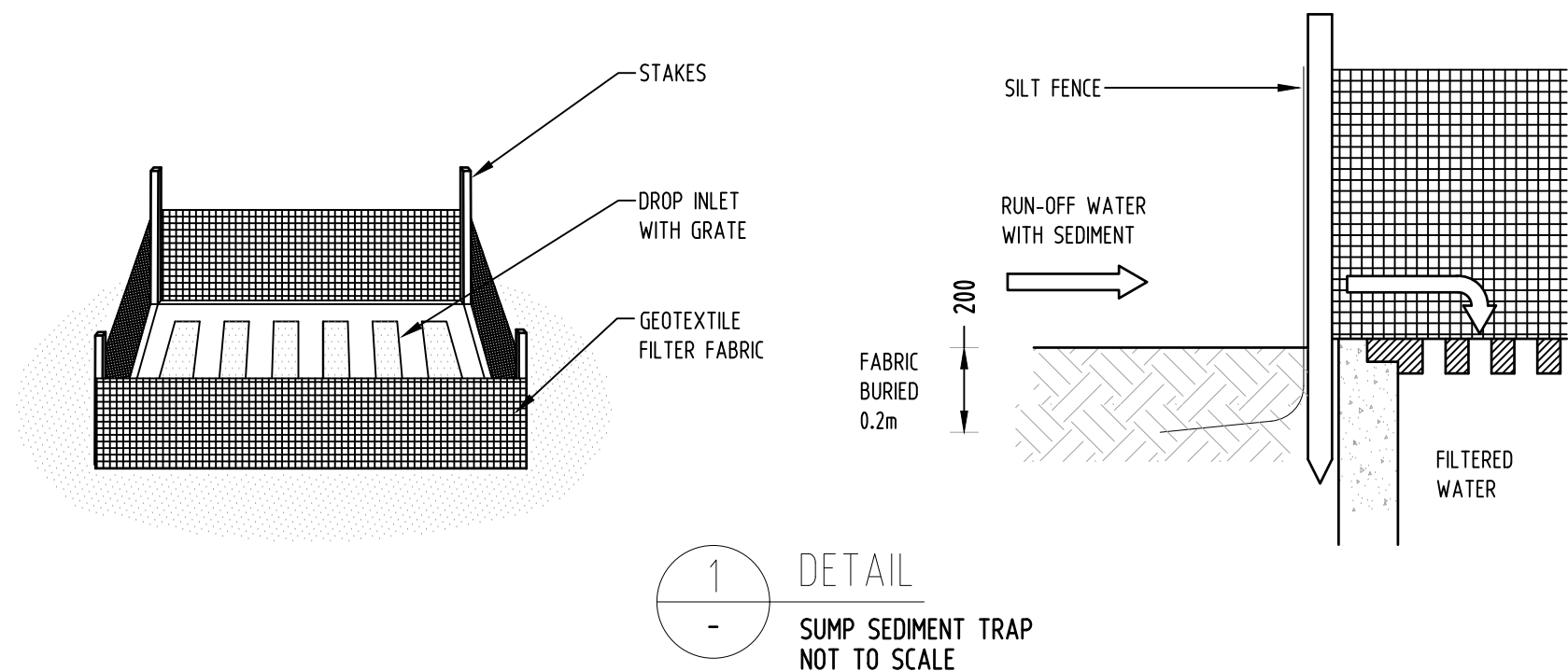
