


CONTENTS

00. COVER PAGE
01. SCOPE OF WORKS
02. LOCATION & SITE PLAN
03. FOOD PREMISES & NOTE
04. FINISHES SCHEDULE
05. EXISTING PLAN
06. PROPOSED PLAN
07. KITCHEN PLAN : DETAIL
08. REFLECTIVE CEILING PLAN
09. ELECTRICAL PLAN
10. HYDRAULIC PLAN
11. CORE HOLE PLAN
12. SHOP FRONT ELEVATION A
13. ELEVATION B
14. ELEVATION C
15. ELEVATION D
16. ELEVATION E
17. SECTION F & F'
18. SECTION G & G'
19. GRAPHIC WORKS
20. PERSPECTIVE - THE VIEW FROM COUNTER
ATTACHED PLAN - THE LOCATION OF BUILDING WASTE AREA

KOKORO Sushi Bar

RETAIL 02, 8 AUSTRALIA AVE

SYDNEY OLYMPIC PARK



Sydney Olympic Park Authority  
7 Fittes Drive, Sydney Olympic Park NSW 2127

Issued under the Environmental, Planning and Assessment Act 1979

Approved Development Application No 28-03-2010

granted on the 6/4/2010 subject to any conditions contained in the notice of determination.

Signed [Signature] Date 6/4/2010

PROJECT		KOKORO Sushi Bar	
LOCATION		RETAIL 02, 8 AUSTRALIA AVE	
		SYDNEY OLYMPIC PARK	
TITLE		COVER PAGE	

SCALE		1 : 50	
DRAWN BY		SH LEE	
CHECK BY		S LEE, SM YOO	
START DATE		05 / 03 / 2010	
ISSUE		B	

REV		DATE		DESCRIPTION	
A		05/03/2010		PRELIMINARY DWG	
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SCOPE OF WORKS

CONSTRUCTION WORKS ASSOCIATED WITH FIT OUT OF GROUND FLOOR RETAIL 02, 8 AUSTRALIA AVE, HOMERUSH BAY  
INTERIOR OF THE PROPOSED SPACE

DINING AREA

- INSTALLATION OF NEW SET CEILING IN WHOLE AREA.
- INSTALLATION OF NEW SUSHI BAR (CUSTOMISED SUSHI CONVEYER BELT).
- NEW PAINT SHOULD BE APPLIED ON EXISTING AND NEW WALLS.
- INSTALLATION OF NEW DOWN LIGHTS, EXIT SIGN, ACCESS PANELS, A/C, AND VENTILATION

KITCHEN

- INSTALLATION OF NEW COMMERCIAL NON-SLIP TILE WITH COVING FLOOR AND WALL TILES
- INSTALLATION OF NEW SET CEILING WITH MOISTURE RESISTANT PLASTER BOARD
- INSTALLATION OF NEW KITCHEN SOLID WALL
- INSTALLATION OF NEW S/S FIN. ON EXISTING WALL AND NEW SOLID WALL
- NEW FULL HEIGHT PARTITION SHOULD BE INSTALLED IN KITCHEN.
- INSTALLATION OF NEW KITCHEN EQUIPMENTS REFER TO KITCHEN CONSULTANT.
- NEW FLUORESCENT LIGHTS, DOWN LIGHTS, EXIT SIGN, ACCESS PANELS, A/C, VENTILATION, HOOD SHOULD BE INSTALLED.

SERVICE

- INSTALLATION OF NEW VENTILATION & EXHAUST THROUGHOUT KITCHEN
- INSTALLATION OF NEW PLUMBING IN KITCHEN
- INSTALLATION OF NEW GAS & ELECTRICAL, REFER TO CONSULTANT
- INSTALLATION OF NEW LIGHTS, EXIT SIGN, ACCESS PANELS, A/C, VENTILATION, HOOD SHOULD BE INSTALLED.
- INSTALLATION OF NEW ELECTRICAL OUTLETS - D, GPO, DATA, TELEPHONE LINE AND FAX



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IMPORTANT NOTES

ELECTRICIAN TO ENSURE THE DESIGN OF THE LIGHTING FOR THE FITOUT USES LESS THAN 20 WATTS FOR SQUARE METRE USING MAXIMUM ILLUMINATION POWER DENSITY CALCULATIONS IN ACCORDANCE WITH PART J6.2 OF THE BCA. AN INSTALLATION CERTIFICATE FROM A LICENSED ELECTRICIAN AS ABOVE MUST BE PROVIDED UPON COMPLETION OF WORKS.

ALL DIMENSIONS IN THIS DRAWING ARE INDICATIVE ONLY. FITOUT CONTRACTORS MUST CONFIRM ANY MEASUREMENTS ON SITE PRIOR TO COMMENCING FITOUT

GENERAL NOTES

ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.

CONTRACTOR TO ENSURE CONSISTENCY BETWEEN SIMILAR MATERIAL IS MAINTAINED.

PREPARE & MAKE GOOD ALL SURFACES & SUBSTRATE AS REQUIRED TO RECEIVE NEW FINISHES AS PER MANUFACTURERS SPECIFICATION.

ALL SUBSTRATES FOR JOINERIES TO BE MDX UNLESS OTHERWISE NOTED.

PROVIDE NEW WATERPROOF MEMBRANE FOR ALL WALL & FLOOR IF REQUIRED.

USE ADHESIVES, FASTENERS AND FIXINGS WITHOUT SPLITTING OR DAMAGING MATERIALS.

FINISH ALL EXPOSED EDGES OF THE UNITS WITH EDGE STRIPS TO MATCH THE FACES, UNLESS OTHERWISE NOTED.

INSTALL ALL FINISHES & SYSTEMS SPECIFIED AS PER MANUFACTURERS SPECIFICATION.

EACH DRAWINGS TO BE READ IN CONJUNCTION WITH FINISH SCHEDULE & SPECIFICATION.

STRUCTURAL NOTES

ENGINEERS CERTIFICATE IS REQUIRED TO VERIFY STRUCTURAL ADEQUENCY PRIOR TO CONSTRUCTION.

PROVIDE STRUCTURAL ENGINEERS CERTIFICATION PRIOR TO CONSTRUCTION FOR ALL STRUCTURAL WORK AS OUTLINED IN 'BCA' & 'AUSTRALIAN STANDARD'.

ELECTRICAL NOTES

ALL ELECTRICAL WORK TO BE CERTIFIED BY ELECTRICAL ENGINEER PRIOR TO CONSTRUCTION.

ALL WIRING & CONDUIT TO BE CONCEALED. NO EXPOSED POWER POLE ALLOWED.

CEILING NOTES

THIS IS AN INDICATION. REFLECTIVE CEILING PLAN ONLY. ALL FIRE PROTECTION & MECHANICAL LAYOUT TO BE VERIFIED BY CERTIFIED ENGINEERS ACCORDINGLY.

ALL WIRING & CONDUIT TO BE CONCEALED. NO EXPOSED POWER POLE ALLOWED.



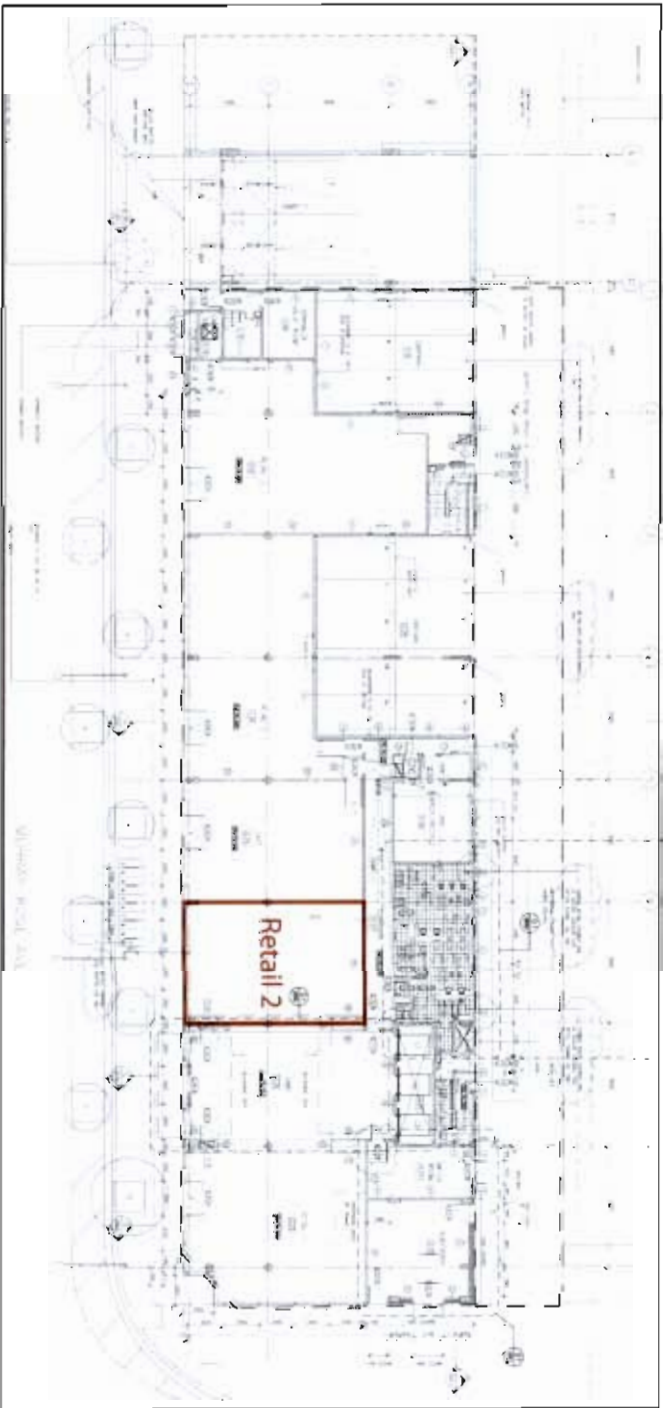
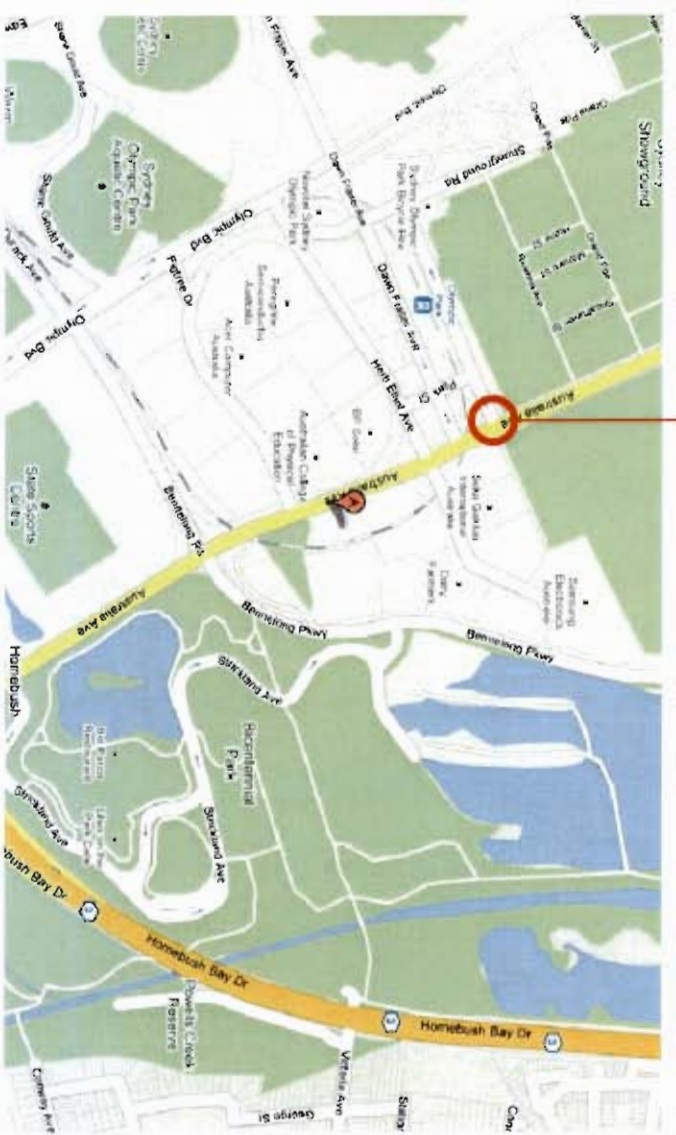
ABJ GROUP INTERNATIONAL PTY LTD  
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www.abj.com.au

