

TOWN PLANNING & DESIGN
NAIOMIE MCLEOD

STATEMENT OF ENVIRONMENTAL EFFECTS

Ref. 23/20

**‘Snowstreams Unit 4’
1 Chimneys Way
Thredbo, NSW, 2625
LOT 558 DP1118421**

For Barry Morcom

PROPOSED DEVELOPMENT: Addition of deck on upper level

COUNCIL: Snowy Monaro Regional Council



Planning,
Industry &
Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No 10666

Granted on the 3 November 2021

Signed M Brown

Sheet No 1 of 18



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PROPOSAL

The proposal seeks approval for an addition of a deck on the upper level of existing townhouse Snowstreams Unit 4.

The proposed development will be located at 1 Chimneys Way, Thredbo Village, NSW located within the Kosciuszko National Park.. The property is legally known as Lot 558 DP1118421.

The addition of a steel upper level deck will be an extension of the existing deck on level one.

The Development Application that has been prepared for submission to the NSW Department of Planning will also be accompanied by a 'Special Fire Protection Purposes (SFPP)' Bush Fire Report prepared in accordance with The Rural Fires Act, 1997. The application is an integrated development under S4.46 of the Environmental Planning and Assessment Act 1979 requiring a Bushfire Safety Authority under S.100B of the Rural Fire Act, 1997.

The development is consistent with development in the surrounding locality and is deemed to be of positive influence both economically, environmentally and socially.

The report has been prepared to examine the site and relevant planning controls that apply in accordance with the requirements of Schedule 1 of the Environmental Planning and Assessment Regulation 2000.



THE SITE LOCALITY

The site is located at Thredbo Village within the Kosciuszko National Park, NSW. Google maps indicate that the subject site is 35.4km from the township of Jindabyne, NSW.

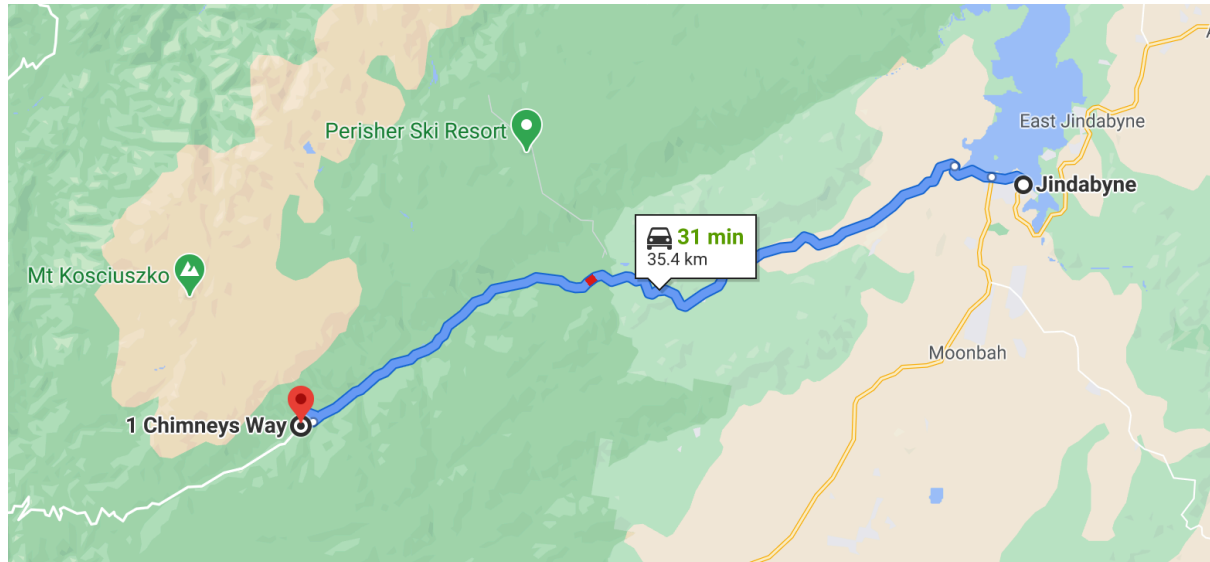


Figure: The site locality; Source Google Maps

SITE ANALYSIS

The site known as 1 Chimneys Way, Thredbo NSW is a site that accommodates attached townhouse development predominantly for the purpose of tourist accommodation.

Adjoining the subject site to the west is the Australia Institute of Sport (AIS) complex.



