



# South East Wilton Precinct – Schedule 1

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Wilton Growth Area Development Control Plan 2021

August 2021

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Walker Corporation

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# 1 Introduction

## 1.1 Name and Application of this Schedule

This Schedule forms part of the Wilton Growth Area Development Control Plan 2021 (also referred to as the DCP).

This Schedule applies to all development on the land in the South East Wilton Precinct shown in **Figure 1**. This Schedule and related amendments to the DCP give effect to the provisions of this Schedule for land within the South East Wilton Precinct as shown on the Land Application Map.

## 1.2 Structure of this Schedule

This Schedule should be read in conjunction with the main body of the DCP and is in addition to the main body of the DCP. In the event of an inconsistency between this Schedule and the main body of the DCP, this Schedule takes precedence. **Table 1** summarises the structure of Schedule 1 – South East Wilton Precinct.

**Table 1: Schedule Structure**

Part	Summary
1 – Introduction	Identifies the land to which the Schedule applies.
2 – Development, Planning and Design	Establishes an overall vision and Structure Plan for South East Wilton. Provides specific figures that support the objectives and controls in Parts 2-7 of the main body of the DCP in relation to the South East Wilton Precinct.
3 – Special Urban Areas	Provides specific objectives, controls and a figure for Special Urban Areas.

Additional notes to readers are provided throughout this document. These notes are not part of the formal provisions of the DCP but are intended to provide additional guidance and explanation of the provisions. If further guidance is required on the interpretation of provisions in the DCP, readers should refer to the definitions or contact the Department of Planning, Industry and Environment for advice.

Figure 1 Land Application Map

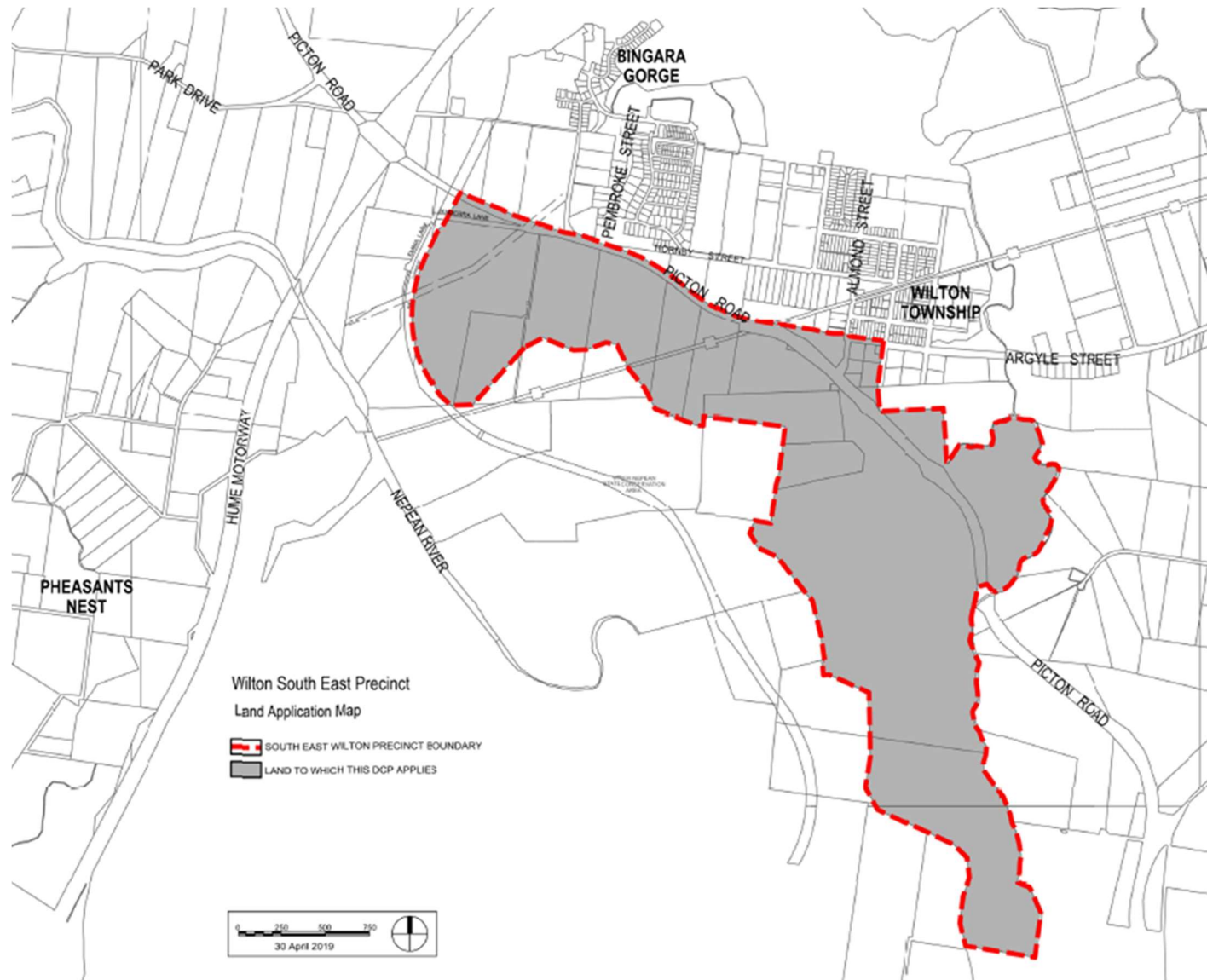
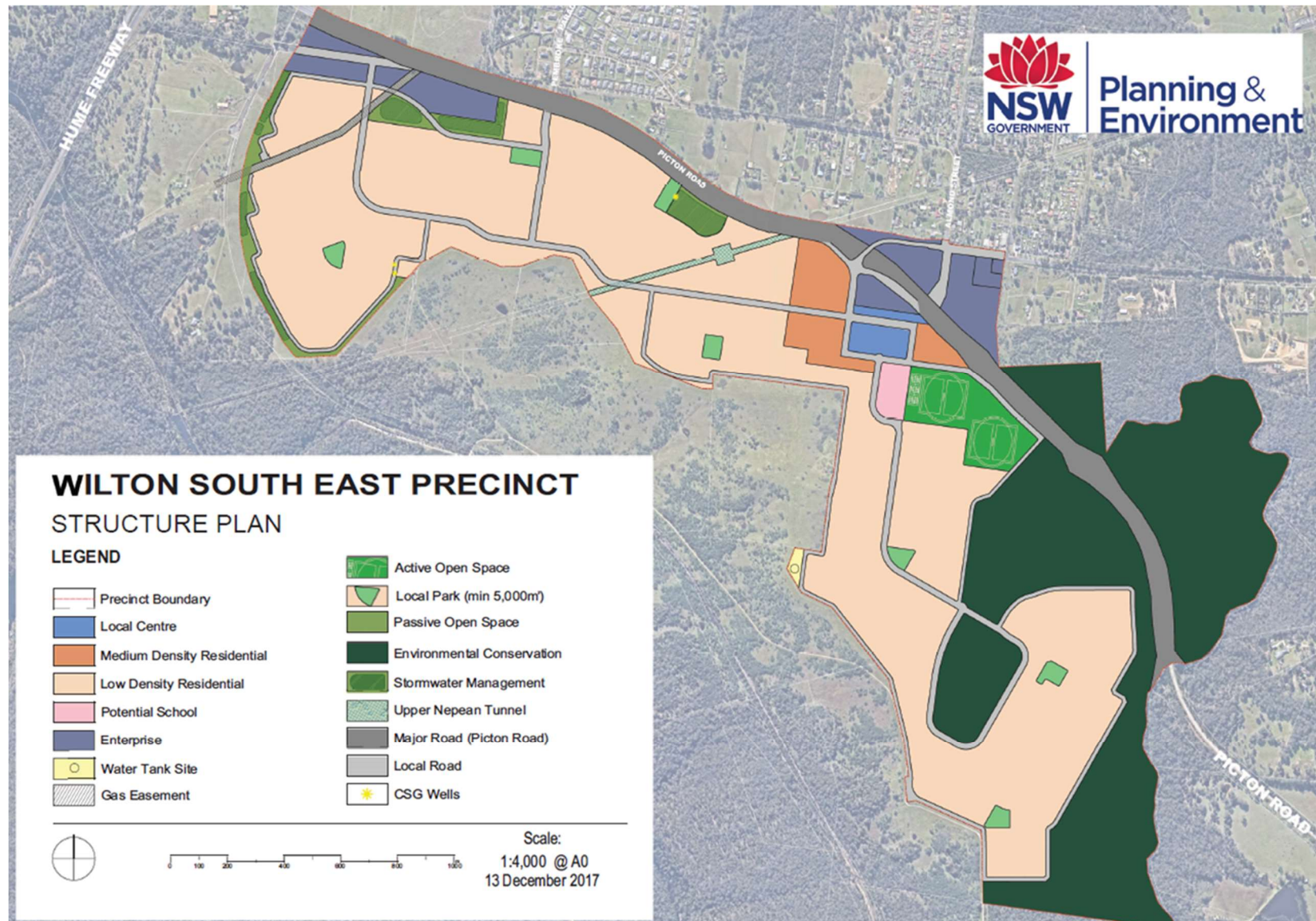




Figure 2 Approved South East Wilton Precinct Structure Plan



## 2 Development Planning and Design

### 2.1 The South East Wilton Precinct – Vision

The Precinct will be a new community embraced by the surrounding bushland, rivers and ridges. It will enable the development of a master planned residential community integrating access to a network of public open spaces, employment opportunities, retail and community services.