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PROJECT	KOKORO Japanese Restaurant				
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK				
TITLE	SCOPE OF WORKS				
	SCALE	1 : 50	REV	DATE	DESCRIPTION
	DRAWN BY	SH LEE	A	05/03/2010	PRELIMINARY DWG
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	START DATE	05 / 03 / 2010			
	ISSUE	B			

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8 AUSTRALIA AVE



Sydney Olympic Park Authority  
7 Figure Drive, Sydney Olympic Park NSW 2127

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Signed [Signature] Date 6/4/2010

1 LOCATION PLAN

SCALE 1: 50

1 SITE PLAN

SCALE 1: 50



PROJECT	KOKORO Sushi Bar	SCALE	1: 50	REV	DATE	DESCRIPTION
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK	DRAWN BY	SH LEE	A	05/03/2010	PRELIMINARY DWG
TITLE	LOCATION & SITE PLAN	CHECK BY	S LEE, SM YOO	B	12/03/2010	ISSUE FOR APPROVAL
		START DATE	05/03/2010			
		ISSUE	B			

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7501 AND RELEVANT WORKS  
STATUTORY AND LOCAL GOVERNMENT  
AS APPLICABLE. NO PART OF THIS  
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www.aigroup.com

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## NOTE

The toilet is if required comply with the Australian standard 4674-2005 part 5.2, 1(b) that requires the toilet facilities to be provided with self-closing door and mechanical exhaust system that operate when the sanitary compartment is in use and for at least 30 seconds after the cubicle is vacated.

ALL INSTALLATIONS COMPLY WITH FOLLOWING CODES & REGULATION  
- NATIONAL CODE FOR THE CONSTRUCTION AND FITOUT OF FOOD PREMISES PUBLISHED BY THE AUSTRALIAN INSTITUTE OF ENVIRONMENTAL HEALTH (THE CITY'S FOOD PREMISES CODE)  
- FOOD SAFETY STANDARD 3.2.3 (FOOD PREMISES AND EQUIPMENT)

NOTE  
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- FOOD SAFETY STANDARD 3.2.3 (FOOD PREMISES AND EQUIPMENT)

## Waste Storage and Handling Facilities

- Building Waste Area as noted as attached plan - DWG No 21
- Provision of garbage room - A garbage room must be provided in a convenient location on the premises for the storage of garbage and recyclable materials.
- Construction of garbage rooms - All garbage rooms must be constructed in accordance with the following requirements:
  - (a) The room must be of adequate dimensions to accommodate all waste containers, and any compaction equipment installed, and allow easy access to the containers and equipment for users and servicing purposes.
  - (b) The floor must be constructed of concrete finished to a smooth even surface, covered to a 25mm radius at the intersections with the walls and any exposed plinths, and graded to a floor waste connected to the sewerage system.
  - (c) The floor waste must be provided with a fixed screen in accordance with the requirements of Sydney Water Corporation.
  - (d) The walls must be constructed of brick, concrete blocks or similar solid material cement rendered to a smooth even surface and painted with a light coloured washable paint.
  - (e) The ceiling must be constructed of a rigid, smooth-faced, non-absorbent material and painted with a light coloured washable paint.
  - (f) The doors must be of adequate dimensions to allow easy access for servicing purposes and must be finished on the internal face with a smooth-faced impervious material.
  - (g) Any fixed equipment must be located clear of the walls and supported on a concrete plinth at least 75mm high or non-corrosive metal legs at least 150mm high.
  - (h) The room must be provided with adequate natural ventilation direct to the outside air or an approved system of mechanical ventilation.
  - (i) The room must be provided with adequate artificial lighting; and
  - (j) A hose cock must be provided in or adjacent to the room to facilitate cleaning.



Sydney Olympic Park Authority  
7 Figtree Drive, Sydney Olympic Park NSW 2127

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Contained in the notice of determination

## Food Premises

- Construction and fit-out of food premises - The construction and fit-out of all new food premises, and renovations or alterations to any existing food premises, must comply with the requirements of:
  - (a) Food Safety Standard 3.2.3 Food Premises and Equipment; and
  - (b) Australian Standard AS 4674 - 2004 Design, construction and fit-out of food premises.
- Construction of walls - The walls of the premises must be constructed of brick, concrete blocks, preformed panels filled with suitable material or other solid materials.
- Wall finishes in food preparation areas - The walls in food preparation areas must be finished with glazed tiles, stainless steel or aluminium sheeting, laminated thermosetting plastic sheeting, polyvinyl sheeting with welded seams or similar impervious material.
- Wall finishes in other areas - Wall finishes in areas used for the storage of open food (including cool rooms must meet the requirements for wall finishes in food preparation areas. In other areas, including storage rooms for packaged foods, whole fruits and vegetables, and equipment, the walls must be finished with an impervious material that is suitable for the use of the area.
- Fixing of wall finishes - The wall finishes must be adhered directly to the wall to provide a smooth even surface free of bubbles, ledges, fixing screws, open joints, cracks or crevices.
- Floor finishes in other areas - Floors in storage areas for open food (including cool rooms) must meet the requirements for floors in food preparation areas. In other areas, including storage rooms for packaged goods, whole fruits and vegetables, and equipment, the floors must be finished to an even surface with an impervious material that is suitable for the use of the area.
- Covering - In food preparation areas and areas where wet cleaning is carried out the floors must be covered at the intersections with the walls and any exposed plinths.
- Floors to be graded to floor wastes - In areas where liquids are likely to be surcharged onto the floor or wet cleaning is carried out the floors must be graded to floor wastes connected to the sewerage system. (Trade waste licence by operator or retail space)
- Basket trap - All drainage from sinks and floor wastes must pass through a basket trap in accordance with the requirements of Sydney Water Corporation. (Trade waste licence by operator or retail space)
- Construction of ceilings - Ceilings in food preparation and storage areas must be constructed of painted plasterboard or other suitable impervious material finished to a smooth even surface free of holes, open joints, cracks or crevices.
- Drop-in panel ceilings - Drop-in panel ceilings are not permitted over food preparation areas and areas where open food is displayed or served.
- External window and door openings - All external window and door openings must be fitted with fly-proof screens or self-closing fly proof doors unless other suitable means are employed to keep the premises free from flies.
- Insect control devices - Insect control devices must not be located over areas where exposed food is displayed or handled.
- Light fittings - Light fittings in areas where exposed food is displayed or handled must be designed and constructed:
  - (a) To facilitate easy cleaning and prevent the accumulation of dust or the harborage of pests; and
  - (b) Prevent the contamination of food if the globe or tube shatters.
- Pipes, conduits and electrical wiring - Where possible all service pipes, conduits and electrical wiring must be concealed in floors, plinths, walls or ceilings. Alternatively, service pipes and conduits may be fixed on brackets at least 25mm clear of any adjacent vertical surface and at least 100mm clear of any adjacent horizontal surface.
- Hand washing facilities - Hand basins must be provided where exposed food is handled, in equipment washing areas and in or adjacent to toilet cubicles. The hand basins must be readily accessible, of a size that allows easy and effective hand washing, and fitted with hands-free taps and a common spout for the supply warm running water.
- Hand drying facilities - A towel dispenser that dispenses single-use paper towels or other suitable hand drying facilities must be provided at each hand basin.
- Facilities for cleaning and sanitising equipment - A dish washing machine and/or adequate sinks must be provided on the premises for washing and sanitising equipment.

- Hot and cold water supplies - All facilities for cleaning and sanitising must be supplied with hot and cold running water and be connected to the sanitary drainage system. Sinks must be provided with water at a temperature of not less than:

- (a) 45°C for washing operations; and
- (b) 80°C if the sink is used for hot water sanitising.

- Sinks used for hot water sanitising - Any sink used for hot water sanitising must be provided with a heating element capable of maintaining the water at 80 °C and a ragging basket.

- Loading, drainage and drying space at sinks - Adequate space must be provided adjacent to all sinks for equipment waiting to be cleaned and for draining and/or drying cleaned equipment.

- Dish washing machines - Any dish washing machine installed on the premises must be designed so that the rinse cycle only operates when the rinse water is at the required sanitising temperature.

- Hose connections - Hose connections must be provided on the premises where floors or equipment are to be hosed.

- Design and construction of fixtures, fittings and equipment - All fixtures, fittings and equipment must be designed and constructed so as to permit easy and effective cleaning, using materials that are impervious and suitable for their intended use.

- Stainless steel construction - All counter tops, benches and shelving which are likely to come into direct contact with food must be constructed of stainless steel.

- Doors of cupboards and cabinets - Sliding doors on cupboards and cabinets must be hung from the top or the bottom guides or runners must terminate at least 25mm from each end of the door opening.

- Hot and cold food appliances - Every appliance used for the storage or display of hot or cold food must be capable of maintaining the temperature of the food at:

- (a) 80°C or above (in the case of hot food); or
- (b) 5 °C or below (in the case of cold food).

- Support of fixtures, fittings and appliances - All fixtures, fittings and appliances must be supported on suitable wheels, plinths, legs, brackets or framework.

- Wheels and castors - Wheels or castors may be used to support fittings and appliances subject to the following requirements:

- (a) The wheels or castors must adequately support and permit easy movement of the fitting or appliance when fully loaded;
- (b) Sufficient space must be available to move the fitting or appliance to provide access for cleaning;
- (c) The wheels or castors must incorporate suitable locking devices.

- Plinths - Plinths must be constructed of solid concrete at least 75mm high and recessed under fittings and appliances to provide a toe space of not more than 50mm.

- Legs - Legs must be constructed of solid concrete at least 75, high and recessed under fittings and appliances to provide a toe space of not more than 50mm.

- Appliances - Appliances must be constructed of non-corrosive solid or tubular metal or moulded plastic and be designed and securely fixed so that there is:

- (a) A clear space of at least 150mm between the floor and the underside of the fitting or appliance; and
- (b) At least 25mm clearance between the legs and any adjacent walls or vertical surfaces.

- Brackets - Brackets must be constructed of non-corrosive solid or tubular metal and be securely fixed so that there is a clear space of at least 150mm between the floor and the underside of the fixture, fitting or appliance.

- Framework supports - Framework supports must be constructed of non-corrosive solid or tubular metal and be designed and fixed in such a manner that easy access is available for cleaning the framework and adjacent surfaces.

- Tubular metal supports - Where tubular metal is used for legs, brackets or framework supports the open ends must be capped or sealed to prevent the access of pests.

- Installation of fixtures, fittings and appliances - Adequate clear space must be provided between fixtures, fittings and appliances and any adjacent walls to permit easy access for cleaning or any crevice formed must be effectively sealed with a suitable sealant to prevent the collection of refuse.

- Cool rooms and freezer rooms - All cool rooms and freezer rooms must be designed and constructed in accordance with the requirements of the Australian Standard AS 4674-2004 Design, construction and fit-out of food premises.

- The wall and ceiling surfaces must be finished with a smooth-faced impervious material (e.g. non-corrosive aluminium, stainless steel or polyester sheeting) adhered directly to the insulating core, and must be neatly cut and joined to provide a tight water resistant seal.

- The floor must be constructed of concrete at least 75mm thick, graded to the doorway, covered at the intersections with the walls and finished with an impervious material.

- The room must be capable of being opened from inside the room at all times without the use of a key.

- The room must be fitted with an alarm device that is only operable from inside the room and is clearly suitable outside room.

- The room must be fitted with an external temperature gauge accurate to +/-1 °C to enable the temperature inside the room to be monitored.

- Storage facilities - Adequate facilities must be provided on the premises for the storage of all food stuffs, equipment, utensils, spare clothing, packaging materials, cleaning products and other articles used on the premises.