Figure: The site locality in Thredbo; Source NSW Planning Portal



Figure: Aerial view indicating Snowstream 4; Source NSW Planning Portal

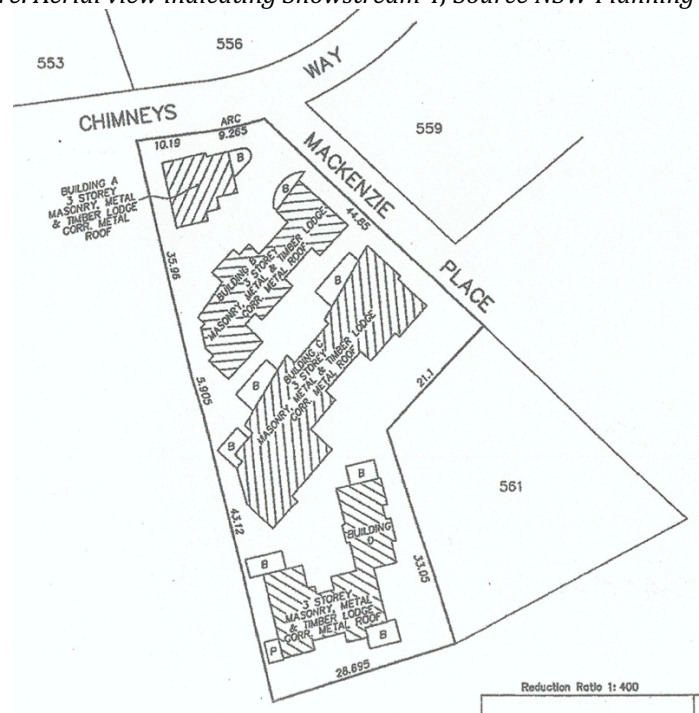
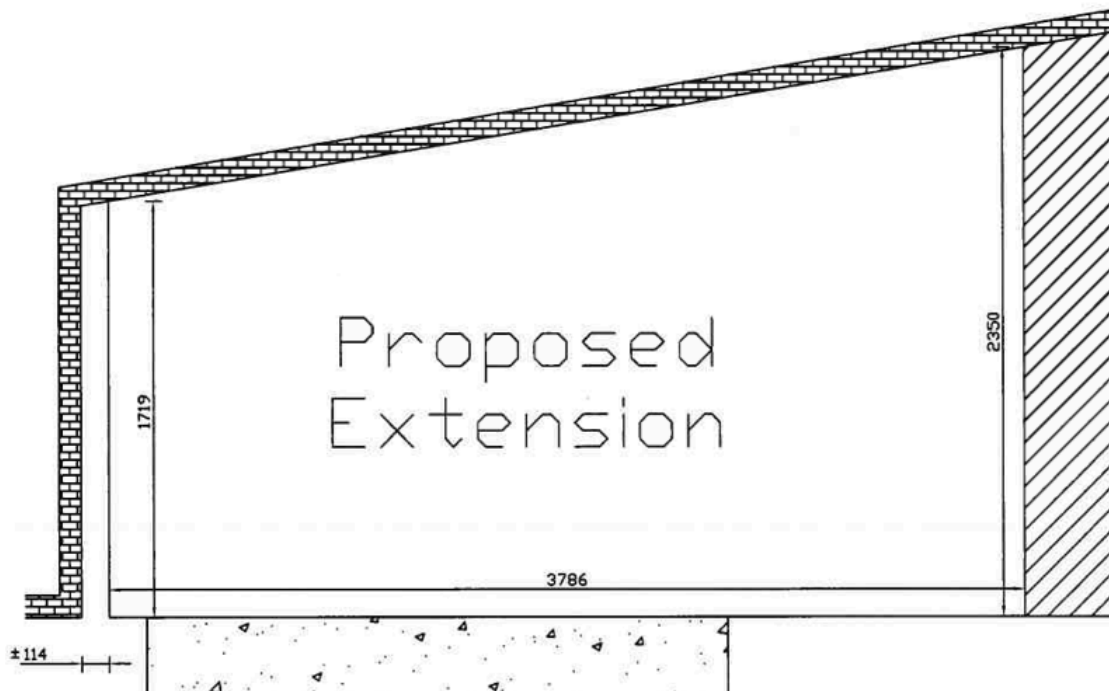


Figure: Snowstream 4 location within the site; Source Strata Lease Plan

Development Proposal

The proposed development is a deck that will act as an extension to the existing deck on the first level of the townhouse. The deck is 3.786m long and a varying width between 1.719m and 2.350m.



