



CONSULTING ENGINEERS

BCA MEMORANDUM



**Planning,
Industry &
Environment**

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No 10666

Granted on the 3 November 2021

Signed M Brown

Sheet No 17 of 18

To: Bec Morcom

Attention:

From: James Alexander / Nick Wilson

Project: Snowstream Apartments Thredbo

Subject: Proposed Deck Extension

Date: 31 August 2021

Project 2207

No.:

Doc. No.: 2207 Memorandum

Revision: A Final

1.0 Introduction

This memorandum has been prepared to provide BCA compliance advice with respect to the proposal to extend the existing external balcony in the north-western façade of Apartment 4.

2.0 Description of Arrangement

The Snowstream development is located within Thredbo Village in the Woodridge stage 3 area and consists of 10 class 1b apartments. Apartment 4 is located on the western end of the development.

The owners of Apartment 4 propose to extend the front balcony located from the living area on the north-western elevation to the east as can be seen in the mark-up photo below.

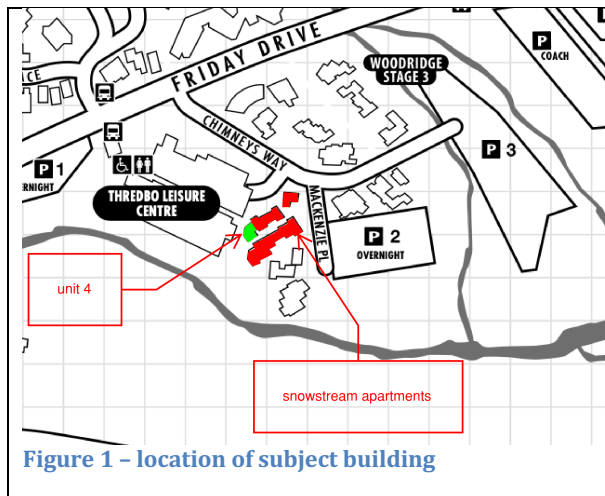


Figure 1 - location of subject building

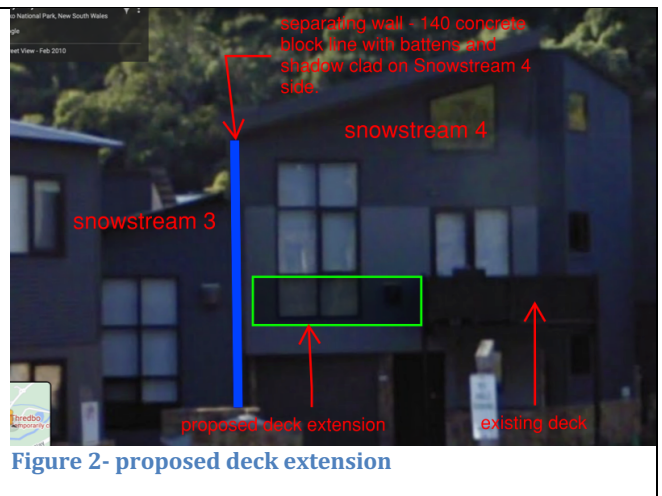


Figure 2- proposed deck extension

3.0 Compliance Assessment

The two subject apartments share a common wall which extends the full height of Snowstream Apartment 3 and continues beyond the roof line for to the upper portion of the subject apartment snowstream 4 as can be seen in Figure 2 above.

The wall appears to be constructed of 140mm concrete blockwork clad with timber shadow clad to the ground floor level and, where extending above the roof line of Snowstream 3, clad with corrugated metal sheet, as detailed in figure 3 below.



Figure 3 - existing separating wall

BCA 2019 Volume 2 requires separating walls in Class 1 buildings to achieve an FRL of 60/60/60 or be of masonry construction not less than 90mm thick. Furthermore, it requires separating walls to commence at the footings or ground floor slab and continue to the underside of a non-combustible roof and for the FRL to be provided from both sides.

Non-destructive investigations on site determined the presence of the 140mm blockwork spanning from the footings past the roof line of Snowstream 3 separating the apartments as per the requirements of the BCA 3.7.3.2 "Separating Walls". The combustible "Shadowclad" external cladding is located on the Snowstreams 3 side of the separating wall and boundary. Whilst combustible, the ignition and combustion of this cladding will not cause fire spread through the separating wall given the presence of the 140 concrete blockwall acting as the fire-resistant separating wall on the boundary. Confirmation of this compliance should be available within the Occupation Certificate issued for the building.

The proposal to extend the balcony to the east towards the external wall of Snowstream 3 does not increase the risk of fire spread to or from the compliant separating wall if no modifications to the existing separating wall occur.

To ensure that any failure of the proposed balcony extension does not reduce the integrity of the separating wall any proposed extension must not connect to/or require structural support from the separating wall. The proposed balcony must be self-supporting and/or supported by the structure of Snowstream 4.

5.0 Recommendation

On the basis of the above discussion, it is considered that in our opinion, the extension of the existing deck will not increase the risk of fire spread and or reduce the structural adequacy of the existing separating wall whilst complying with the relevant provisions of the BCA.

We trust this memorandum is suitable for your purposes however if you have any queries or wish to discuss, please contact the undersigned.

Regards,



James Alexander

Director

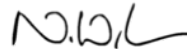
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