- Staff clothing and personal effects - Change rooms or lockers must be provided outside food handling Food Premises



A&I GROUP INTERNATIONAL PTY LTD  
SUITE 4/2 EAST ST FIVE DOCK NSW 2046  
TEL 9712 8881 FAX 9712 8888  
info@ai-group.com  
www.ai-group.com

PROJECT **KOKORO Sushi Bar**  
SIGNED *[Signature]* DATE *28-05-2010*  
LOCATION **RETAIL G2, 8 AUSTRALIAN AVE SYDNEY OLYMPIC PARK**

TITLE **FOOD PREMISES & NOTE**

SCALE	1 : 50	REV	DATE	DESCRIPTION
DRAWN BY	SH LEE	A	06/03/2010	PRELIMINARY DWG
CHECK BY	S LEE, SM YOO	B	12/03/2010	ISSUE FOR APPROVAL
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ISSUE	B			

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CONSTRUCTION ALL WORKS TO BE COMPLY WITH ALL THE OCCUPATIONAL HEALTH AND SAFETY ACT 2001 AND REGULATORY INSTRUMENTS  
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FINISH SCHEDULE

CODE	DESCRIPTION	SUPPLIER
------	-------------	----------

PAINT FINISH

P1	DULUX FLAT ACRYLIC "BERKSHIRE WHITE" CODE NO. S0Y7 83057	DULUX

TILE

T1	SELECTED TILE ON FLOOR '500 X 500'	BUILDER
T2	SELECTED TILE ON KITCHEN FLOOR '500 X 500'	BUILDER
T3	COVE TILE - MATCHING COVING TILE	BUILDER
T4	SELECTED TILE ON KITCHEN WALL '100 X 250, HIGH GLOSSY WHITE COLOUR'	BUILDER

CLADDING FINISH

G1	THE GRAPHIC WORK TO BE PROVIDED BY A&I GROUP INT.	
S1	SMART STONE "REGAL BLACK / HVG: 1300 888 807"	

GENERAL NOTES

ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.  
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Signed ..... Date 6/4/2010



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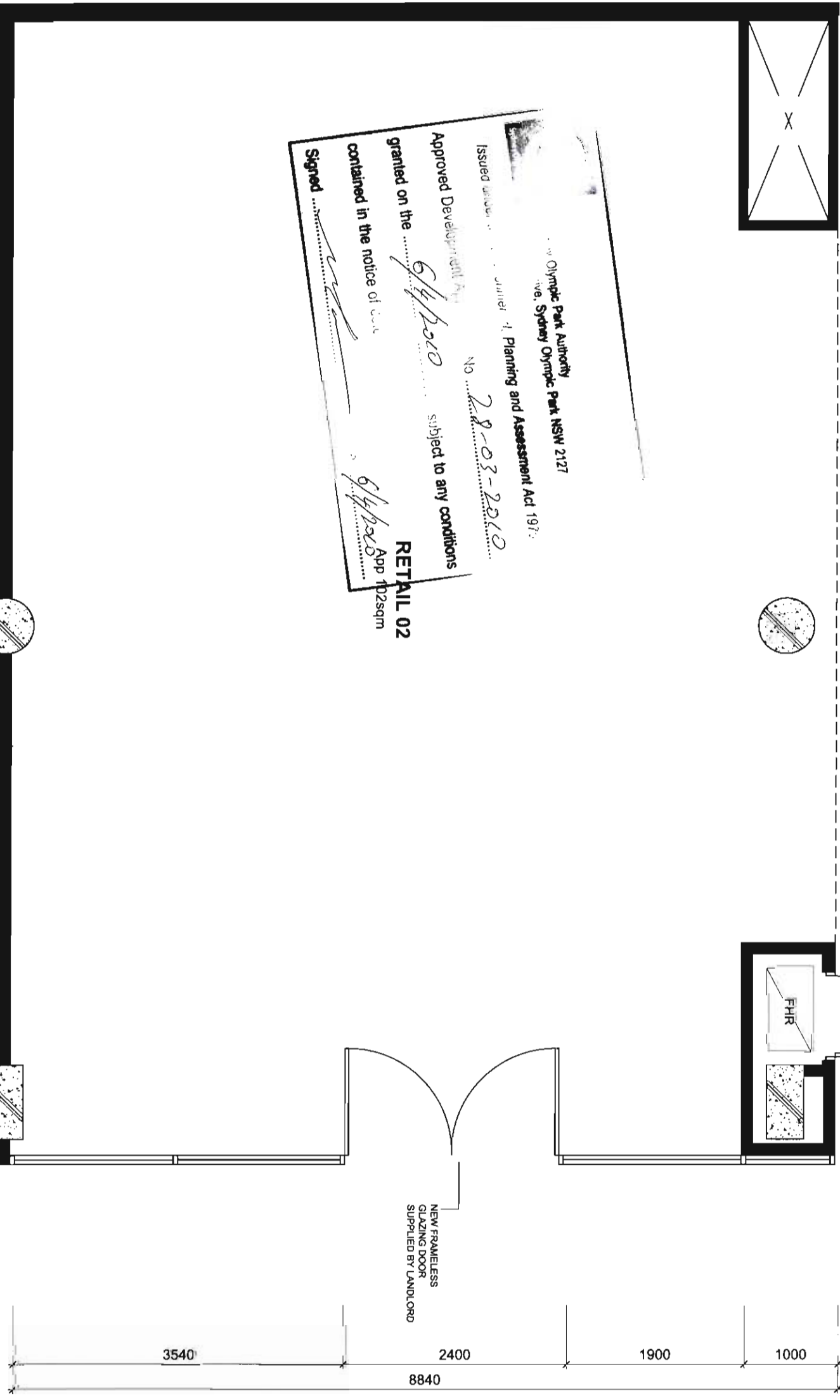
PROJECT KOKORO Sushi Bar  
LOCATION RETAIL 02, 8 AUSTRALIA AVE  
SYDNEY OLYMPIC PARK  
TITLE FINISHES SCHEDULE

SCALE	1 : 50	REV	DATE	DESCRIPTION
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2285



Olympic Park Authority  
re, Sydney Olympic Park NSW 2127  
Issued under the Planning and Assessment Act 1973  
No. 28-03-2010  
Approved Development App  
granted on the 6/4/2010 subject to any conditions  
contained in the notice of conditions  
Signed: 6/4/2010 App 102sqm  
RETAIL 02

EX. FLOOR PLAN

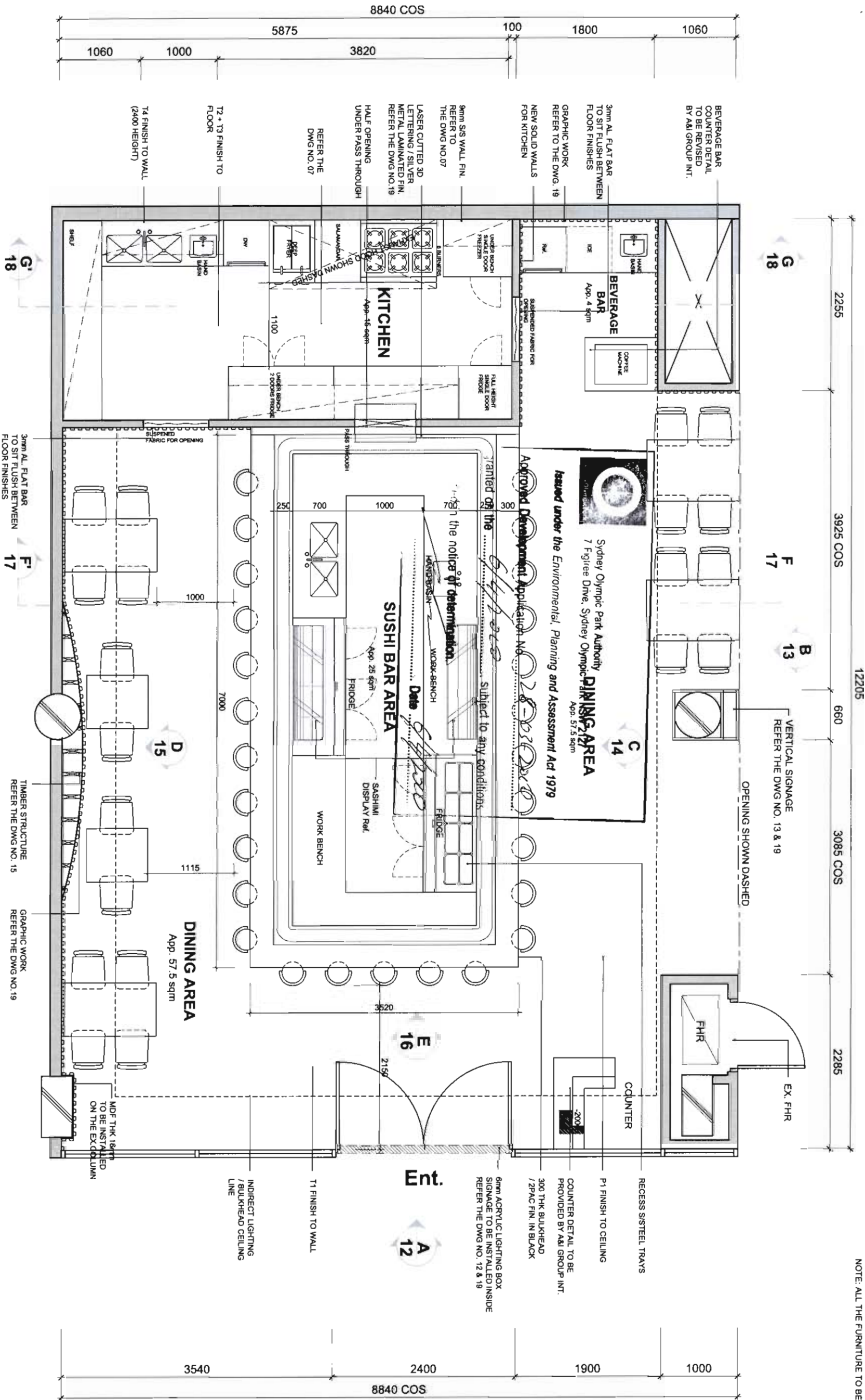
SCALE 1:50

A&I GROUP INTERNATIONAL PTY LTD  
SUITE 4/2 EAST ST FIVE DOCK NSW 2046  
TEL 9712 8581 FAX 9712 8588  
info@aii.com.au  
www.aii.com.au  
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PROJECT	KOKORO Sushi Bar	SCALE	1:50	REV		DATE		DESCRIPTION
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK	DRAWN BY	SH LEE	A		05/03/2010		PRELIMINARY DWG
		CHECK BY	\$ LEE, SM YOO	B		12/03/2010		ISSUE FOR APPROVAL
TITLE	EX. PLAN	START DATE	05/03/2010					
		ISSUE	B					

DO NOT SCALE DRAWINGS. CHECK ALL  
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SAFETY AND HEALTH ACT 1984 AND  
2001 AND RELEVANT REGULATIONS.  
ALL RIGHTS RESERVED. NO PART OF THIS  
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MANNER WITHOUT PERMISSION.