Planning for the precinct responds to the need for new and diverse housing types in Sydney that is connected to major centres and employment, protects natural assets and encourages sustainable living. Consideration of the surrounding context, history and natural environment has also informed the precinct planning process.

The Precinct will consist of a mix of housing types that will allow greater choice for different household types. The precinct will predominantly be accommodated with low density housing. Medium density housing will be located around the Local Centre to optimise convenient living near retail, proposed community facilities and transport links.

The Local Centre is centrally located within the precinct accessible location near the Almond Street intersection and will support retail, commercial services, and a proposed community facility to promote community interaction. The distribution of both active and passive open space uses supports connections to and throughout the precinct and to destination areas including the Local Centre, school and green corridors along Allens Creek.

A safe and permeable street network will promote accessibility, connectivity and social interaction. The provision of cycleways and pedestrian connections as well as public transport connections to surrounding centres and open space areas will promote a community use of alternative transport options.

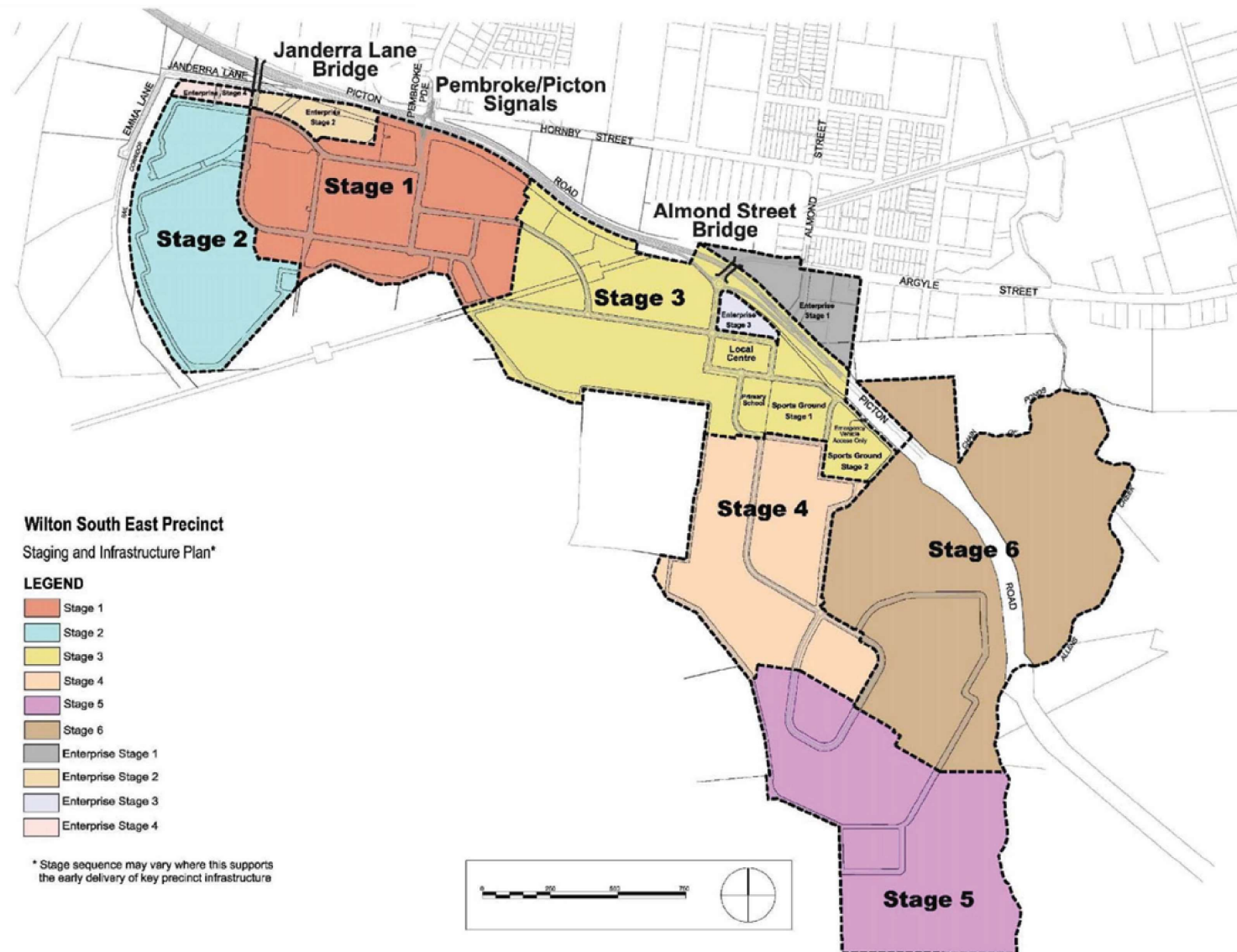
### 2.2 Referenced Figures

The referenced figures below support the objectives, controls and design principles for the subdivision planning and design in Part 4 of the main body of this DCP.

Where the figures below are labelled “indicative”, this means that the details contained in the figures are subject to future approval in Neighbourhood Plans and Development Applications. These figures indicate the various layers of the precinct planning undertaken to support the rezoning of the precinct.



Figure 3 Indicative Staging Plan



**Figure 4 Indicative Water Cycle Management Strategy(to be refined at Neighbourhood Plan and Development Application stage)**

**Note:** Indicative only. Final form to be determined in negotiation with Council and in accordance with relevant Council policy