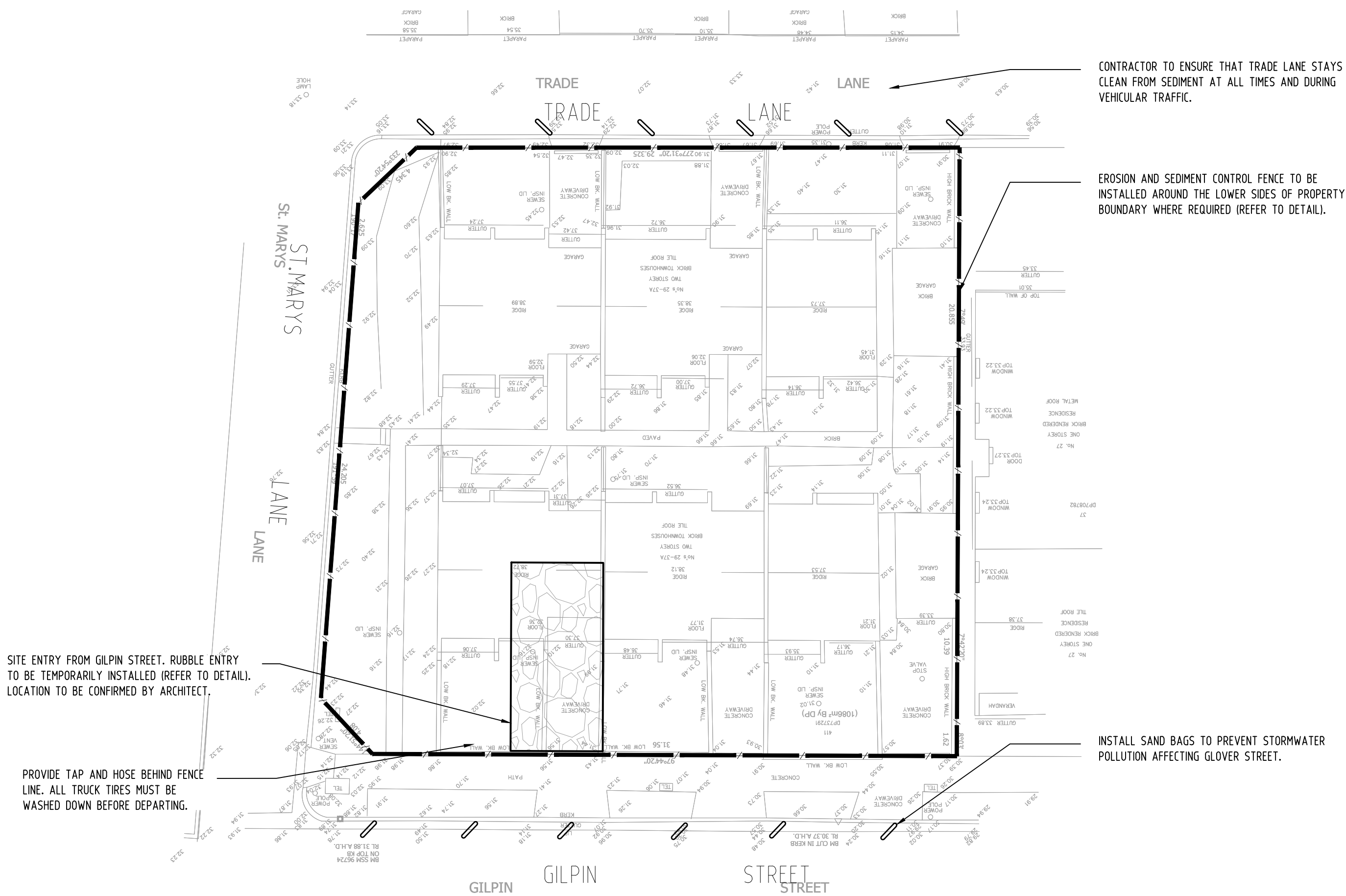
GENERAL NOTES