**PROPOSED FLOOR PLAN**  
 SCALE 1:50

PROJECT	KOKORO Sushi Bar		
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK		
TITLE	PROPOSED PLAN		
SCALE	1:50	REV	DESCRIPTION
DRAWN BY	SH LEE	A	PRELIMINARY DWG
CHECK BY	S LEE, SM YOO	B	ISSUE FOR APPROVAL
START DATE	05/03/2010		
ISSUE	8		

A&I GROUP INTERNATIONAL PTY LTD  
 SUITE 4/2 EAST ST, FIVE DOCK NSW 2046  
 TEL: 9712 8561 FAX: 9712 8568  
 www.aiglobal.com  
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## EQUIPMENT SCHEDULE

**BY CLIENT**

DW: DISH WASHER

**DEEP FRYER: SINGLE 2 BASKET**

## 6 BURNERS

SALAMANDAR

**UNDER FREEZER**

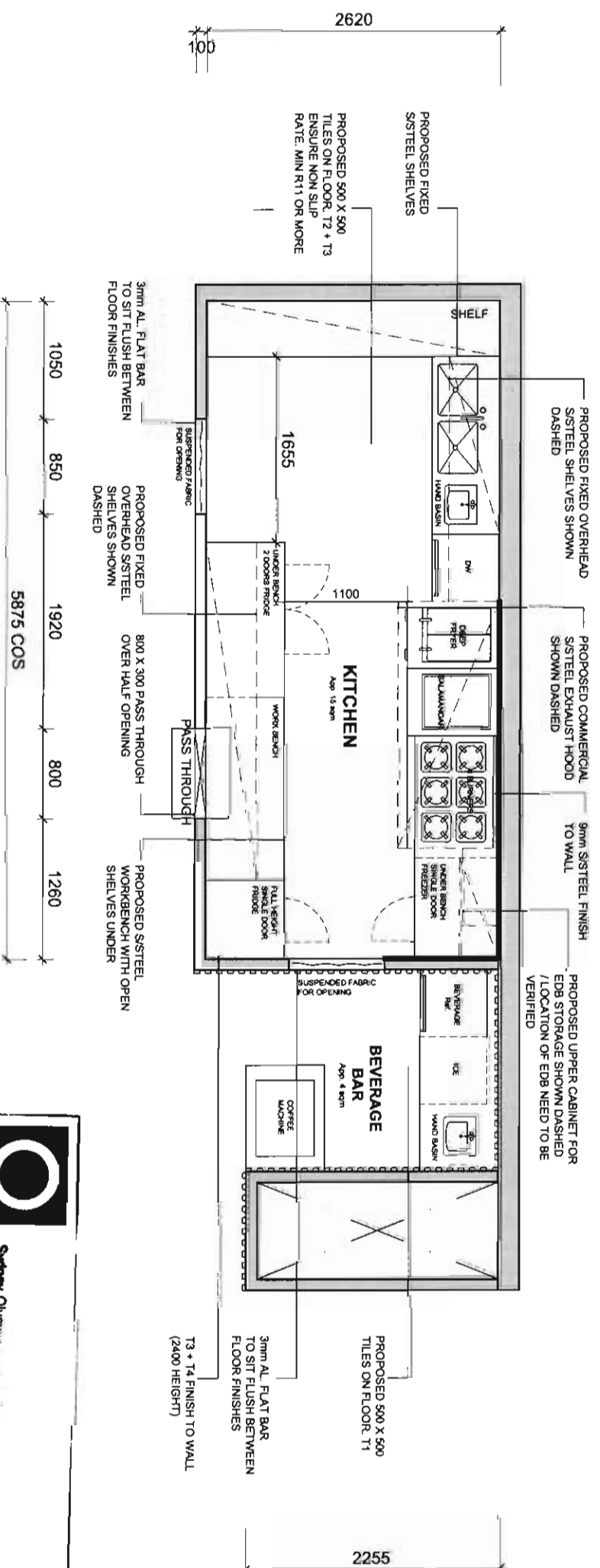
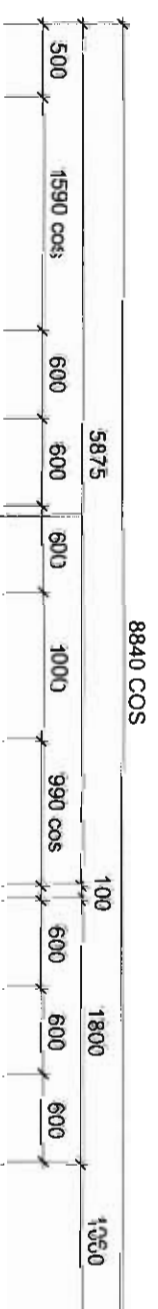
UNDER FRIDGE

**FULL HEIGHT FRIDGE**

**BEVERAGE FRIDGE**

## ICE MAKER

COFFEE MACHINE



**Sydney Olympic** 1994, 1996, 1998, 2000, 2002, 2004, 2006, 2008, 2010, 2012, 2014, 2016, 2018, 2020, 2022, 2024, 2026, 2028, 2030, 2032, 2034, 2036, 2038, 2040, 2042, 2044, 2046, 2048, 2050, 2052, 2054, 2056, 2058, 2060, 2062, 2064, 2066, 2068, 2070, 2072, 2074, 2076, 2078, 2080, 2082, 2084, 2086, 2088, 2090, 2092, 2094, 2096, 2098, 2100, 2102, 2104, 2106, 2108, 2110, 2112, 2114, 2116, 2118, 2120, 2122, 2124, 2126, 2128, 2130, 2132, 2134, 2136, 2138, 2140, 2142, 2144, 2146, 2148, 2150, 2152, 2154, 2156, 2158, 2160, 2162, 2164, 2166, 2168, 2170, 2172, 2174, 2176, 2178, 2180, 2182, 2184, 2186, 2188, 2190, 2192, 2194, 2196, 2198, 2200, 2202, 2204, 2206, 2208, 2210, 2212, 2214, 2216, 2218, 2220, 2222, 2224, 2226, 2228, 2230, 2232, 2234, 2236, 2238, 2240, 2242, 2244, 2246, 2248, 2250, 2252, 2254, 2256, 2258, 2260, 2262, 2264, 2266, 2268, 2270, 2272, 2274, 2276, 2278, 2280, 2282, 2284, 2286, 2288, 2290, 2292, 2294, 2296, 2298, 2300, 2302, 2304, 2306, 2308, 2310, 2312, 2314, 2316, 2318, 2320, 2322, 2324, 2326, 2328, 2330, 2332, 2334, 2336, 2338, 2340, 2342, 2344, 2346, 2348, 2350, 2352, 2354, 2356, 2358, 2360, 2362, 2364, 2366, 2368, 2370, 2372, 2374, 2376, 2378, 2380, 2382, 2384, 2386, 2388, 2390, 2392, 2394, 2396, 2398, 2400, 2402, 2404, 2406, 2408, 2410, 2412, 2414, 2416, 2418, 2420, 2422, 2424, 2426, 2428, 2430, 2432, 2434, 2436, 2438, 2440, 2442, 2444, 2446, 2448, 2450, 2452, 2454, 2456, 2458, 2460, 2462, 2464, 2466, 2468, 2470, 2472, 2474, 2476, 2478, 2480, 2482, 2484, 2486, 2488, 2490, 2492, 2494, 2496, 2498, 2500, 2502, 2504, 2506, 2508, 2510, 2512, 2514, 2516, 2518, 2520, 2522, 2524, 2526, 2528, 2530, 2532, 2534, 2536, 2538, 2540, 2542, 2544, 2546, 2548, 2550, 2552, 2554, 2556, 2558, 2560, 2562, 2564, 2566, 2568, 2570, 2572, 2574, 2576, 2578, 2580, 2582, 2584, 2586, 2588, 2590, 2592, 2594, 2596, 2598, 2600, 2602, 2604, 2606, 2608, 2610, 2612, 2614, 2616, 2618, 2620, 2622, 2624, 2626, 2628, 2630, 2632, 2634, 2636, 2638, 2640, 2642, 2644, 2646, 2648, 2650, 2652, 2654, 2656, 2658, 2660, 2662, 2664, 2666, 2668, 2670, 2672, 2674, 2676, 2678, 2680, 2682, 2684, 2686, 2688, 2690, 2692, 2694, 2696, 2698, 2700, 2702, 2704, 2706, 2708, 2710, 2712, 2714, 2716, 2718, 2720, 2722, 2724, 2726, 2728, 2730, 2732, 2734, 2736, 2738, 2740, 2742, 2744, 2746, 2748, 2750, 2752, 2754, 2756, 2758, 2760, 2762, 2764, 2766, 2768, 2770, 2772, 2774, 2776, 2778, 2780, 2782, 2784, 2786, 2788, 2790, 2792, 2794, 2796, 2798, 2800, 2802, 2804, 2806, 2808, 2810, 2812, 2814, 2816, 2818, 2820, 2822, 2824, 2826, 2828, 2830, 2832, 2834, 2836, 2838, 2840, 2842, 2844, 2846, 2848, 2850, 2852, 2854, 2856, 2858, 2860, 2862, 2864, 2866, 2868, 2870, 2872, 2874, 2876, 2878, 2880, 2882, 2884, 2886, 2888, 2890, 2892, 2894, 2896, 2898, 2900, 2902, 2904, 2906, 2908, 2910, 2912, 2914, 2916, 2918, 2920, 2922, 2924, 2926, 2928, 2930, 2932, 2934, 2936, 2938, 2940, 2942, 2944, 2946, 2948, 2950, 2952, 2954, 2956, 2958, 2960, 2962, 2964, 2966, 2968, 2970, 2972, 2974, 2976, 2978, 2980, 2982, 2984, 2986, 2988, 2990, 2992, 2994, 2996, 2998, 3000, 3002, 3004, 3006, 3008, 3010, 3012, 3014, 3016, 3018, 3020, 3022, 3024, 3026, 3028, 3030, 3032, 3034, 3036, 3038, 3040, 3042, 3044, 3046, 3048, 3050, 3052, 3054, 3056, 3058, 3060, 3062, 3064, 3066, 3068, 3070, 3072, 3074, 3076, 3078, 3080, 3082, 3084, 3086, 3088, 3090, 3092, 3094, 3096, 3098, 3100, 3102, 3104, 3106, 3108, 3110, 3112, 3114, 3116, 3118, 3120, 3122, 3124, 3126, 3128, 3130, 3132, 3134, 3136, 3138, 3140, 3142, 3144, 3146, 3148, 3150, 3152, 3154, 3156, 3158, 3160, 3162, 3164, 3166, 3168, 3170, 3172, 3174, 3176, 3178, 3180, 3182, 3184, 3186, 3188, 3190, 3192, 3194, 3196, 3198, 3200, 3202, 3204, 3206, 3208, 3210, 3212, 3214, 3216, 3218, 3220, 3222, 3224, 3226, 3228, 3230, 3232, 3234, 3236, 3238, 3240, 3242, 3244, 3246, 3248, 3250, 3252, 3254, 3256, 3258, 3260, 3262, 3264, 3266, 3268, 3270, 3272, 3274, 3276, 3278, 3280, 3282, 3284, 3286, 3288, 3290, 3292, 3294, 3296, 3298, 3300, 3302, 3304, 3306, 3308, 3310, 3312, 3314, 3316, 3318, 3320, 3322, 3324, 3326, 3328, 3330, 3332, 3334, 3336, 3338, 3340, 3342, 3344, 3346, 3348, 3350, 3352, 3354,

**Issued under the Environmental, Planning and Assessment Act 1979**

Approved Development Application No. 28-03-2020

6/4/2020  
subject to any conditions

Degree of determination.