Proposed Elevations and Floor Plan:

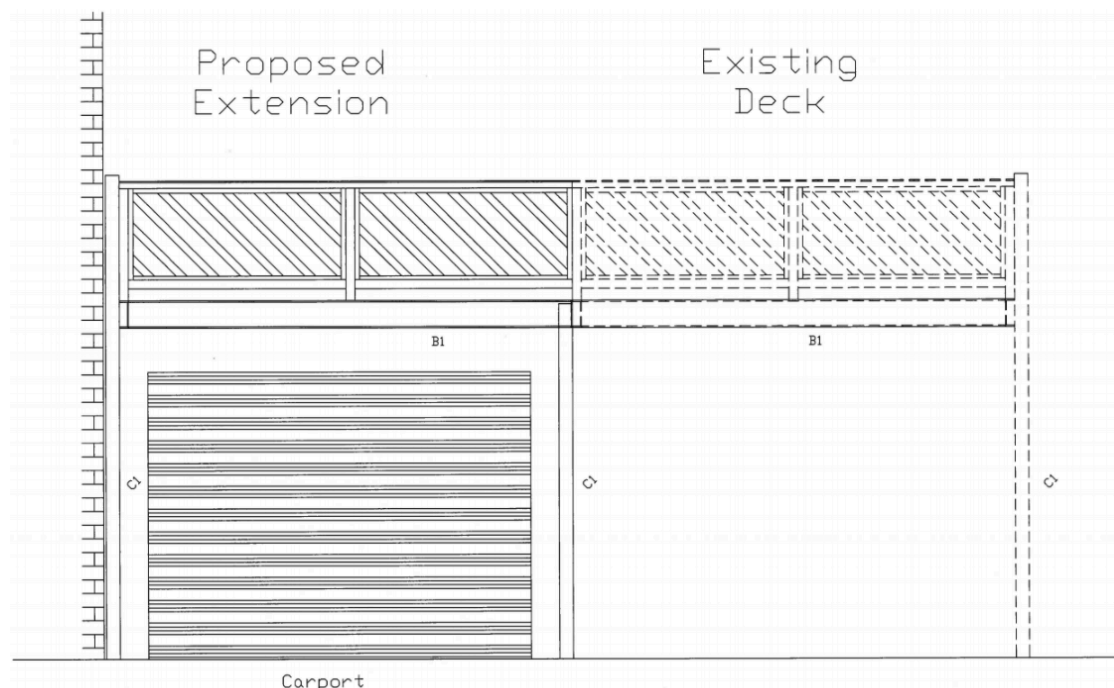


Figure : Front Elevation: Source Cooma Steel

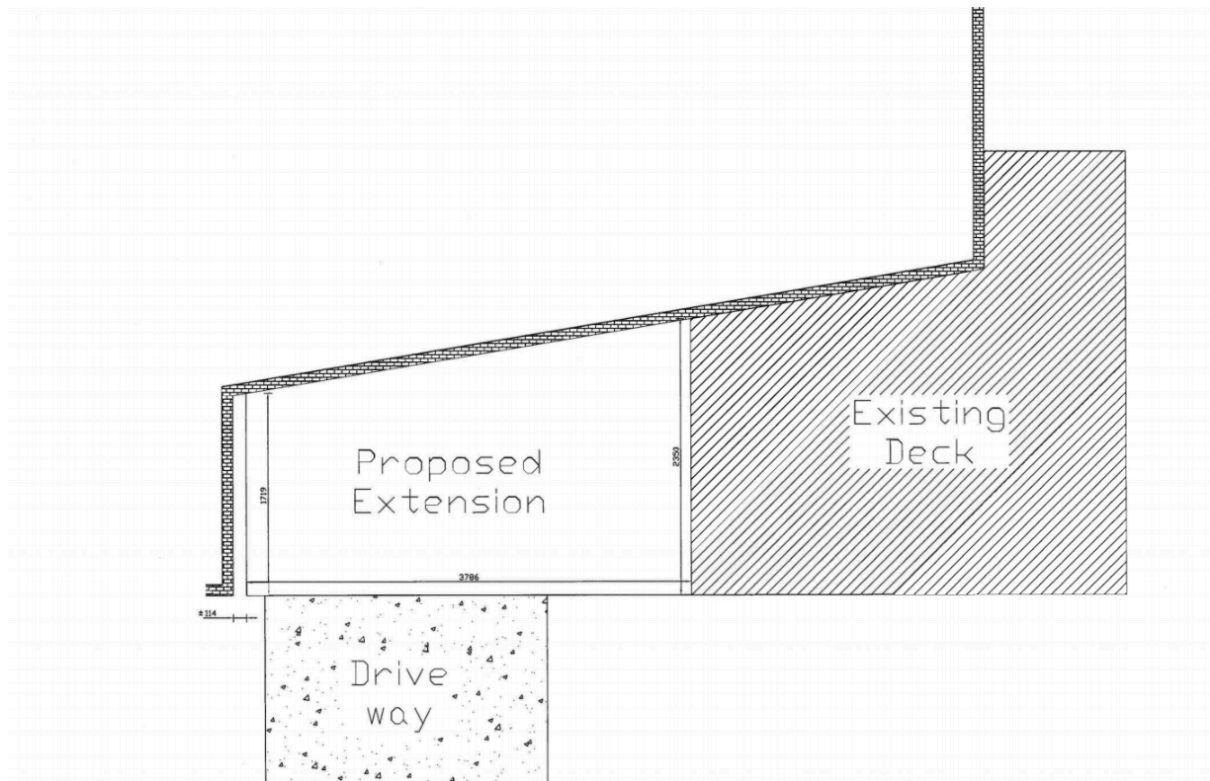