- THIS PLAN IS A CONCEPT PLAN ONLY FOR STORMWATER DISPOSAL & EROSION CONTROL. IT IS NOT SUITABLE FOR CONSTRUCTION. THIS PLAN SHOULD BE ADAPTED BY THE BUILDER DURING DEMOLITION, EXCAVATION & CONSTRUCTION PHASES TO ENSURE ADEQUATE PERFORMANCE.
- ALL DRAINAGE LAYOUT & DETAILS ARE DIAGRAMMATIC & INDICATIVE ONLY. ACTUAL LOCATION, SIZES, LEVELS & GRADES MAY ALTER WHEN DETAIL WORKS ARE DOCUMENTED.

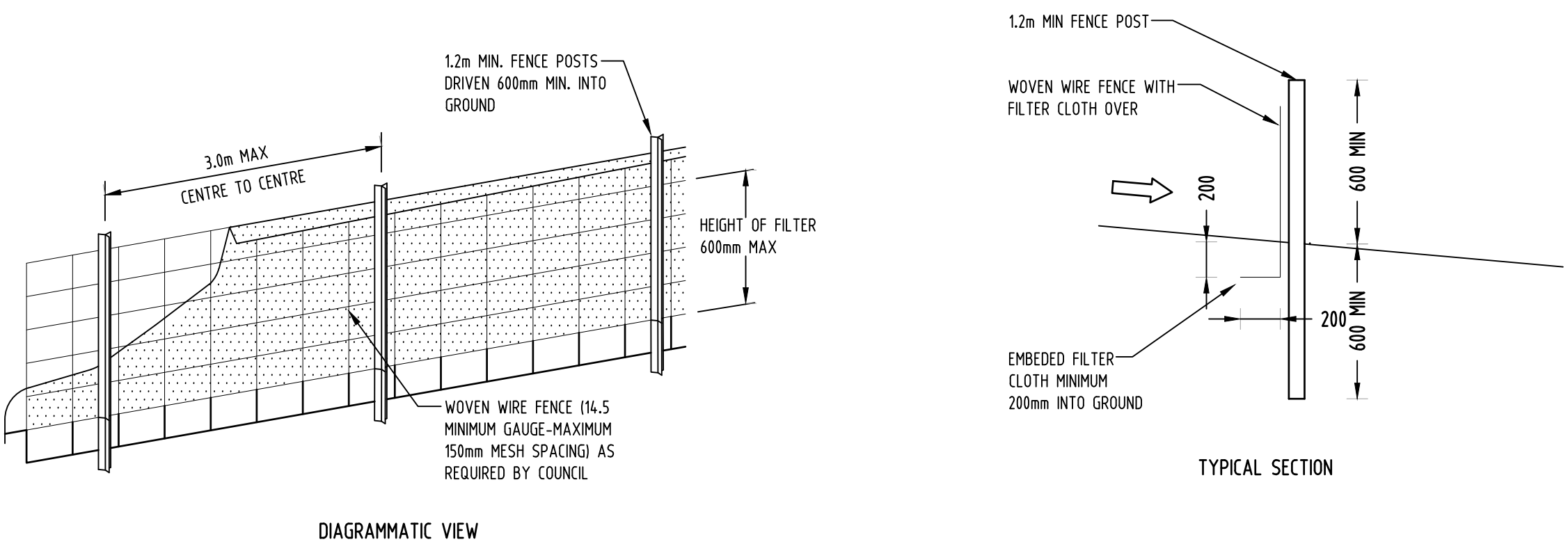
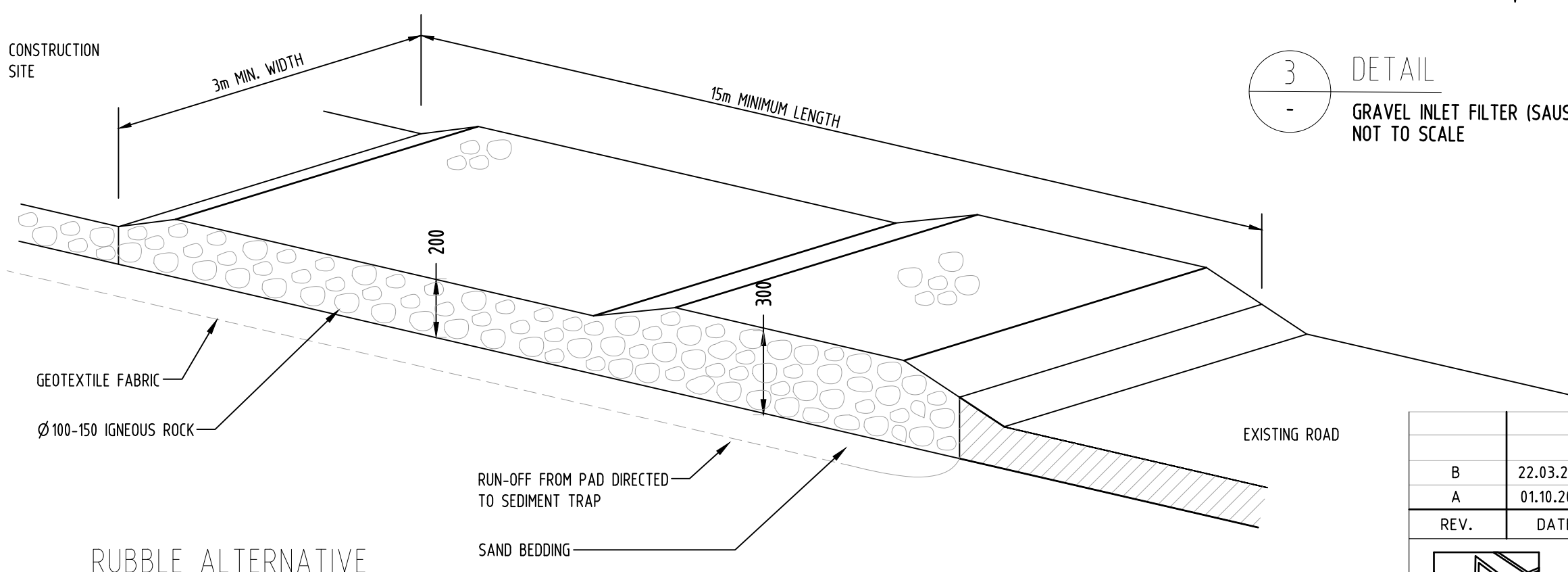
CLAY SOILS