Date

Date 9/4/2012

A&amp;I GROUP INTERNATIONAL PTY LTD

SUITE 4/2 EAST ST, FIVE DOCK NSW 2046

TEL 9712 8561 FAX 9712 8569

info@anida.com  
www.anids.com

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PROJECT	KOKORO Sushi Bar
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK
TITLE	KITCHEN PLAN: DE

PROJECT	KOKORO Sushi Bar	
	SCALE	1 : 50
	DRAWN BY	SH LEE
	CHECK BY	S LEE, SM YOO
LOCATION	RETAIL 02, 8 AUSTRALIA AVE	
	SYDNEY OLYMPIC PARK	
TITLE	KITCHEN PLAN: DETAIL	
	START DATE	05 / 03 / 2010
	ISSUE	8

SCALE	1 : 50
DRAWN BY	SHLEE
CHECK BY	SLEE
START DATE	05/0
ISSUE	8

REV	DATE
A	05/03
B	12/03

DESCRIPTION
PRELIMINARY DWG
ISSUE FOR APPROVAL

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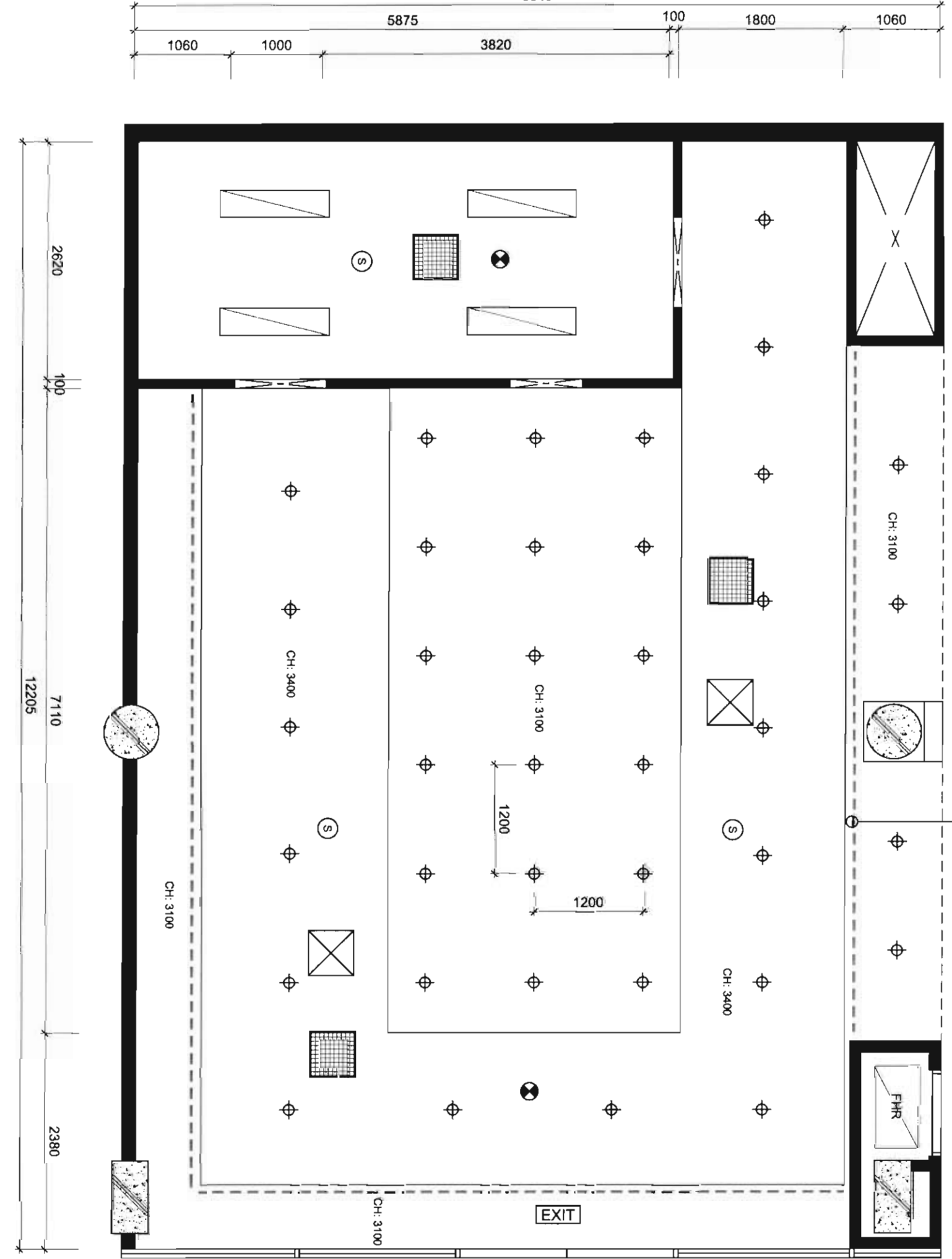
dwg no.

07



PROJECT	KOKORO Sushi Bar
LOCATION	RETAIL 02, 8 AUSTRALIA AVE HOMEBUSH BAY
TITLE	REFLECTIVE CEILING PLAN
SCALE	1 : 50
DRAWN BY	SH LEE
CHECK BY	S LEE, SM YOO
START DATE	05 / 03 / 2010
ISSUE	B
REV	A
DATE	05/03/2010
DESCRIPTION	PRELIMINARY DWG
	ISSUE FOR APPROVAL

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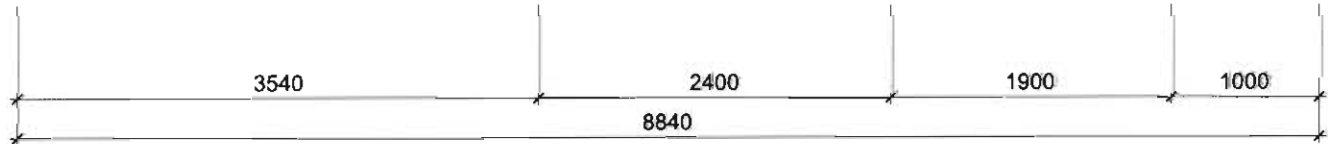
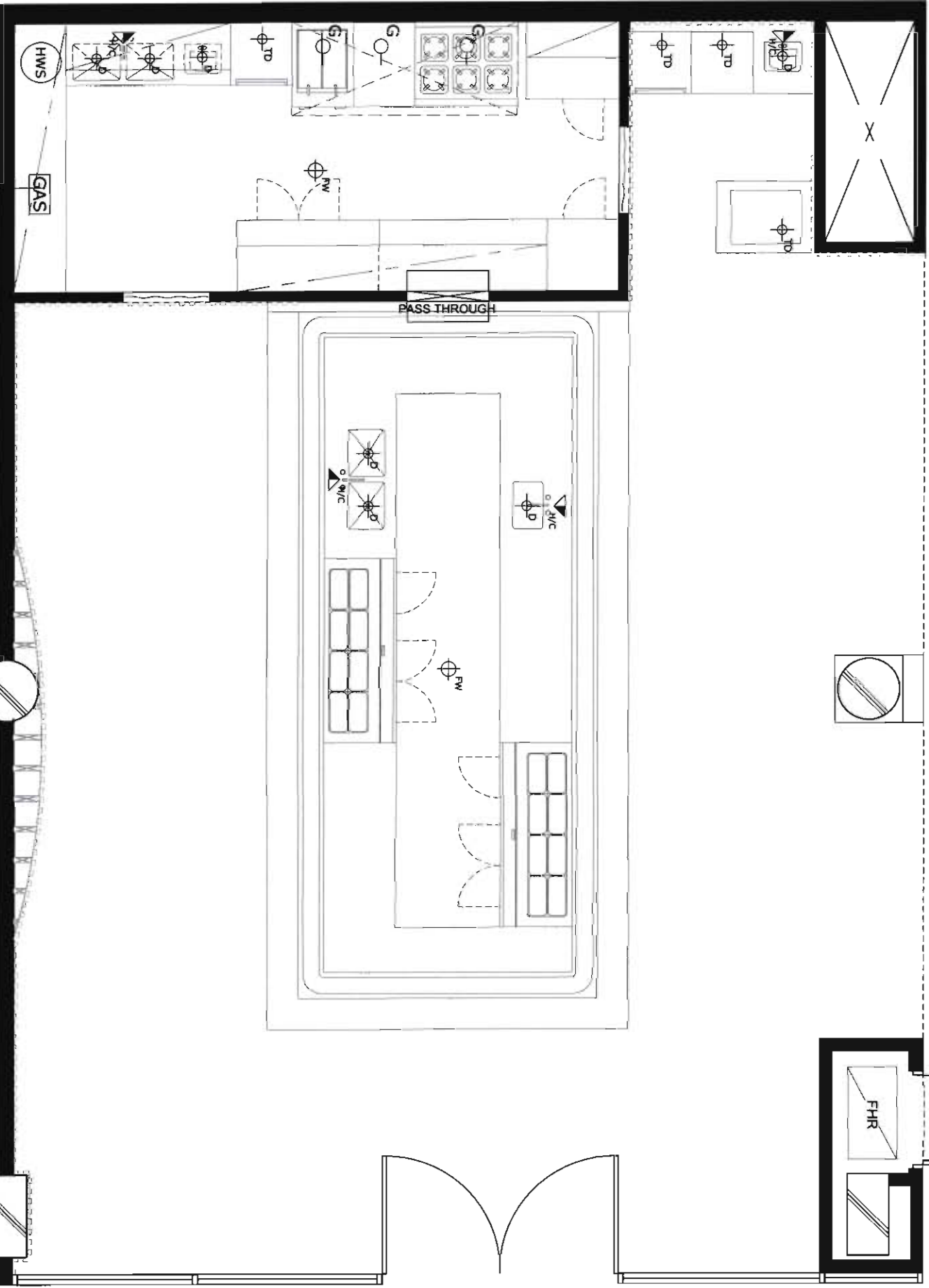
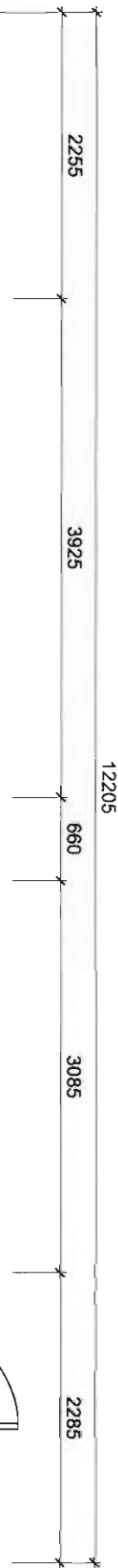
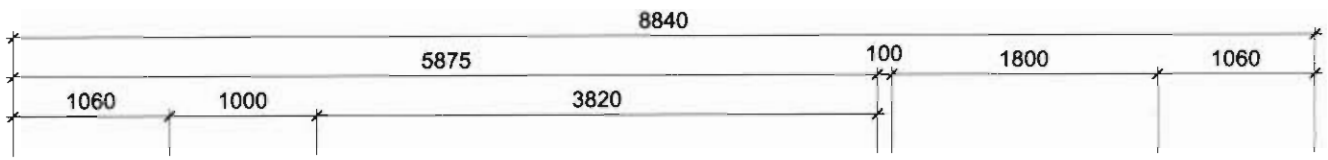
**PROPOSED RCP**  
 SCALE 1 : 50

Sydney Olympic Park Authority  
 7 Figtree Drive, Sydney Olympic Park NSW 2127  
 Issued under the Environmental, Planning and Assessment Act 1979  
 Approved Development Application No 28-03-2010  
 granted on the 6/4/2010 subject to any conditions  
 as stated in the notice of determination.  
 Date 6/4/2010

HEAT LOAD CALCULATION  
 FLOOR SPACE: 103 m<sup>2</sup>  
 HEAT OUTPUT: 2563 W  
 TOTAL HEAT LOAD: 24.8 W/m<sup>2</sup>  
 - PROPOSED LIGHTING LAYOUT COMPLIES WITH PART J OF 62 OF THE BCA

CEILING LEGEND	Qnt
RECESSED 25W DOWNLIGHT	37
RECESSED 72W FLUORESCENT LIGHT	4
SMOKE DETECTOR	
EMERGENCY LIGHT	
EXIT SIGN	
A/C SUPPLY GRILL	
A/C RETURN AIR GRILL	
LED INDIRECT LIGHT 75w/m	18M





1

# HYDRAULIC PLAN

SCALE 1: 50

A&I GROUP INTERNATIONAL PTY LTD  
SUITE 4/2 EAST ST, FIVE DOCK NSW 2046  
TEL: 02 9712 6591 FAX: 02 9712 6599  
www.aiglobal.com  
aiglobal@bigpond.com

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IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT

PROJECT	KOKORO Sushi Bar			
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK			
TITLE	HYDRAULIC PLAN			
SCALE	1: 50	REV	A	DATE
DRAWN BY	SH LEE			05/03/2010
CHECK BY	S LEE, SM YOO	B		12/03/2010
START DATE	06/03/2010			
ISSUE	B			
DESCRIPTION	PRELIMINARY DWG ISSUE FOR APPROVAL			