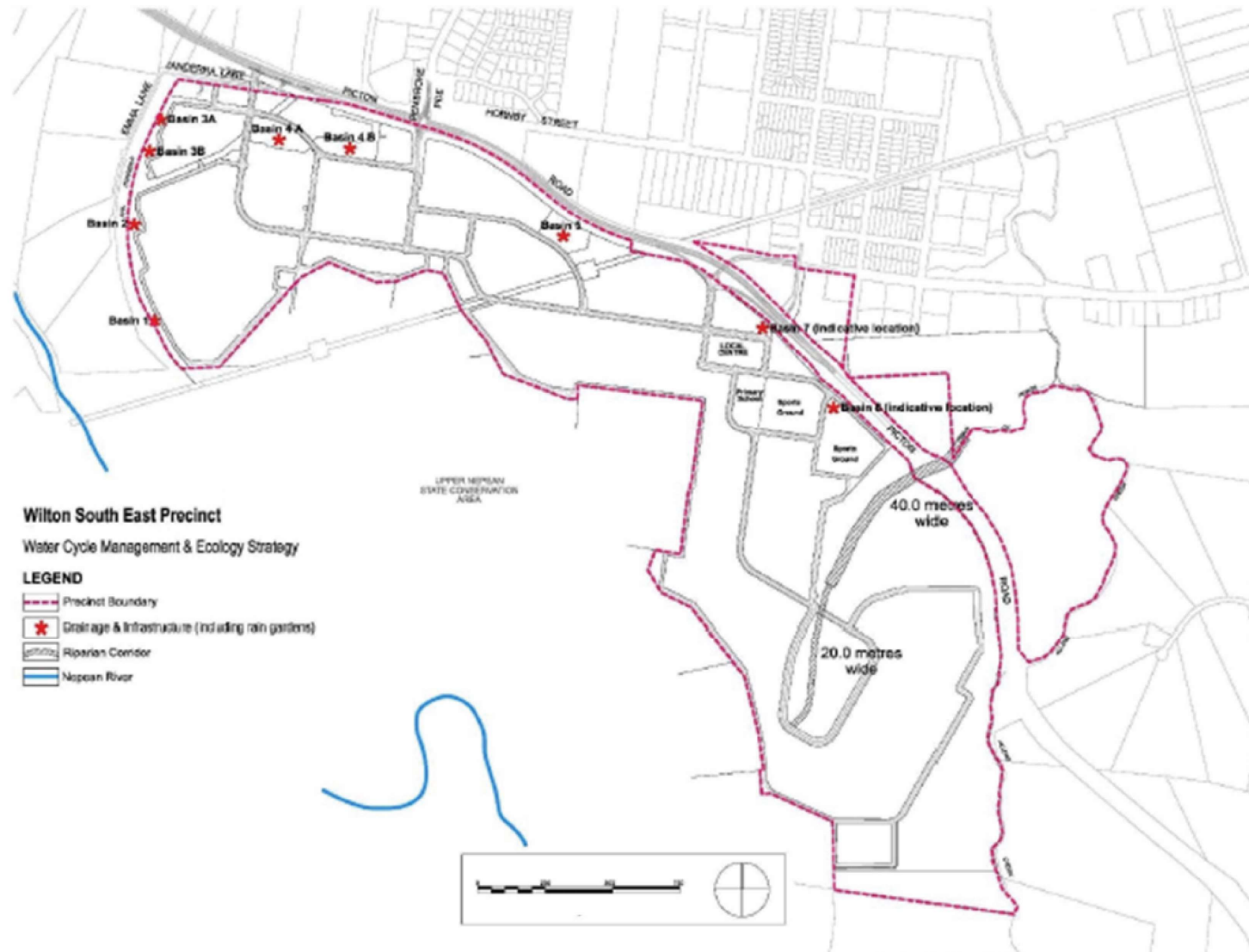
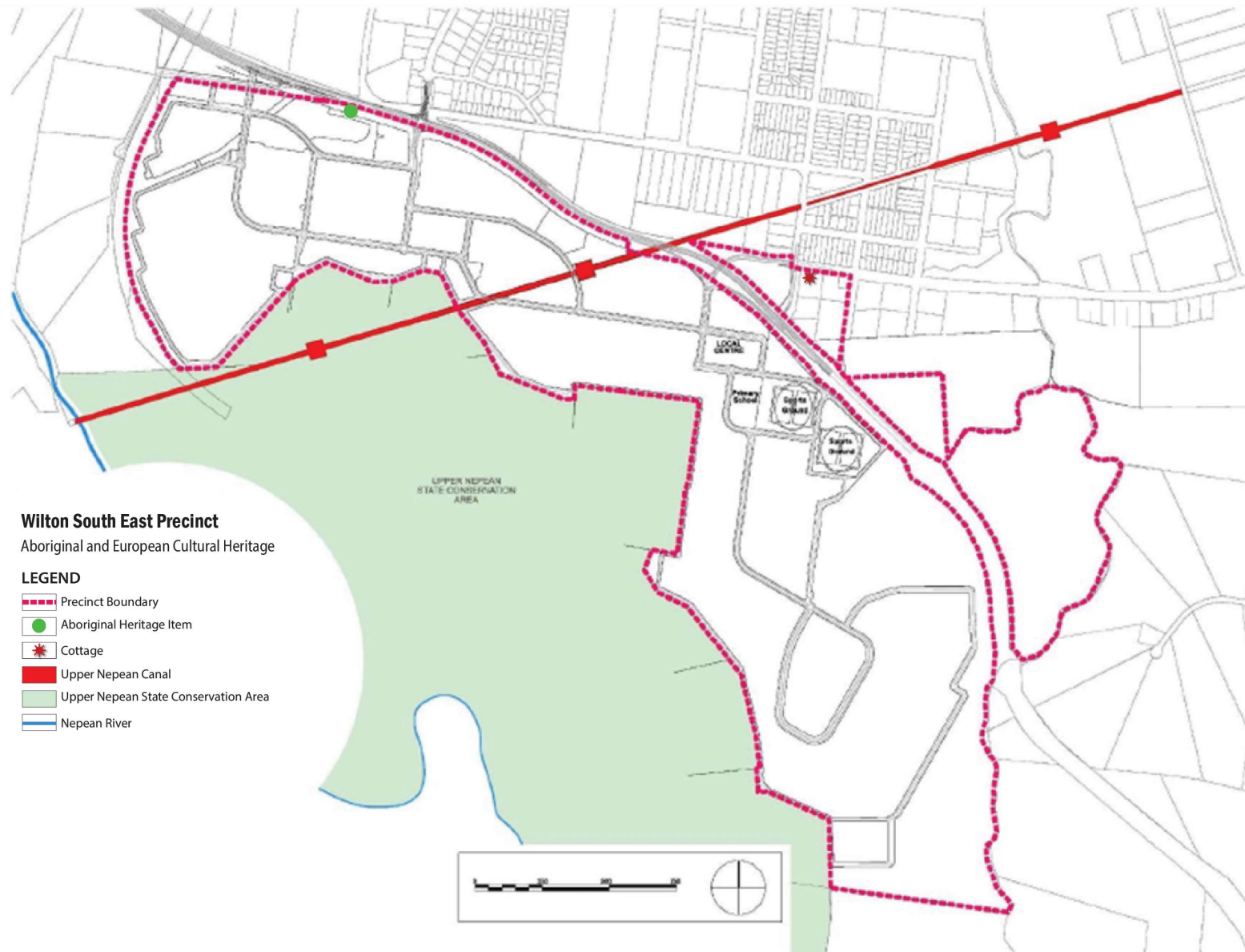
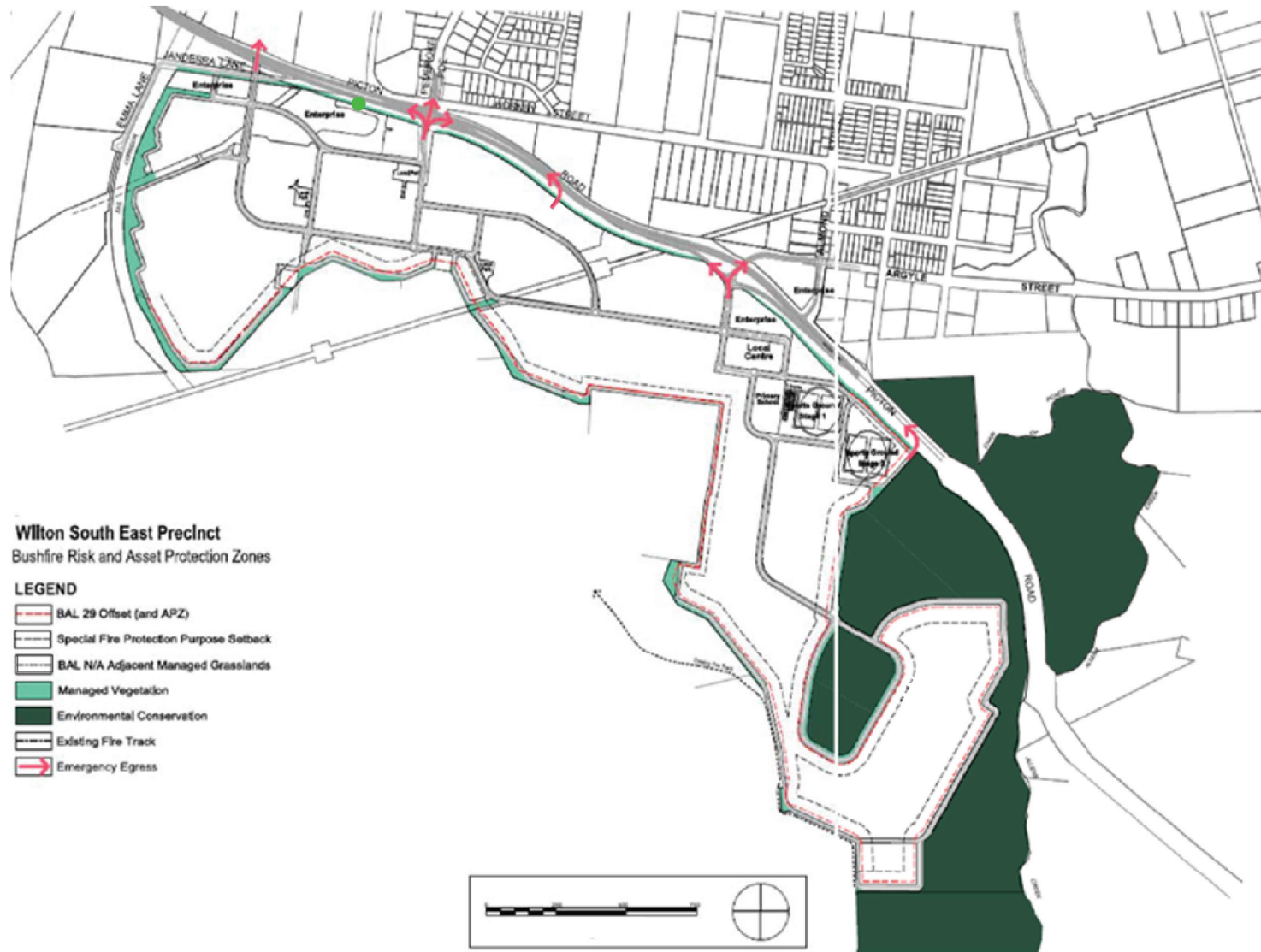


Figure 5 Aboriginal and Non-Aboriginal Cultural Heritage Sites - Indicative Locations