A SYSTEM SHALL BE INSTALLED TO EITHER:

- TRANSPORT STORMWATER RUNOFF WITH SUSPENDED SOLIDS FROM SITE VIA PUMP TRUCKS.
- TREAT THE STORMWATER RUNOFF WITH SUSPENDED SOLIDS SO THE DISCHARGE WATER QUALITY TO COUNCIL STORMWATER DRAINAGE SYSTEM HAS A MAXIMUM CONCENTRATION OF SUSPENDED SOLIDS THAT DOES NOT EXCEED 50 MILLIGRAMS PER LITRE IN ACCORDANCE WITH THE PROTECTION OF THE ENVIRONMENT OPERATION ACT (POEO 1997) AND SHALL BE APPROVED BY LOCAL COUNCIL

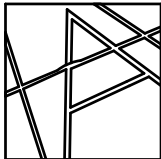


- CONSTRUCTION NOTES:**
- FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAT THE LENGTH OF THE INLET PIT
 - FILL THE SLEEVE WITH 25mm TO 50mm GRAVEL
 - FORM AN ELLIPTICAL CROSS-SECTION OF THE KERB INLET LEAVING A 100mm GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY
 - MAINTAIN THE OPENING WITH SPACER BLOCKS
 - FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER
 - FIT TO ALL KERB INLETS AT SAG POINTS