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dwg no. **10**

Sydney Olympic Park Authority  
7 Figtree Drive, Sydney Olympic Park NSW 2127

Issued under the Environmental, Planning and Assessment Act 1979

Approved Development Application No 28-03-2010

dated on the 6/4/2010 subject to any conditions

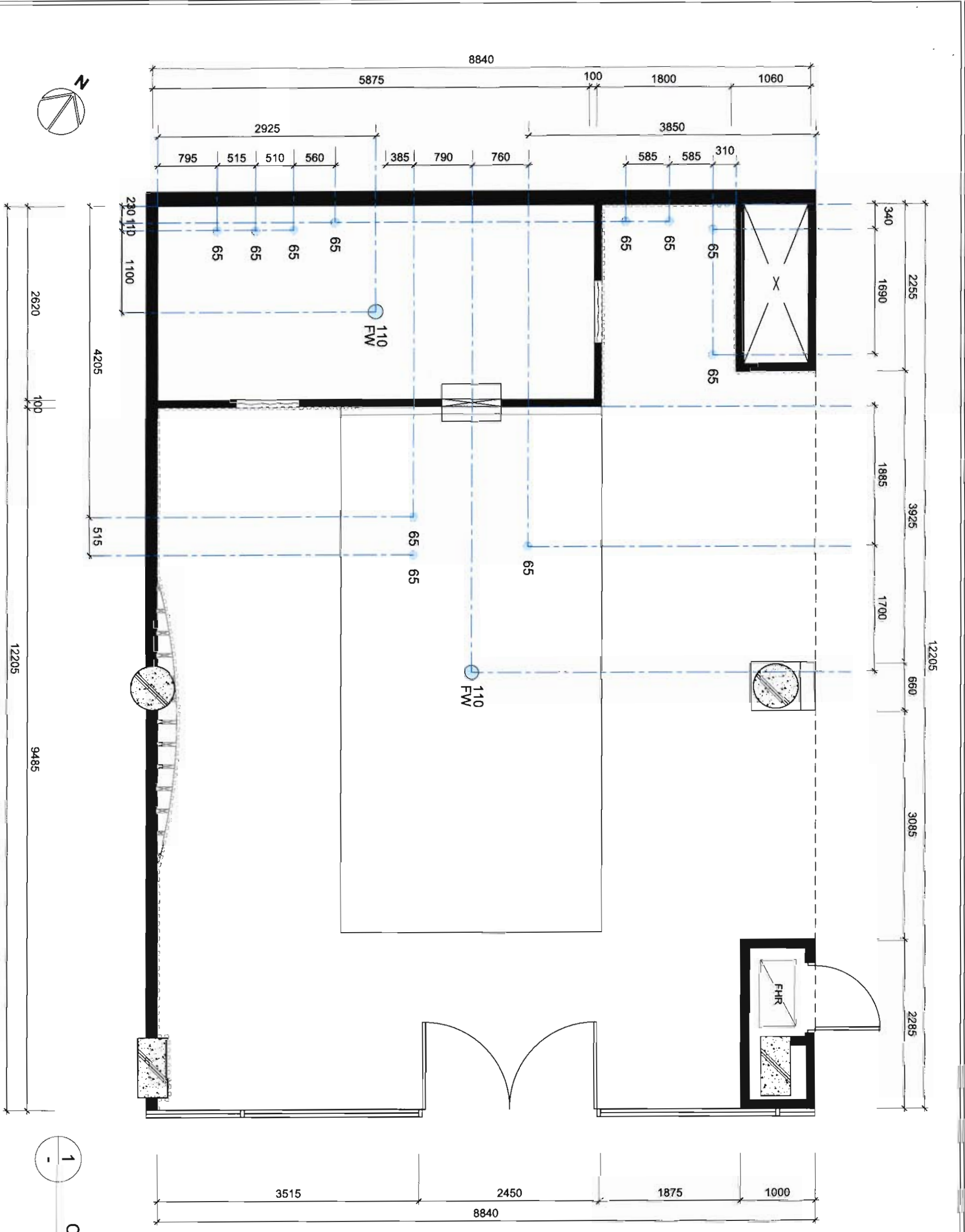
notice of determination.

Date 6/4/2010

LEGEND	
	FLOOR WASTE WITH CHROME GRATE. BUCKET TRAP FOR FOOD AS APPROPRIATE. GRADE FLOOR AS REQUIRED. 110 DIA CORE
	DRAINAGE POINT 85 DIA CORE
	TRENCH POINT 85 DIA CORE
	HOT & COLD WATER SUPPLY POINT
	HOT WATER SERVICE IN CEILING SPACE ABOVE.
	GAS METRE IN CBRD
	GAS POINT MOUNTED TO SUIT EQUIPMENT. REFER TO CLIENT FOR REQUIRED FLOW RATES. CLIENT PRIOR TO COMMENCING WORK




SCALE	1:50	REV	DATE	DESCRIPTION
DRAWN BY	SH LEE	A	05/03/2010	PRELIMINARY DWG
CHECK BY	S LEE, SM YOO	B	12/03/2010	ISSUE FOR APPROVAL
START DATE	05/03/2010			
ISSUE	B			



**1**

**CORE HOLE PLAN**

SCALE 1:50



**Sydney Olympic Park Authority**  
 7 Figtree Drive, Sydney Olympic Park NSW 2127



Issued under the Environmental, Planning and Assessment Act 1979

Approved Development Application No 28-03-2010

granted on the 6/4/2010 subject to any conditions

contained in the notice of determination.

Signed: [Signature] Date 6/4/2010

CORE HOLE SCHEDULE	
 <b>110 FW</b>	110 MM DIA
 <b>65</b>	65mm DIA

CONSULTANT SERVICE PROVIDERS WITH CLIENT PRIOR TO COMMENCING WORK





NSW 2127

Issued under the

Land Assessment Act 1974

8990

Approved Development Application No. 281-03-2000

3665

2450

2875

granted on the 6/4/2000

subject to any conditions

contained in the site of application.

EXAMINING

PROPOSED NEW SIGNAGE/  
BMM ACRYLIC LIGHTING BOX  
TO BE INSTALLED INSIDE

Signed Date 6/4/2000

FCL

LEASE LINE  
SHOWN DASHED

CEILING LINE  
SHOWN DASHED

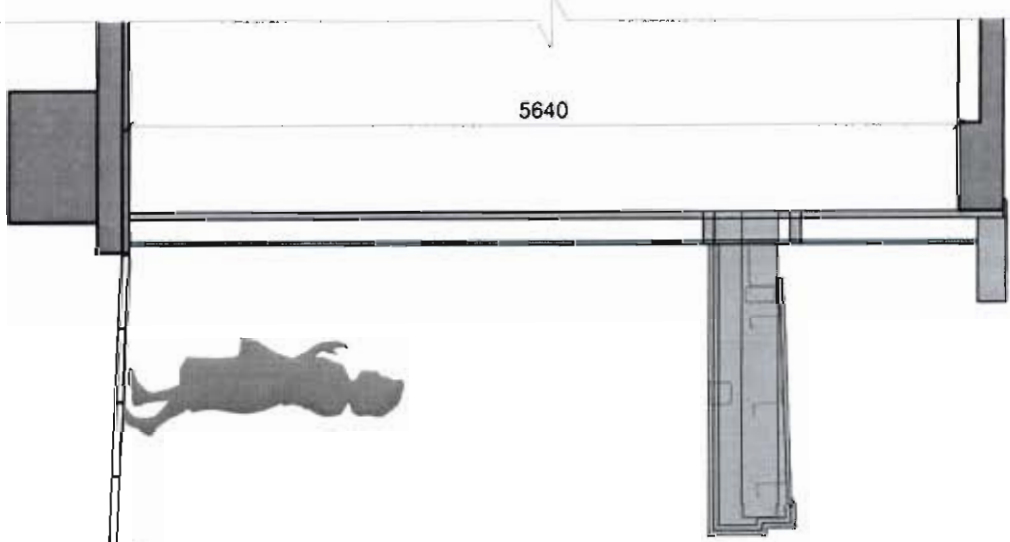
390  
2225  
5625  
6015  
3400

EX. SHOP FRONT  
GLAZING BY LANDLORD

PROPOSED NEW FRAMELESS  
GLAZING DOOR BY LANDLORD

FFL

5640

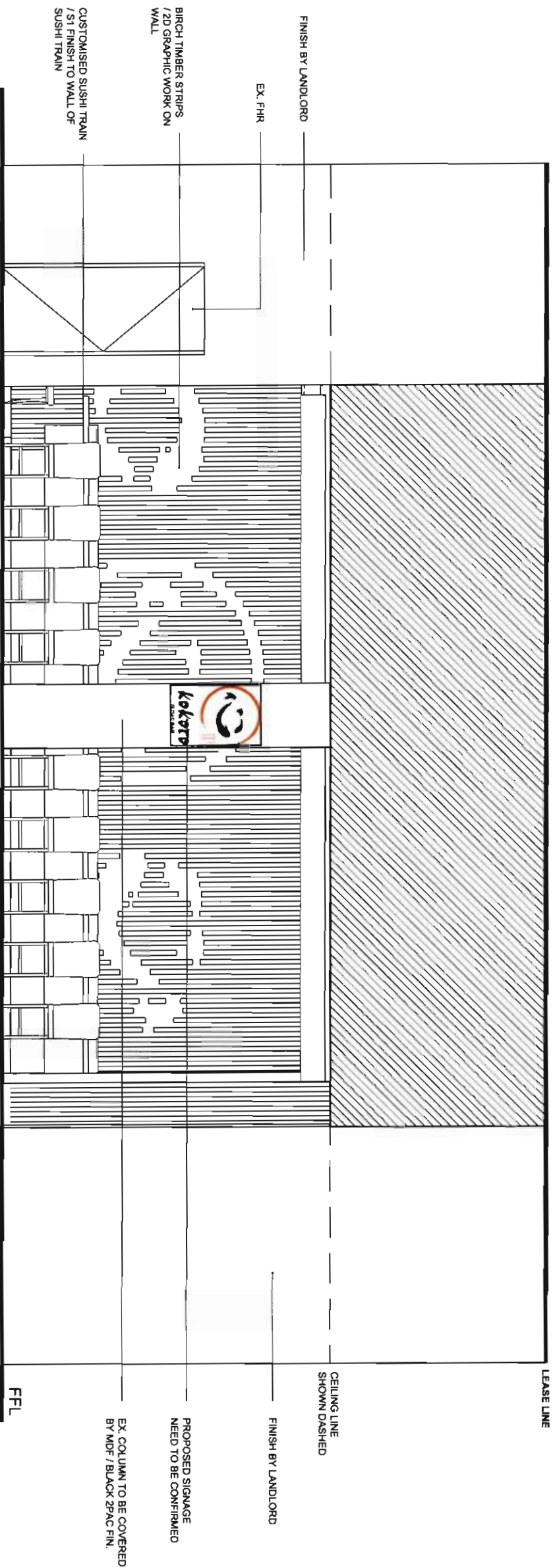


# 1 SHOPFRONT ELEVATION A

SCALE 1:50

PROJECT	KOKORO Sushi Bar						
LOCATION	RETAIL 02, 8 AUSTRALIA AVE						
	SYDNEY OLYMPIC PARK						
TITLE	SHOPFRONT ELEVATION A						
SCALE	1 : 50	REV		DATE		DESCRIPTION	
DRAWN BY	SH LEE		A	05/03/2010		PRELIMINARY DWG	
CHECK BY	S LEE, SM YOO		B	12/03/2010		ISSUE FOR APPROVAL	
START DATE	05 / 03 / 2010						
ISSUE	B						

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1  
ELEVATION B  
SCALE 1:50

Issued under the Environmental, Planning and Assessment Act 1979  
Approved Development Application No. 28-05-2000  
anted on the 28/05/2010 subject to any conditions in the notice of determination.