**Figure 6 Indicative Bushfire Risk and Asset Protection Zone Requirements**

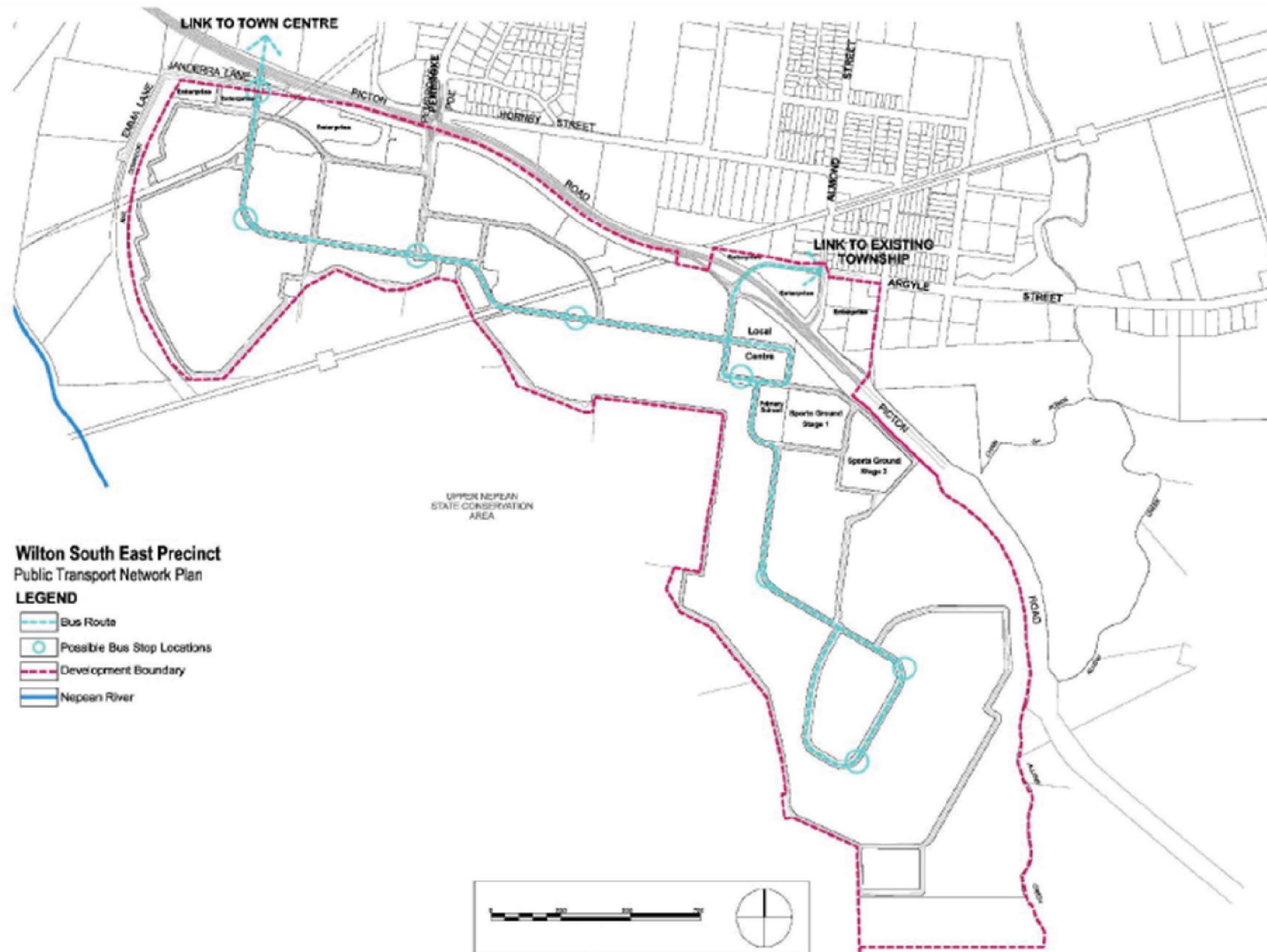
**Note:** Indicative only. Final form to be determined in negotiation with Council and in accordance with relevant Council policy





**Figure 7 Indicative Public Transport Plan**

**Note:** Indicative only. Final form to be determined in negotiation with Council and in accordance with relevant Council policy



**Figure 8 Indicative Open Space and Recreation Network**

**Note:** Indicative only. Final form to be determined in negotiation with Council and in accordance with relevant Council policy

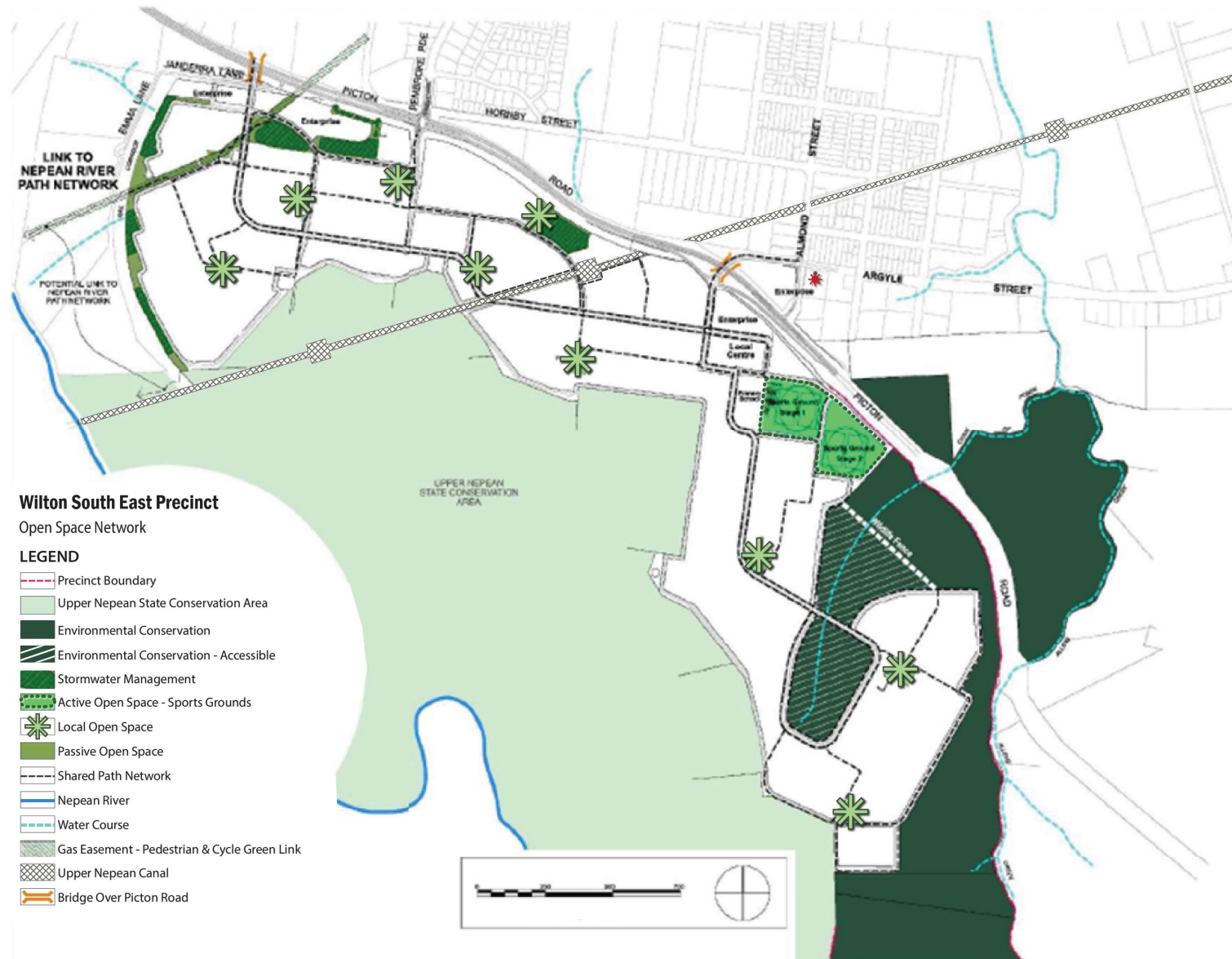
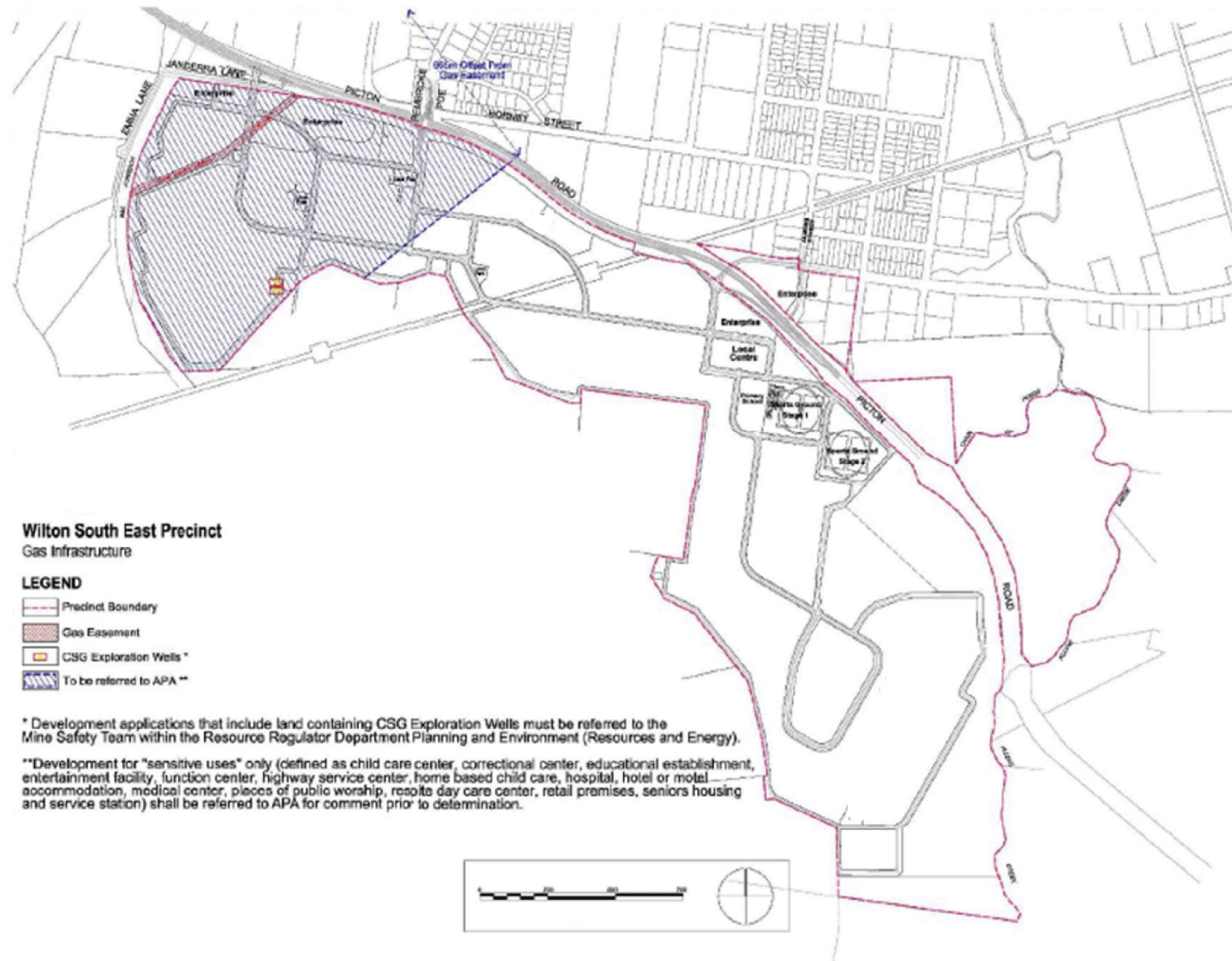