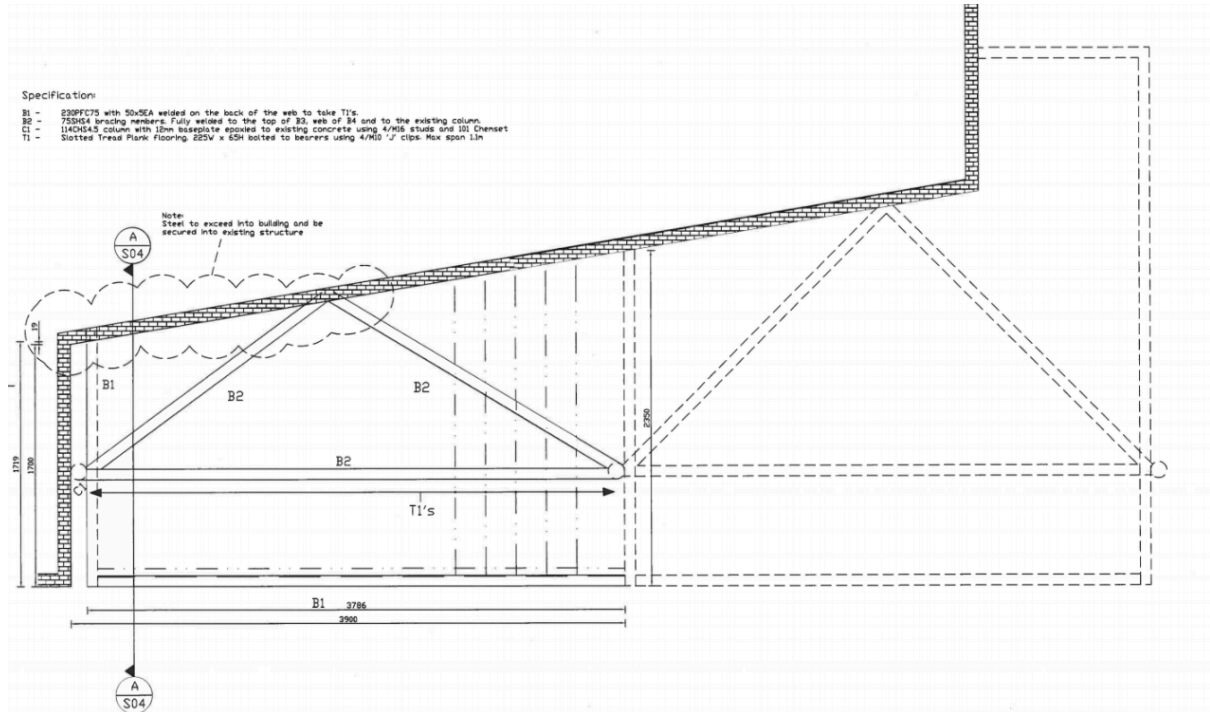
Figure : Deck Plan; Source Cooma Steel



Figure : Proposed location of deck addition

Proposed Materials:

The deck is proposed to be constructed of steel.