Date 04/06/2010


PROJECT	KOKORO Sushi Bar
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK
TITLE	ELEVATION B
SCALE	1:50
DRAWN BY	SH LEE
CHECK BY	S LEE, SM YOO
START DATE	05/03/2010
ISSUE	B
REV	A
DATE	05/03/2010
DESCRIPTION	PRELIMINARY DWG
DATE	12/03/2010
DESCRIPTION	ISSUE FOR APPROVAL

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1  
ELEVATION C  
SCALE 1: 50

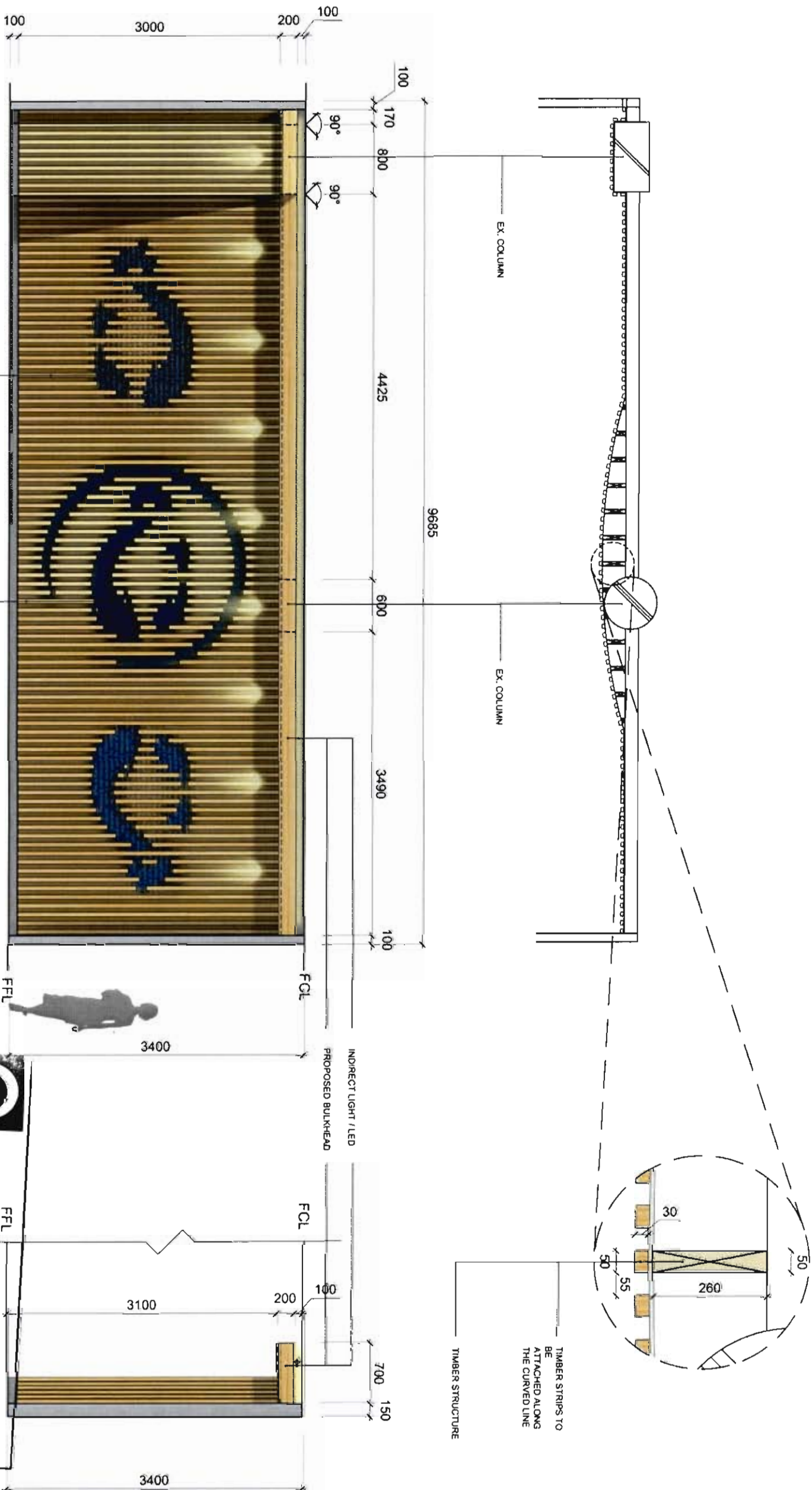
 Sydney Olympic Park Authority  
7 Figtree Drive, Sydney Olympic Park NSW 2127

Issued under the Environmental, Planning and Assessment Act 1979

Approved Development Application No 28/03/2010  
granted on the 06/05/2010 subject to any conditions  
contained in the notice of determination.

Signed  Date 06/05/2010

PROJECT	KOKORO Sushi Bar	SCALE	1: 50	REV	DATE	DESCRIPTION
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK	DRAWN BY	SH LEE	A	05/03/2010	PRELIMINARY DWG.
		CHECK BY	S LEE, SM YOO	B	12/03/2010	ISSUE FOR APPROVAL
		START DATE	05/03/2010			
TITLE	ELEVATION C	ISSUE	B			



ELEVATION D

1

SCALE 1: 50

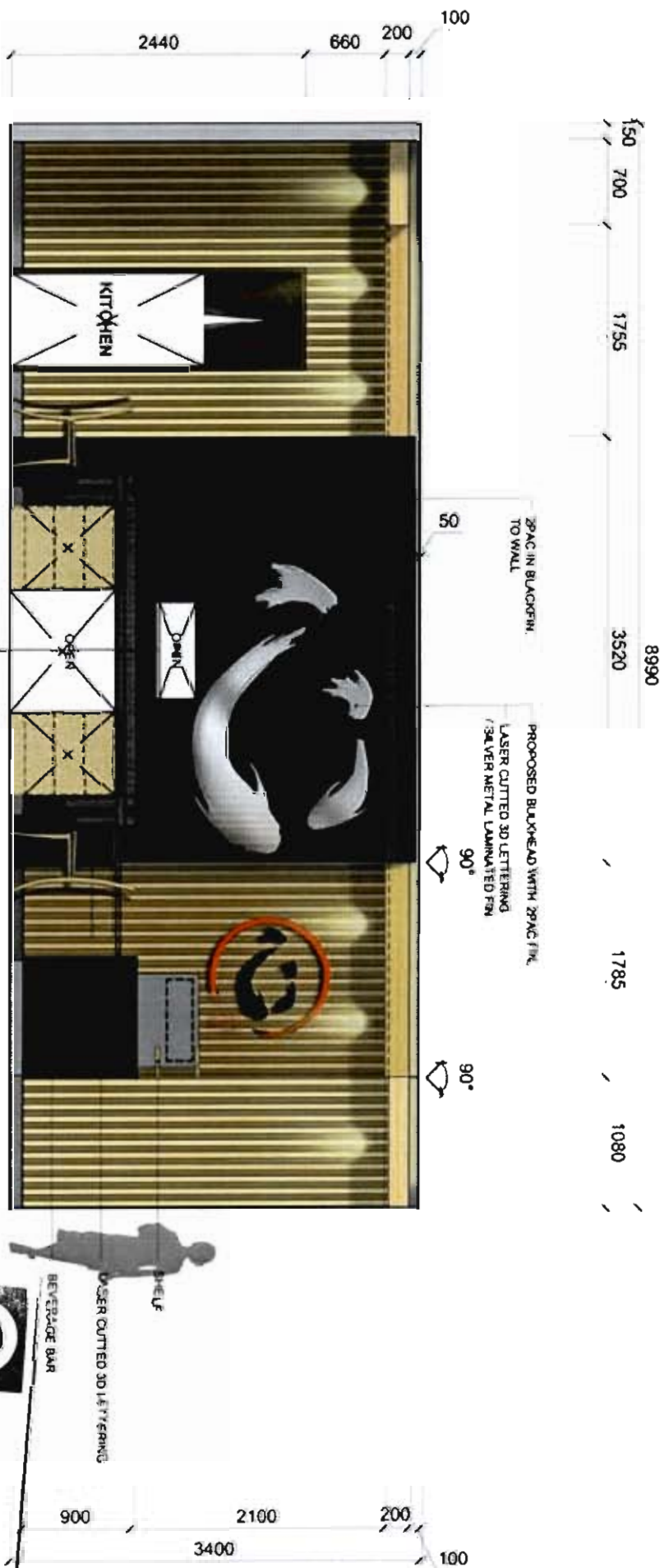
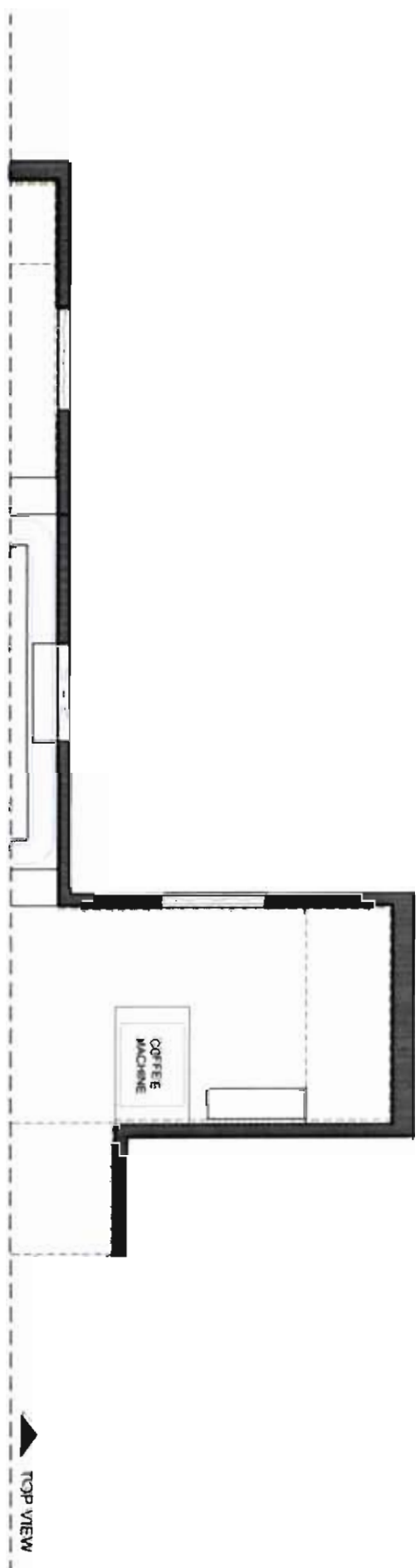
**Sydney Olympic Park Authority**  
 7 Fittes Drive, Sydney Olympic Park NSW 2127

Issued under the *Environmental, Planning and Assessment Act 1979*  
 Approved Development Application No **25-03-2010**  
 granted on the **5/4/2010** subject to any conditions  
 contained in the notice of determination.

Signed *[Signature]* Date **5/4/2010**

PROJECT	KOKORO Sushi Bar			
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK			
TITLE	ELEVATION D			
SCALE	1 : 50	REV	DATE	DESCRIPTION
DRAWN BY	SH LEE	A	05/03/2010	PRELIMINARY DWG
CHECK BY	S LEE, SM YOO	B	12/03/2010	ISSUE FOR APPROVAL
START DATE	05 / 03 / 2010			
ISSUE	B			





ELEVATION E

SCALE 1:50



Sydney Olympic Park Authority  
7 Fiddlers Drive, Sydney Olympic Park NSW 2127

Issued under the Environmental, Planning and Assessment Act 1979

Approved Development Application No 28-05-2010

granted on the 28/05/2010 subject to any conditions contained in the notice of determination.