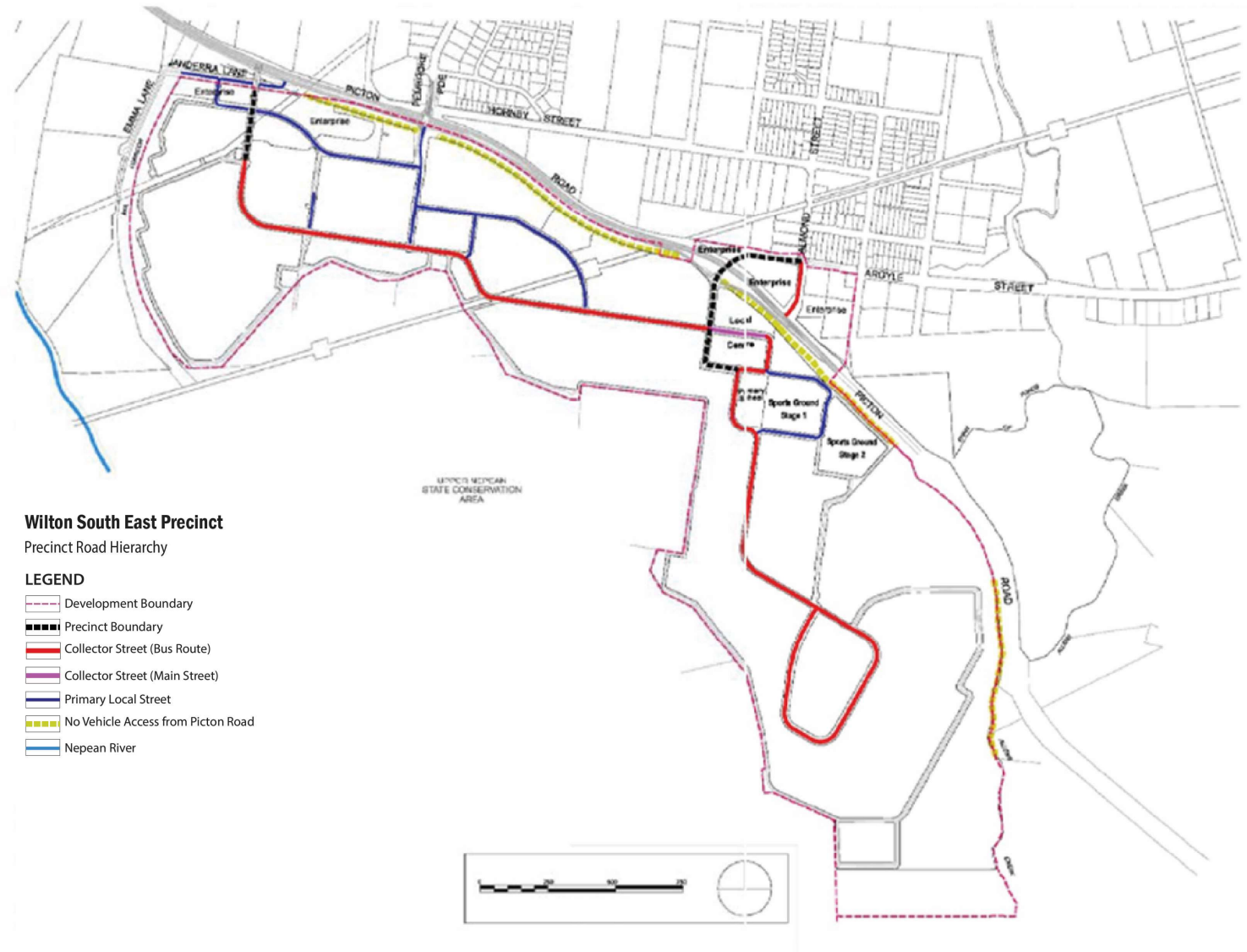
Figure 9 Gas Infrastructure





**Figure 10 Indicative Precinct Road Hierarchy Plan**

**Note:** Indicative only. Final form to be determined in negotiation with Council and in accordance with relevant Council policy



**Figure 11 Indicative Pedestrian Cycle Network Plan**

**Note:** Indicative only. Final form to be determined in negotiation with Council and in accordance with relevant Council policy