Legal and Practical Access:

Legal and practical access is available to the site off Chimneys Way, Thredbo.

Existing Vegetation:

The proposal does not require the removal of any vegetation.

Water and Sewer supply:

N/A to the proposal.

Stormwater Management:

The new deck addition is to remain uncovered and will not require stormwater management.

Electricity/Gas:

N/A

Bushfire Prone:

The NSW Planning Portal identifies that the site is bush fire prone.

The Development Application that has been prepared for submission to the NSW Department of Planning will also be accompanied by a 'Special Fire Protection Purposes

(SFPP)' Bush Fire Report prepared in accordance with The Rural Fires Act, 1997. The application is an integrated development under S4.46 of the Environmental Planning and Assessment Act 1979 requiring a Bushfire Safety Authority under S.100B of the Rural Fire Act, 1997.



Figure: The site is shown as Bush Fire Prone on NSW Planning Portal

SURROUNDING AREA ANALYSIS

Predominant Development Type:

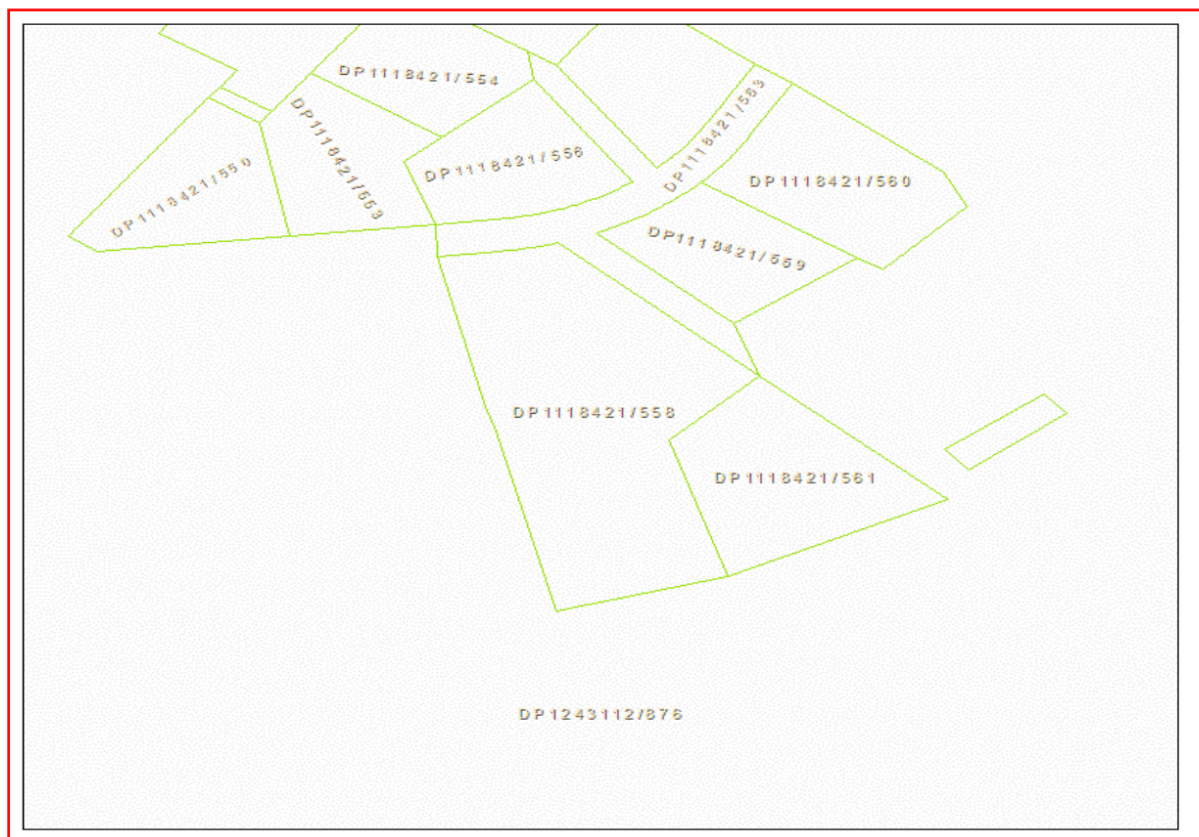
The subject site has the Australian Institute of Sport complex to the west with all development in surrounding elevations being chalet/townhouse tourist accommodation.