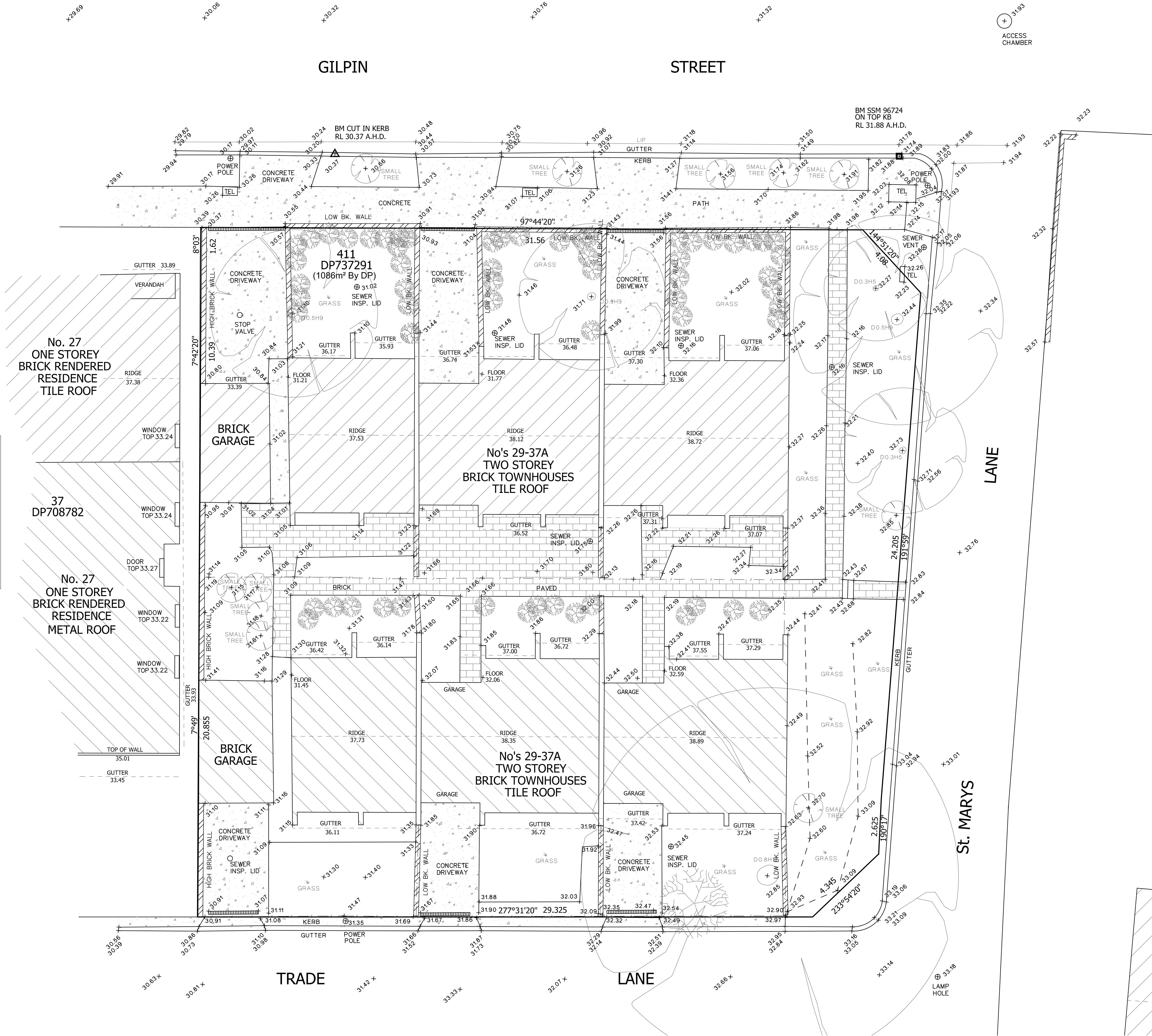
This application has been
REFUSED
Determination No: DA/2020/0993
Determination Date: 8 June 2021
See attached reasons for refusal

INNER WEST

B	22.03.2020	REVISED AS PER COUNCIL COMMENT	TA
A	01.10.2020	ISSUED FOR DA	TA
REV.	DATE	AMENDMENT DESCRIPTION	DRAWN
 TAA CONSULTING ENGINEERS CONSULTING CIVIL & STRUCTURAL ENGINEERS 201/25 FALCON STREET, CROWS NEST NSW 2065 Ph 0411778799 TAAENGINEERS@GMAIL.COM			
PROPOSED RESIDENTIAL DEVELOPMENT AT: 29-37A GILPIN STREET, CAMPERDOWN NSW			
EROSION AND SEDIMENTS CONTROL PLAN AND DETAILS			
DRAWN	CHECKED	SCALE	DATUM
TA	TONY ANAL - Civil & Structural Engineer (B.E. Civil (1994) (MEngEng) 10802229	AS SHOWN	AHD
H306 - S4/4			B