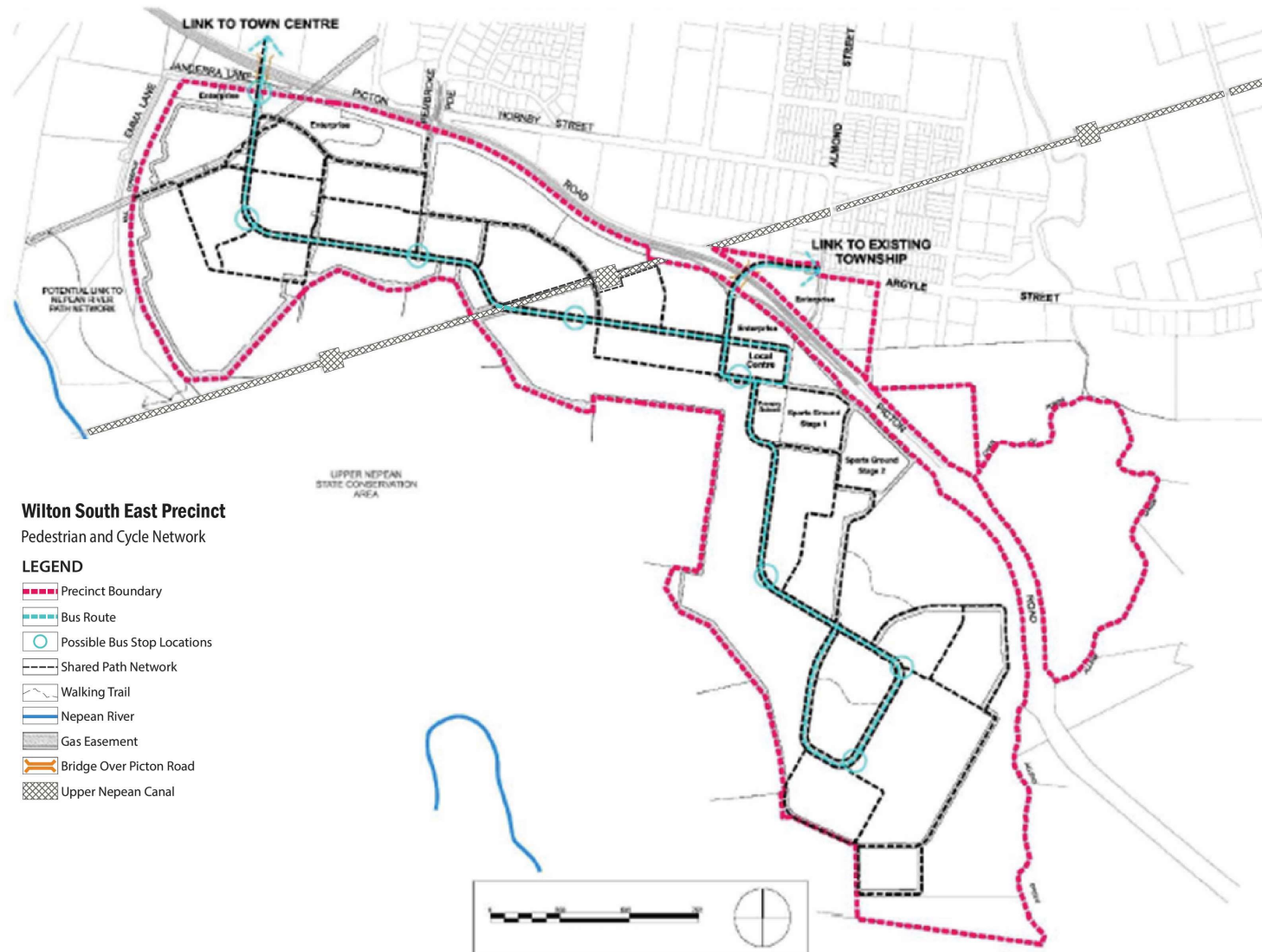
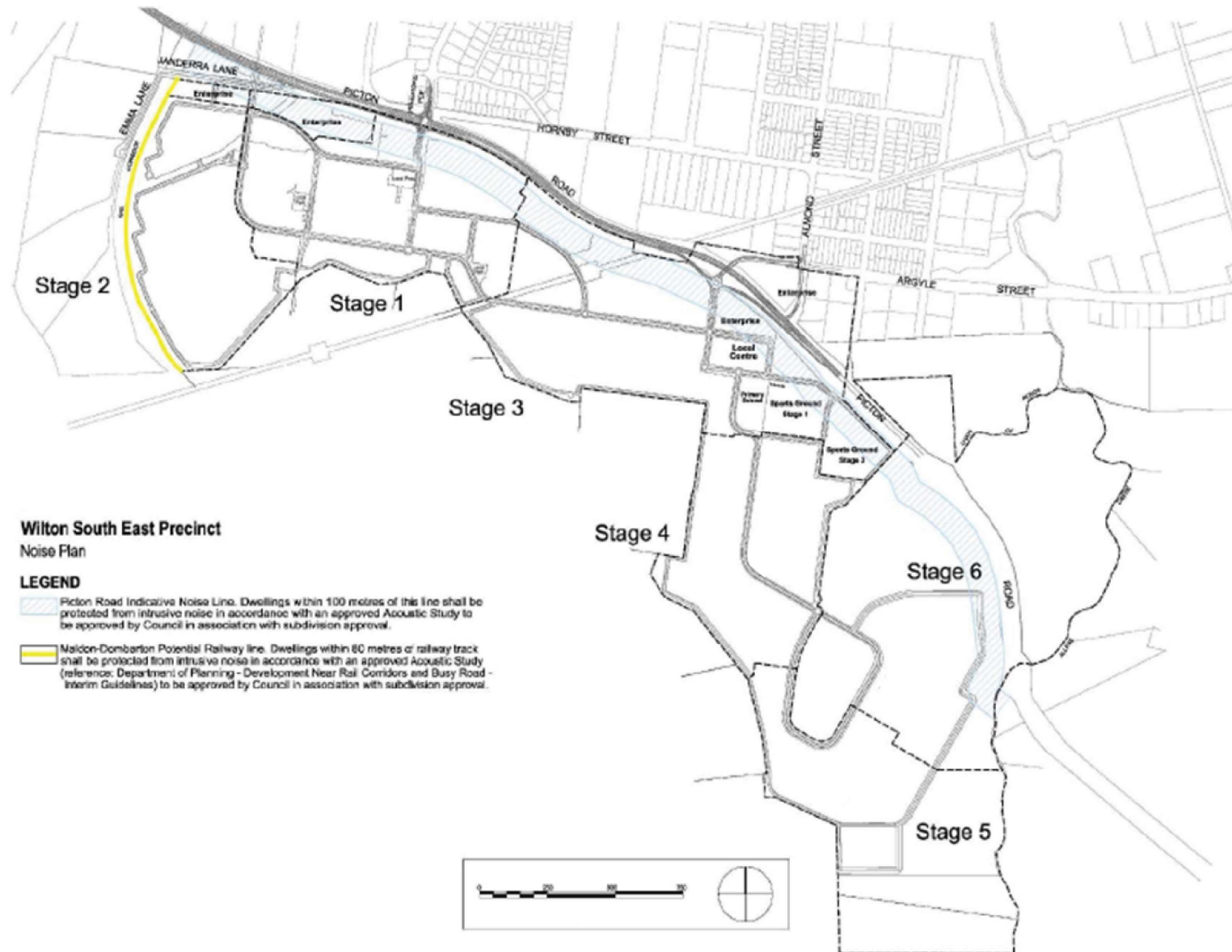
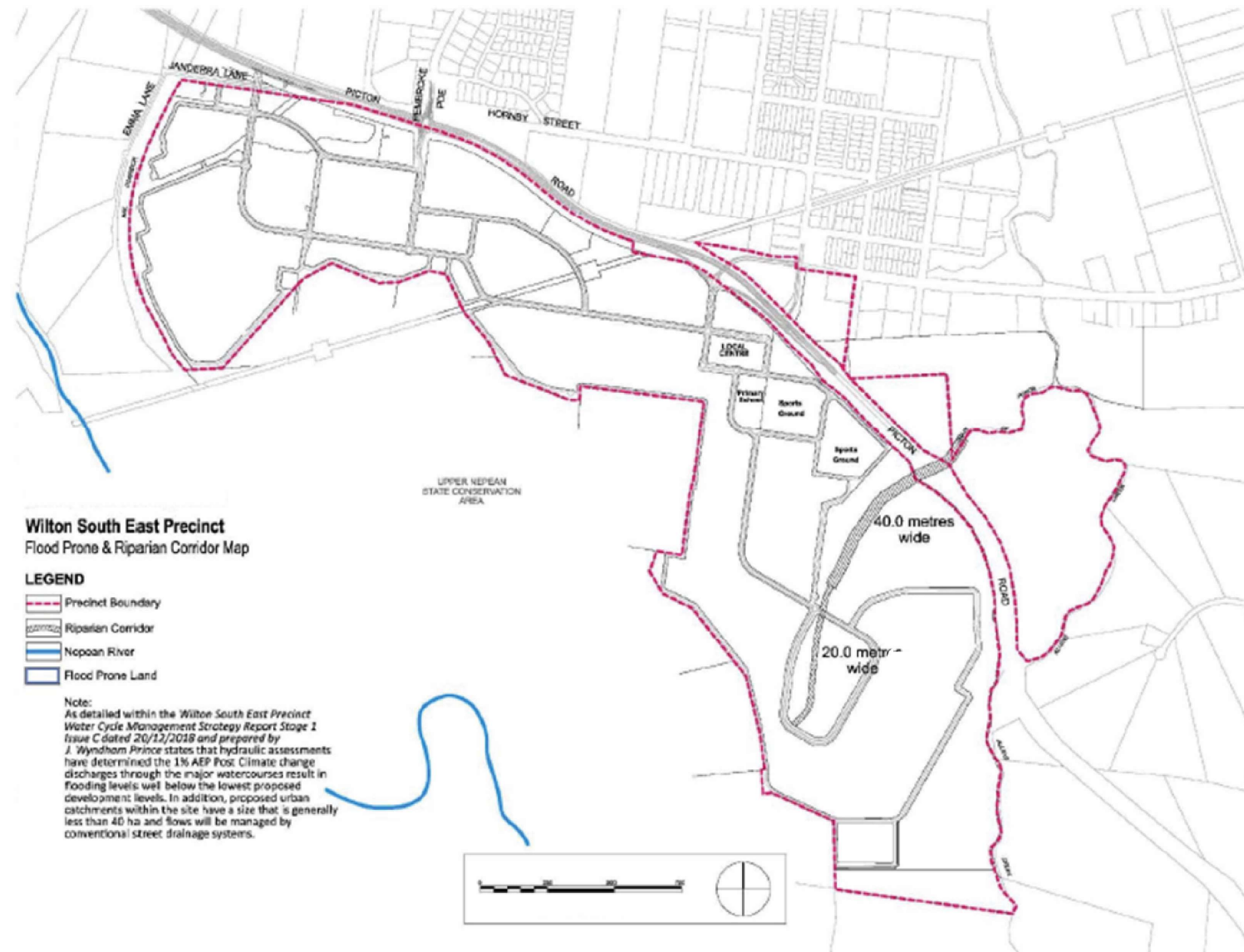