Heritage Items: No

AHIMS Search Results:

AHIMS Web Service search for the following area at Lot : 558, DP:DP1118421 with a Buffer of 50 meters, conducted by Mcleod Naomie on 12 December 2020.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of the Office of the Environment and Heritage AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

LEGISLATIVE REQUIREMENTS**Section 4.15 Environmental Planning & Assessment Act,
1979- Evaluation**

<p>(1) Matters for consideration—general</p> <p>In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application</p>	
<p>(a) the provisions of—</p> <ul style="list-style-type: none"> (i) any environmental planning instrument, and (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and (iii) any development control plan, and (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), (v) (Repealed) <p>that apply to the land to which the development application relates,</p>	<p><i>There are no Planning Instruments relevant to the site apart from the SEPP- Kosciuszko National Park - Alpine Resorts) 2007.</i></p> <p><i>There are no development control plans, planning agreements or applicable to the site.</i></p> <p><i>The application to be submitted to the Department of Planning NSW has been done in accordance with the Environmental Planning and Assessment Regulation 2000.</i></p>
<p>(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,</p>	<p><i>The proposed development will not create any adverse impacts to the natural and built environment. The development is located on the upper level and will not require any ground disturbance.</i></p> <p><i>The proposal is deemed to be of positive influence from an environmental, social and economic perspective.</i></p>

(c) the suitability of the site for the development,	<i>The subject site is suitable to accommodate the proposed development.</i>
(d) any submissions made in accordance with this Act or the regulations,	<i>The application will be made public and open for public submissions.</i>
(e) the public interest.	<i>The proposed development is deemed to be satisfactory in regards to the public interest due to the minimal if any impacts associated with the development.</i>

State Environmental Planning Policy (Kosciuszko National Park - Alpine Resorts) 2007

Aim and objectives of Policy

(1) The aim of this Policy is to protect and enhance the natural environment of the alpine resorts, in the context of Kosciuszko National Park, by ensuring that development in those resorts is managed in a way that has regard to the principles of ecologically sustainable development (including the conservation and restoration of ecological processes, natural systems and biodiversity).

(2) *The objectives of this Policy are as follows—*

(a) to encourage the carrying out of a range of development in the alpine resorts (including the provision of services, facilities and infrastructure, and economic and recreational activities) that do not result in adverse environmental, social or economic impacts on the natural or cultural environment of land to which this Policy applies,

(b) to put in place planning controls that contribute to and facilitate the carrying out of ski resort development in Kosciuszko National Park that is ecologically sustainable in recognition of the fact that this development is of State and regional significance,

(c) to minimise the risk to the community of exposure to environmental hazards, particularly geotechnical hazards, bush fire and flooding, by generally requiring development consent on land to which this Policy applies.

Clause 14 - Matters to be considered by consent authority

1. In determining a development application that relates to land to which this Policy applies, the consent authority must take into consideration any of the following matters that are of relevance to the proposed development.

(a) the aim and objectives of this Policy, as set out in clause 2,	<i>The proposed development will not result in any environmental impacts that would negatively affect the natural and built environment. The proposal is consistent with the aims and objectives of the SEPP.</i>
(b) the extent to which the development will achieve an appropriate balance between the conservation of the natural environment and any measures to mitigate environmental hazards (including geotechnical hazards, bush fires and flooding),	<i>Balance between the natural and built environment will be maintained. No measures to mitigate environmental hazards are required.</i>
<p>(c) having regard to the nature and scale of the development proposed, the impacts of the development (including the cumulative impacts of development) on the following—</p> <ul style="list-style-type: none"> (i) the capacity of existing transport to cater for peak days and the suitability of access to the alpine resorts to accommodate the development, (ii) the capacity of the reticulated effluent management system of the land to which this Policy applies to cater for peak loads generated by the development, (iii) the capacity of existing waste disposal facilities or transfer facilities to cater for peak loads generated by the development, (iv) the capacity of any existing water supply to cater for peak loads generated by the development 	<p><i>i. The proposed development will not increase traffic to the resort.</i></p> <p><i>ii. The development will not have an impact upon the current effluent management system.</i></p> <p><i>iii. N/A</i></p> <p><i>iv. Water supply will not be required to be increased under the proposal.</i></p>
(d) any statement of environmental effects required to accompany the development application for the development,	<i>As provided in this report</i>
(e) if the consent authority is of the opinion that the development would significantly alter the character of the alpine resort—an analysis of the existing character of the site and immediate surroundings to	<i>The proposed development will not alter the character of the resort as it is very minor in nature. The proposal is an extension of the existing deck and will provide additional outdoor space</i>