This application has been
REFUSED
Determination No: DA/2020/0993
Determination Date: 8 June 2021
See attached reasons for refusal

INNER WEST



- NOTES:
- The Boundaries shown hereon have been compiled from Plans available from the Department of Lands and are subject to survey.
 - The relationship between features and boundaries is diagrammatic only.
 - No investigation has been made of underground services on or adjacent to this land.
 - Restriction on building may apply to this land.
 - Origin of levels SSM 50286 adopted as RL 21.865 A.H.D.

www.1100.com.au

DIAL 1100
BEFORE YOU DIG

TM DIAL BEFORE YOU DIG SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION ON SITE
TM: trade mark of Association of Australian Dial Before You Dig Services Ltd; used under licence.

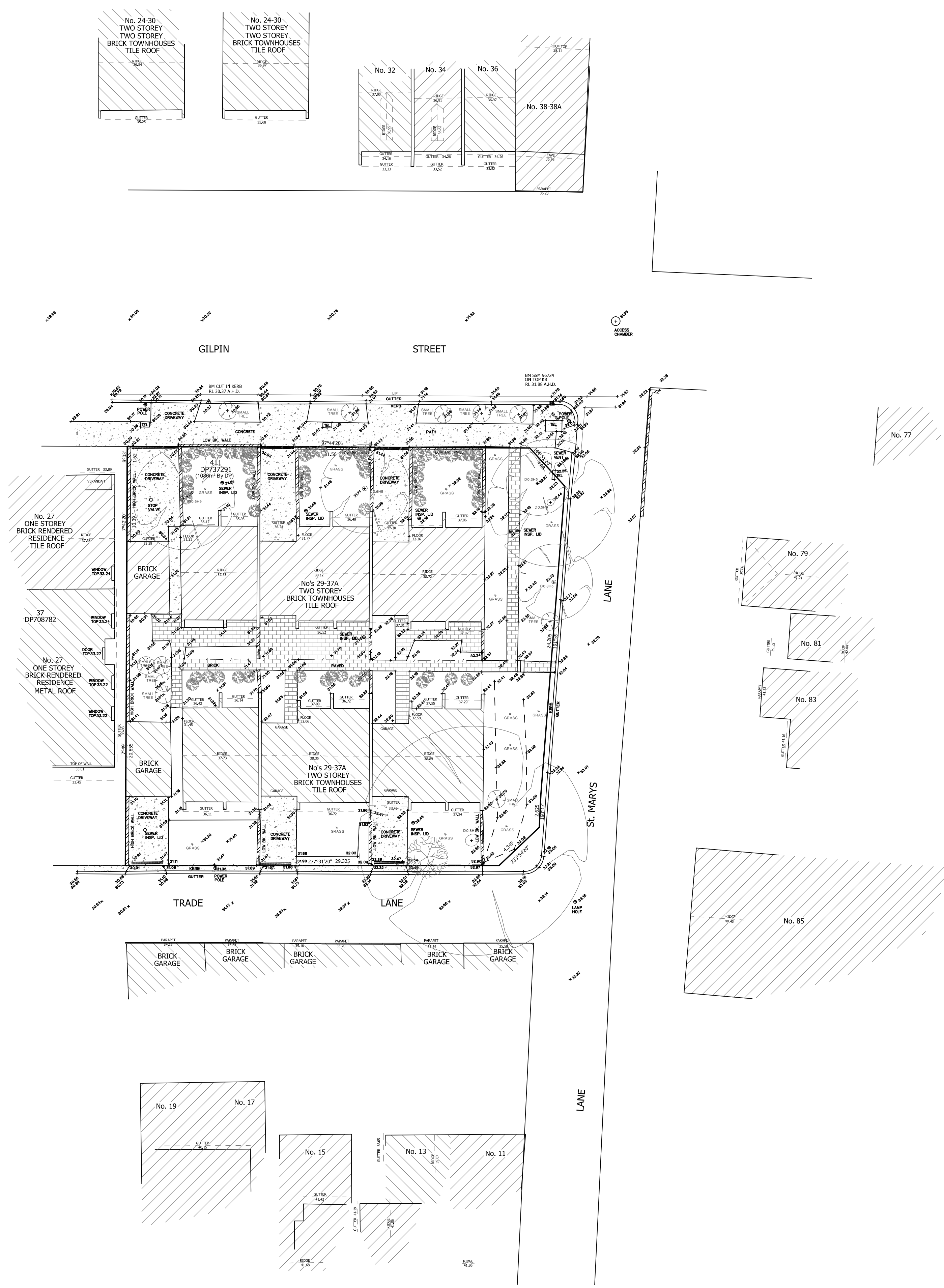
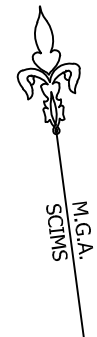
0 1 2 3 4 5 6 7 8 9 10