Figure 12 Indicative Noise Consideration Plan



**Figure 13 Location of Flood Prone Land and Riparian Corridor**

**Note:** Indicative only. Final form to be determined in negotiation with Council and in accordance with relevant Council policy



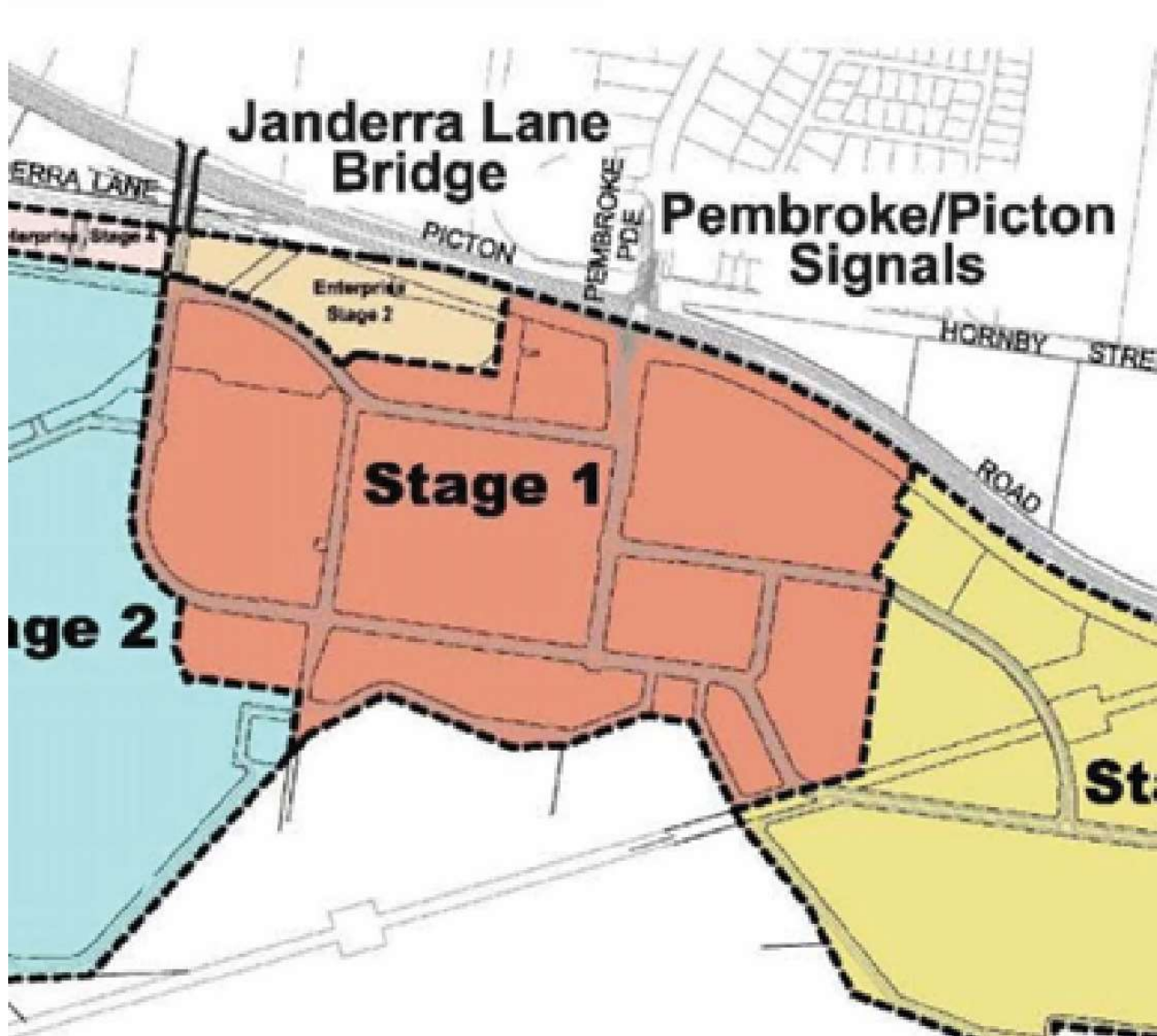


### 3 Special Urban Areas

This Part stipulates objectives and controls that override the relevant content in Part 5 and Part 6 in the main body of the DCP, related to residential development in Stage 1 of the South East Wilton precinct.

This Part applies to the Special Urban Area comprised of land within Stage 1 of the South East Wilton Precinct, as shown in orange / brown.

**Figure 14: Indicative Special Urban Area - Stage 1**



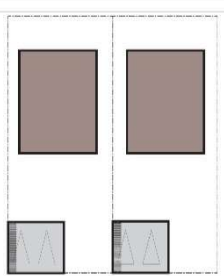
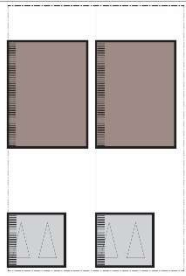
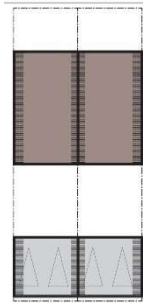
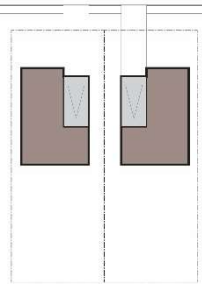
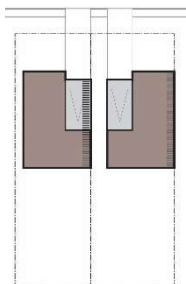
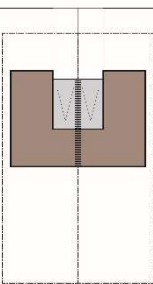
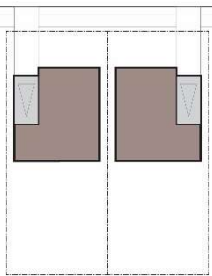
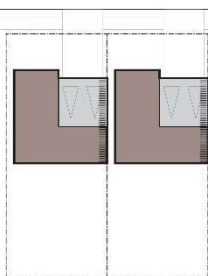

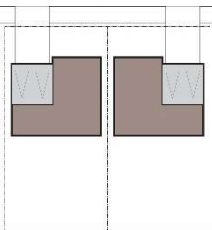
## 3.1 Objectives

1. To acknowledge the development approval for Stage 1 of the South East Wilton Precinct.
2. To allow future low density residential development to proceed under alternative development controls to those adopted in the main body of the Wilton Growth Area Development Control Plan 2020.

## 3.2 Controls

1. Future development applications for low density residential dwellings located in Stage 1 of the South East Wilton Precinct, as shown in orange / brown in **Figure 14**, are to be assessed against the summary of key controls as set out in this Section (**Section 3.2**).
2. Development is to be generally in accordance with the typologies illustrated in **Table 2**.
3. Development is to be undertaken in accordance with the applicable control table specified in **Table 2**.
4. Dwellings are to be generally a maximum of 2 storeys high. Council may permit a 3rd storey if it is satisfied that:
  - i. The dwelling is located on a prominent street corner; or
  - ii. The dwelling is located adjacent to a neighbourhood or local centre, public recreation or drainage land, a golf course, or a riparian corridor; or
  - iii. The dwelling is located on land with a finished ground level slope equal to or more than 15%, and is not likely to impact adversely on the existing or future amenity of any adjoining land on which residential development is permitted, having regard to overshadowing, visual impact and any impact on privacy; or
  - iv. Third storey is within the roof line of the building (i.e. an attic).
5. Corner lot development should emphasise the corner. The secondary street façade for a dwelling on a corner lot should address the street and must incorporate at least two of the above design features. Landscaping in the front setback on the main street frontage should also continue around into the secondary setback.