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assist in understanding how the development will relate to the alpine resort,	<i>therefore enhancing the amenity of the accommodation.</i>
(f) the <i>Geotechnical Policy—Kosciuszko Alpine Resorts</i> (2003, Department of Infrastructure, Planning and Natural Resources) and any measures proposed to address any geotechnical issues arising in relation to the development,	<i>The proposal does not seek to disturb the ground and therefore does not require a geotechnical report.</i>
(g) if earthworks or excavation works are proposed—any sedimentation and erosion control measures proposed to mitigate any adverse impacts associated with those works,	<i>N/A no earthworks are required for the development</i>
(h) if stormwater drainage works are proposed—any measures proposed to mitigate any adverse impacts associated with those works,	<i>N/A stormwater drainage works are not required</i>
(i) any visual impact of the proposed development, particularly when viewed from the Main Range,	<i>The proposal is consistent with the existing development and will not create any negative visual impacts</i>
(j) the extent to which the development may be connected with a significant increase in activities, outside of the ski season, in the alpine resort in which the development is proposed to be carried out,	<i>The development will not increase activities outside of the ski season</i>
<p>(k) if the development involves the installation of ski lifting facilities and a development control plan does not apply to the alpine resort—</p> <ul style="list-style-type: none"> (i) the capacity of existing infrastructure facilities, and (ii) any adverse impact of the development on access to, from or in the alpine resort, 	<i>N/A</i>
<p>(l) if the development is proposed to be carried out in Perisher Range Alpine Resort—</p> <ul style="list-style-type: none"> (i) the document entitled <i>Perisher Range Resorts Master Plan</i>, as current at the commencement of this Policy, that is deposited in the head office of the Department, and (ii) the document entitled <i>Perisher Blue Ski Resort Ski Slope Master Plan</i>, as current at the commencement of this Policy, that is deposited in the head office of the Department, 	<i>N/A</i>

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<p>(m) if the development is proposed to be carried out on land in a riparian corridor—</p> <ul style="list-style-type: none"> (i) the long term management goals for riparian land, and (ii) whether measures should be adopted in the carrying out of the development to assist in meeting those goals. 	<p><i>The proposed development will not be carried out upon a riparian corridor. Additionally the development is on the upper level.</i></p>
<p>(2) The <i>long term management goals</i> for riparian land are as follows—</p> <ul style="list-style-type: none"> (a) to maximise the protection of terrestrial and aquatic habitats of native flora and native fauna and ensure the provision of linkages, where possible, between such habitats on that land, (b) to ensure that the integrity of areas of conservation value and terrestrial and aquatic habitats of native flora and native fauna is maintained, (c) to minimise soil erosion and enhance the stability of the banks of watercourses where the banks have been degraded, the watercourses have been channelised, pipes have been laid and the like has occurred. 	<p><i>Given that the proposed development is located on the upper level there will not be any negative impacts to terrestrial and aquatic habitats or flora and fauna.</i></p> <p><i>As the proposal does not require any groundworks there will not be any issues pertaining to erosion.</i></p>
<p>(3) A reference in this clause to land in a riparian corridor is a reference to land identified as being in such a corridor on a map referred to in clause 5.</p>	<p>N/A</p>

Clause 15- Additional matters to be considered for buildings

<p>1. Building Height</p>	<p>In determining a development application for the erection of a building on land, the consent authority must take into consideration the proposed height of the building (where relevant) and the extent to which that height</p>
<p>(a) has an impact on the privacy of occupiers and users of other land, and</p>	<p><i>No additional impact due to the proposed development</i></p>
<p>(b) limits solar access to places in the public domain where members of the public gather or to adjoining or nearby land, and</p>	<p>N/A</p>