COPYRIGHT

THIS DRAWING HAS BEEN PROCESSED ELECTRONICALLY. NEITHER THE PAPER REPRESENTATION NOR THE ELECTRONIC FILE MAY BE COPIED IN PART OR WHOLE WITHOUT THE WRITTEN APPROVAL OF FRANK M MASON & CO. PTY LTD

FRANK M MASON & CO. PTY LTD
LAND AND ENGINEERING SURVEYORS
CONSULTANTS IN LAND DEVELOPMENT
2 Winslow Street KIRRIBILLI
P.O. Box 56, MILSONS POINT NSW 1565
Tel 02 9929 6233
02 9955 5385
Fax 02 9929 7727
EMAIL info@mason.net.au

PLAN SHOWING RELATIVE HEIGHT AND FEATURE OF LOT 411 DP737291 BEING LAND AT CAMPERDOWN IN THE L.G.A. OF SYDNEY				
Drawn RS	Surveyor RS	Datum AHD	Date	03.08.2020
Reduction Ratio	Size	Drawing Name	Sheet	of
1:100	A1	33465-01	1	2



This application has been
REFUSED
Determination No: DA/2020/0993
Determination Date: 8 June 2021
See attached reasons for refusal

INNER WEST

- NOTES:
1. The Boundaries shown hereon have been compiled from Plans available from the Department of Lands and are subject to survey.
 2. The relationship between features and boundaries is diagrammatic only.
 3. No investigation has been made of underground services on or adjacent to this land.
 4. Restriction on building may apply to this land.
 5. Origin of levels SSM 50286 adopted as RL 21.865 A.H.D.

www.1100.com.au

DIAL 1100
BEFORE YOU DIG

TM DIAL BEFORE YOU DIG SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION ON SITE
TM: trade mark of Association of Australian Dial Before You Dig Services Ltd. used under licence.

0 1 2 3 4 5 10

COPYRIGHT

THIS DRAWING HAS BEEN PROCESSED ELECTRONICALLY. NEITHER THE PAPER REPRESENTATION NOR THE ELECTRONIC FILE MAY BE COPIED IN PART OR WHOLE WITHOUT THE WRITTEN APPROVAL OF FRANK M MASON & CO. PTY LTD

FRANK M MASON & CO. PTY LTD
LAND AND ENGINEERING SURVEYORS
CONSULTANTS IN LAND DEVELOPMENT
2 Winslow Street KIRRIBILLI
P.O. Box 56, MILSONS POINT NSW 1565
Tel 02 9929 6233
02 9955 5385
Fax 02 9929 7727
EMAIL
info@mason.net.au

PLAN SHOWING RELATIVE HEIGHT AND FEATURE OF LOT 411 DP737291 BEING LAND AT CAMPERDOWN IN THE L.G.A. OF SYDNEY				
Drawn RS	Surveyor RS	Datum AHD	Date	03.08.2020
Reduction Ratio 1:200	Size A1	Drawing Name 33465-01	Sheet 2	of 2