**Table 2: Development Typologies and Applicable Controls Tables**

Access	Lot Width	Detached	Zero Lot	Abutting/Attached	Applicable Controls Table
Rear Access	≥4.5m				Table 3
	7>9m				Table 4
	≥9≥15m				Table 5
Front Access	>15m				Table 6



**Table 3: Summary of key controls for lots with frontage width  $\geq 4.5\text{m}$  for rear accessed dwellings**

Element	Control	
Front setback (min)	4.5m to building façade line; 3.5m to building façade fronting open space  3.0m to articulation zone; 2.0m to articulation zone fronting open space.	In density bands $\geq 25\text{dw}/\text{Ha}$  3m to building façade line,  1.5m to articulation zone.
Side setback (min)	Zero Lot, Attached or Abutting Boundary (benefited lot)  Ground floor: 0m  Upper floor: 0m	Detached Boundary 0.9m.  If lot burdened by zero lot boundary, side setback must be within easement:  0.9m (single storey zero lot wall)  1.2m (double storey zero lot wall)
Maximum length of zero lot line on boundary	Attached/abutting house:  18m (excludes rear loaded garages) upper levels only. No limit to ground floor.	Zero lot house:  18m (excludes rear loaded garages)
Rear setback (min)	0.5m (rear loaded garages to lane, zero to articulation zone)	
Corner lots secondary street setback (min)	1.0m with articulation as specified in <b>Clause 3.2 (5)</b>	
Building height, massing and siting	In areas with a minimum residential density of $\leq 20\text{dw}/\text{Ha}$ :  2 storeys maximum in accordance with the relevant structure plans and Neighbourhood Plan (3rd storey subject to <b>Clause 3.2 (4)</b> )	In areas with a residential density of $\geq 25\text{dw}/\text{Ha}$ :  3 storeys maximum in accordance with the relevant structure plans and Neighbourhood Plan
Solar access & PPOS	In areas with a minimum residential density of $\leq 20\text{dw}/\text{Ha}$ :  At least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June) to at least 50% of the required PPOS of both the proposed development and the neighbouring properties.	In areas with a minimum residential density of $\geq 25\text{dw}/\text{Ha}$ :  At least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June) to at least 50% of the required PPOS of:  all affected neighbouring properties and,  at least 70% of the proposed dwellings.
	For alterations and additions to existing dwellings in all density areas, no reduction in the existing solar access to PPOS of the existing neighbouring properties.	
Garages and car parking	Rear loaded garage or car space only for lots of this type.  Minimum garage width 2.5m (single) and 5.0m (double).  1-2 bedroom dwellings will provide at least 1 car space.  3 bedroom or more dwellings will provide at least 2 car spaces.	

**Table 4: Summary of key controls for lots with frontage width  $\geq 7\text{m}$  and  $< 9\text{m}$  for front accessed dwellings**

Element	Control	
Front setback (min)	4.5m to building façade line; 3.5m to building façade fronting open space or drainage land  3.0m to articulation zone; 2.0m to articulation zone fronting open space or drainage land  5.5m to garage line and minimum 1m behind the building line	
Side setback (min)	Zero Lot, Attached or Abutting Boundary  Ground floor: 0m  Upper floor: 0m	Detached Boundary 0.9m.  If lot burdened by zero lot boundary, side setback must be within easement:  0.9m (single storey zero lot wall)  1.2m (double storey zero lot wall)
Maximum length of zero lot line on boundary	15m	
Rear setback (min)	4m (ground level) and 6m (upper levels).	
Corner lots secondary street setback (min)	1.0m with articulation as specified in <b>Clause 3.2 (5)</b>	
Building height, massing and siting	In areas with a minimum residential density of $\leq 20\text{dw}/\text{Ha}$ :  2 storeys maximum  (3rd storey subject to <b>Clause 3.2 (4)</b> ).	In areas with a minimum residential density of $\geq 25\text{dw}/\text{Ha}$ :  3 storeys maximum.
Site Coverage	Upper level no more than 50% of lot area.	
Soft landscaped area	Minimum 15% lot area.  The first 1m of the lot measured from the street boundary (excluding paths) is to be soft landscaped.	
Principal Private Open Space (PPOS)	In areas with a minimum residential density of $\leq 20\text{dw}/\text{Ha}$ :  Min $16\text{m}^2$ with minimum dimension of 3m.	In areas with a minimum residential density of $\geq 25\text{dw}/\text{Ha}$ : Min $16\text{m}^2$ with minimum dimension of 3m.  $10\text{m}^2$ per dwelling if provided as balcony or rooftop with a minimum dimension of 2.5m.

Solar access	<p>In areas with a minimum residential density of <math>\leq 20\text{dw}/\text{Ha}</math>:</p> <p>At least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June) to 50% of the required PPOS of both the proposed development and the neighbouring properties.</p>	<p>In areas with a minimum residential density of <math>\geq 25\text{dw}/\text{Ha}</math>:</p> <p>At least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June) to at least 50% of the required PPOS of:</p> <p>all affected neighbouring properties and, at least 70% of the proposed dwellings.</p>
	For alterations and additions to existing dwellings in all density areas, no reduction in the existing solar access to PPOS of the existing neighbouring properties.	
Garages and car parking	<p>Single width garage or car space only.</p> <p>Carport and garage minimum internal dimensions: 3m x 5.5m.</p> <p>1-2 bedroom dwellings will provide at least 1 car space.</p> <p>3 bedroom or more dwellings will provide at least 2 car spaces.</p>	
	The garage must be less than 40% of the total area of the front façade.	
Layout	In density bands $\leq 25\text{dw}/\text{Ha}$ , total lot frontage of this lot type not to exceed 20% of the block length due to garage dominance and on-street parking impacts.	

**Table 5: Summary of key controls lots with frontage width  $\geq 9\text{m}$  and  $\leq 15\text{m}$  for front accessed dwellings**

Element	Control	
Front setback (min)	<p>4.5m to building façade line; 3.5m to building façade fronting open space or drainage land.</p> <p>3.0m to articulation zone; 2.0m to articulation zone fronting open space or drainage land.</p> <p>5.5m to garage line and 1m behind the building line.</p>	
Side setback (min)	<p>Detached boundary.</p> <p>Ground Floor: 0.9m.</p> <p>Upper Floor: 0.9m.</p>	<p>Lots with a zero lot boundary (side A).</p> <p>Ground Floor: 0m (Side A), 0.9m (Side B).</p> <p>Upper Floor: 1.5m (Side A), 0.9m (Side B)</p>
.Maximum length of zero lo Length of zero lot line on boundary line on boundary	11m.	
Rear setback Rear setback (min)	4m (ground level) and 6m (upper levels).	
Corner lots secondary street setback (min)	2.0m with articulation as specified in <b>Clause 3.2 (5)</b> .	

Building height, massing and siting	2 storeys maximum (3rd storey subject to <b>Clause 3.2 (4)</b> ).	
Site coverage	Single storey dwellings: 60% Lot $\leq 375\text{m}^2$ , upper level no more than 40% of lot area. Lot $> 375\text{m}^2$ , upper level no more than 35% of lot area.	
Landscaped area	Minimum 25% of allotment area	
Principal Private Open space (PPOS)	Minimum $20\text{m}^2$ with minimum dimension of 4.0m. 50% of the area of the required PPOS (of both the proposed development and adjoining properties) should receive at least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June).	
Garages and car parking	Lots $\geq 9\text{m}$ and $< 12.5\text{m}$ : Where front accessed, single width garages only. Rear lane or side street accessed double garages permitted. Max. carport and garage door width not to exceed 3m (single) or 6m (double).	Lots $\geq 12.5\text{m}$ and $\leq 15\text{m}$ : Front or rear accessed single, tandem or double garages permitted. Triple garages are not permitted.
	1-2 bedroom dwellings will provide at least 1 car space. 3 bedroom or more dwellings will provide at least 2 car spaces.	

**Table 6: Summary of key controls for lots with frontage width > 15m for front accessed dwellings**

Element	Control
Front setback (min)	4.5m to building façade line. 3.5m to building façade fronting open space or drainage land. 3.0m to articulation zone. 2.0m to articulation zone fronting open space or drainage land. 5.5m to garage line and 1m behind the building line.
Side setback (min)	Ground Floor: 0.9m (Side A), 0.9m (Side B). Upper Floor: 0.9m (Side A), 1.5m (Side B).
Rear setback (min)	4m (ground level) and 6m (upper levels).
Corner lots secondary street setback (min)	2.0m with articulation as specified in <b>Clause 3.2 (5)</b> .

Building height, massing and siting	2 storeys (3rd storey subject to <b>Clause 3.2 (4)</b> ).
Site coverage	Single storey dwellings: 50%. Two storey dwellings: 50% at ground floor and 30% at upper floor.
Landscaped area	Minimum 30% of the allotment area.
Principal Private Open Space (PPOS)	Minimum 24m <sup>2</sup> with minimum dimensions of 4m. 50% of the area of the required principal private open space (of both the proposed development and adjoining properties) should receive at least 3 hours of sunlight between 9am and 3pm at the winter solstice (21 June).
Garages and car parking	Front or rear loaded double and tandem garages permitted. Maximum garage door width 3m (Single) and 6m (Double). Triple garages are not permitted. 1-2 bedroom dwellings will provide at least 1 car space. 3 bedroom or more dwellings will provide at least 2 car spaces.