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(c) has an impact on views from other land, and	<i>The proposal will not have any impact upon views</i>
(d) if the building is proposed to be erected in Thredbo Alpine Resort—has a visual impact when viewed from the Alpine Way, and	<i>The new addition will not be of negative visual impact</i>
(e) if the building is proposed to be erected in Perisher Range Alpine Resort—needs to be limited so as to assist in maintaining the skyline when viewed from Kosciuszko Road and any other public roads, and	<i>N/A</i>
(f) if the building is proposed to be erected in an alpine resort other than Thredbo Alpine Resort or Perisher Range Alpine Resort—is similar to existing buildings in the resort where it is proposed to be erected, and	<i>N/A</i>
(g) if the building is proposed to be erected in Bullocks Flat Terminal—relates to the topography of its site.	<i>N/A</i>
2. Building Setback	In determining a development application for the erection of a building on land, the consent authority must take into consideration the proposed setback of the building (where relevant) and the extent to which that setback
(a) assists in providing adequate open space to complement any commercial use in the alpine resort concerned, and	<i>The deck addition will provide more space externally to the existing building</i>
(b) assists in achieving high quality landscaping between the building and other buildings, and	<i>Satisfactory</i>
(c) has an impact on amenity, particularly on view corridors at places in the public domain where members of the public gather, and	<i>The addition will not have any negative impacts upon the amenity of the locality</i>
(d) is adequate for the purposes of fire safety, and	<i>Satisfactory</i>
(e) will enable site access for pedestrians, services (including stormwater drainage and sewerage services) and the carrying out of building maintenance, and	<i>Satisfactory</i>
(f) will facilitate the management of accumulated snow.	<i>Satisfactory</i>

3. Landscaped Area	In determining a development application for the erection of a building on land, the consent authority must take into consideration (where relevant) the extent to which landscaping should be used
(a) as a means of assisting in the protection of the unique alpine environment of the alpine resort concerned, and to maximise its natural visual amenity, for the benefit of visitors and natural ecosystems, and	<i>The proposed development is wholly located on the upper level and will not have any impact upon the ability to landscape on the site.</i>
(b) to assist in the provision of adequate open space to complement any commercial use in the alpine resort concerned, and	<i>As above</i>
(c) to limit the apparent mass and bulk of the building, and	<i>The addition will not increase the bulk and scale of the existing building</i>
(d) as an amenity protection buffer between the proposed building and other buildings, and	<i>Satisfactory</i>
(e) as a means of reducing run-off, and	<i>Satisfactory</i>
(f) to protect significant existing site features and limit the area of any site disturbed during and after the carrying out of development.	<i>The proposal does not require any ground disturbance</i>

BIODIVERSITY CONSERVATION ACT

The Biodiversity Conservation Act 2016 (BC Act) commenced on 25 August 2017. The Act is a key pillar of the NSW Government's framework for biodiversity assessment and management, together with the land management framework established in the Local Land Services Act 2013 (as amended by the Local Land Services Amendment Act 2016).

The BC Act, together with the Biodiversity Conservation Regulation 2017, outlines the framework for addressing impacts on biodiversity from development and clearing. It establishes a framework to avoid, minimise and offset impacts on biodiversity from development through the Biodiversity Offsets Scheme (BOS).

The proposal does not require any clearing therefore an assessment under the Biodiversity Act, 2016 is not required for this application.

ENVIRONMENTAL SITE MANAGEMENT**Erosion & Sediment Control:**

The proposed development does not require any groundworks therefore an erosion and sediment management plan is not required.

Access:

The site is accessible off Chimneys Way. There is more than adequate provision at the front of the townhouse for parking during construction works.

Management of Native Vegetation:

N/A - No tree removal required for the proposed development

Noise and Vibration Pollution:

Construction hours to be conditioned on the consent.

Air Pollution:

The proposed development and construction phase will not create any air pollution issues.

Fuels & Chemicals:

N/A for this proposal

Emergency Procedures:

Organisation	Emergency Phone	Non Emergency Phone
NSW Police	000	Jindabyne: 64 562244
NSW Ambulance	000	Cooma: 02 9320777
NSW Fire & Rescue	000	Jindabyne: 64 562476
Cooma Hospital	02 64 553222	Jindabyne Medical: 64 571221
National Parks & Wildlife Service (NPWS)	1800 629 104	Jindabyne: 64 505555
Roads and Maritime	Traffic incidents 131 700	
Environmental Protection Authority Environment Line	131 555	
NRMA Road Service	132 132	

CONCLUSION

After consideration of all planning instruments that apply to the land, potential constraints and analysis of environmental impacts, this Statement of Environmental Effects demonstrates the suitability of the proposed development for the site and locality.

The proposed development is deemed to be of positive influence environmentally, economically and socially.