Signed \_\_\_\_\_ Date 28/05/2010

PROJECT	KOKORO Sushi Bar	SCALE	1:50	REV		DATE		DESCRIPTION	
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK	DRAWN BY	SH LEE	A		05/03/2010		PRELIMINARY DWG	
		CHECK BY	S LEE, SAM YOO	B		12/03/2010		ISSUE FOR APPROVAL	
		START DATE	05/03/2010						
TITLE	ELEVATION E	ISSUE	8						



Sydney Olympic Park Authority  
7 Fyffree Drive, Sydney Olympic Park NSW 2127

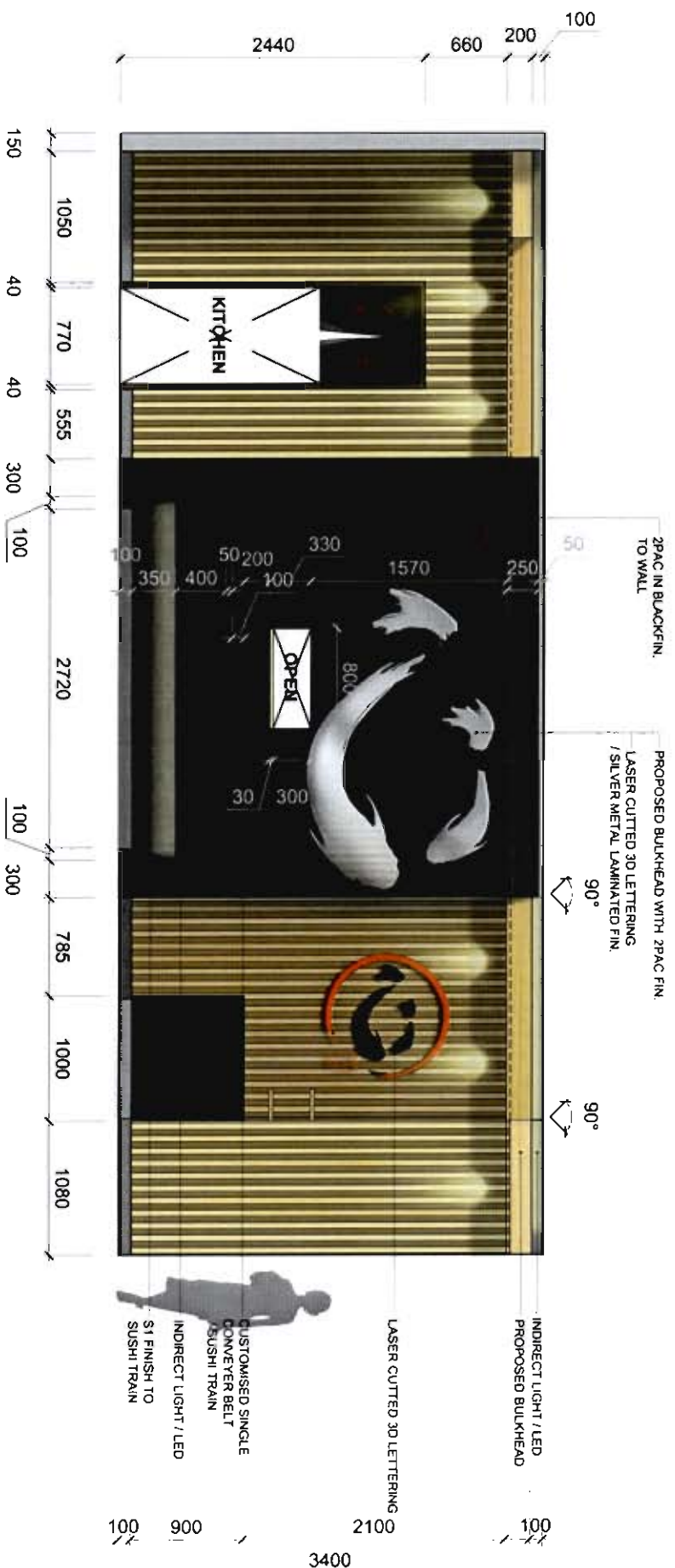
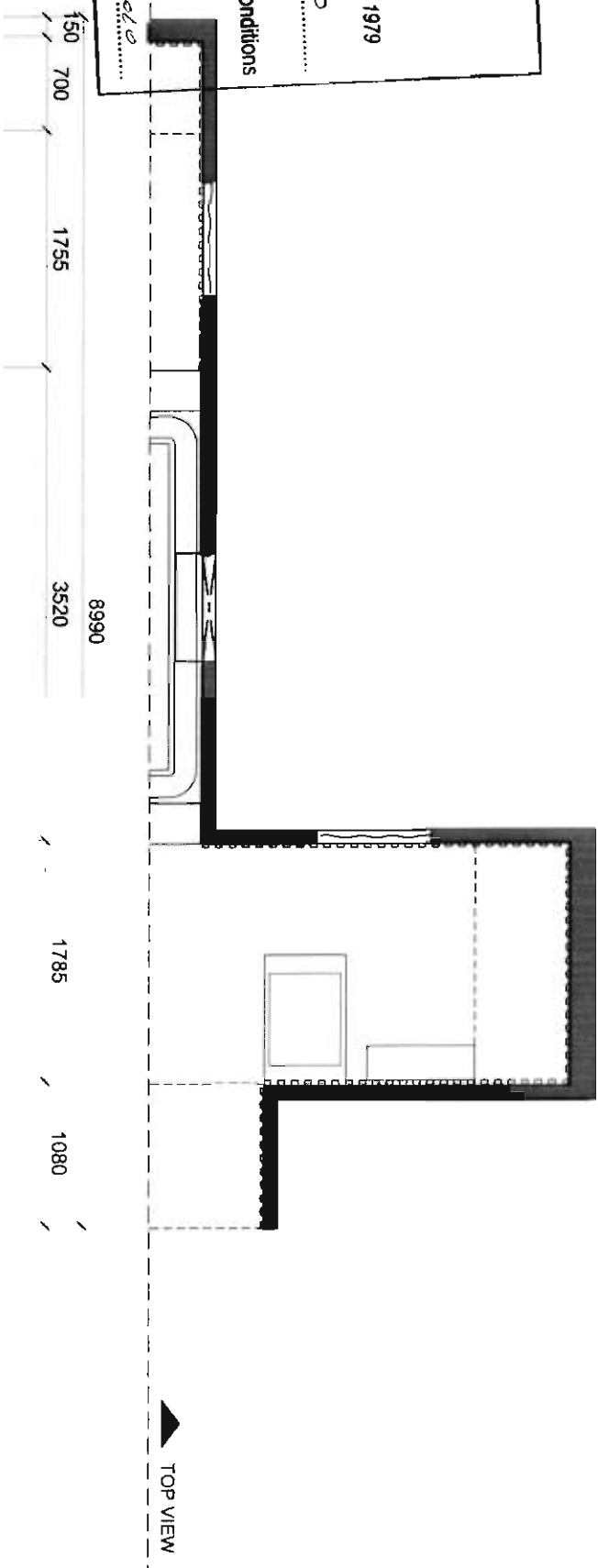
Issued under the Environmental, Planning and Assessment Act 1979

Approved Development Application No ..... 28-03-2010

granted on the ..... 6/6/2010 ..... subject to any conditions

contained in the notice of determination.

Signed ..... Date ..... 6/6/2010



# SECTION F & F'

SCALE 1: 50

PROJECT	KOKORO Sushi Bar	SCALE	1: 50	REV	DATE	DESCRIPTION
LOCATION	RETAIL D2 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK	DRAWN BY	SH LEE	A	05/03/2010	PRELIMINARY DWG
		CHECK BY	S LEE, SM YOO	B	12/03/2010	ISSUE FOR APPROVAL
		START DATE	05/03/2010			
		ISSUE	B			

A&I GROUP INTERNATIONAL PTY LTD  
SUITE 4/2 EAST ST FIVE DOCK NSW 2046  
TEL 9112 9661 FAX 9112 8589  
www.aiglobal.com  
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Sydney Olympic Park Authority  
7 Fittes Drive, Sydney Olympic Park NSW 2127

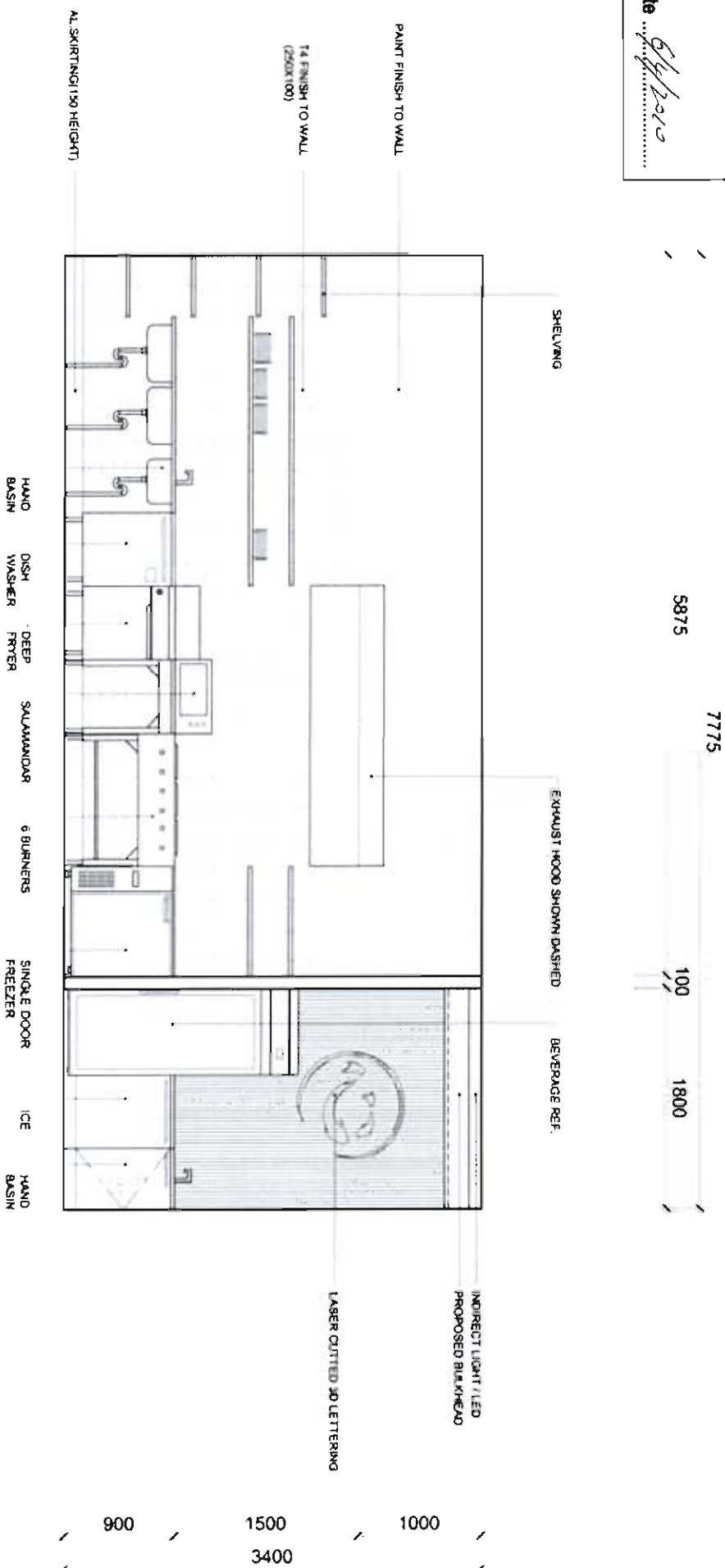
Issued under the Environmental, Planning and Assessment Act 1979

Approved Development Application No. DA 28-02-2010

granted on the 6/4/2010 subject to any conditions

contained in the notice of determination.

Signed [Signature] Date 6/4/2010



# SECTION G & G'

SCALE 1: 50

PROJECT	KOKORO Sushi Bar			
LOCATION	RETAIL 02, 8 AUSTRALIA AVE SYDNEY OLYMPIC PARK			
TITLE	SECTION G & G'			
SCALE	1 : 50	REV	DATE	DESCRIPTION
DRAWN BY	SH LEE	A	05/03/2010	PRELIMINARY DWG
CHECK BY	S LEE, SM YOO	B	12/03/2010	ISSUE FOR APPROVAL
START DATE	05 / 03 / 2010			
ISSUE	B			

DO NOT SCALE DRAWING. CHECK ALL DIMENSIONS. ALL DIMENSIONS TO BE GIVEN TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS.



AAI GROUP INTERNATIONAL PTY LTD  
SUITE 4, 7 EIGHT ST FIVE DOCK NSW 2046  
TEL 02 9712 8001 FAX 02 9712 8000  
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Sydney Olympic Park Authority  
7 Figtree Drive, Sydney Olympic Park NSW 2127

Issued under the Environmental, Planning and Assessment Act 1979

Approved Development Application No ...DA 28-03-2010...

granted on the ...6/4/2010... subject to any conditions  
contained in the notice of determination.

Signed ...[Signature]... Date ...6/4/2010...



1

GRAPHIC FOR SIGNAGES



1

GRAPHIC FOR SIGNAGES

2

GRAPHIC WORKS



A&I GROUP INTERNATIONAL PTY LTD  
SUITE 4/2 EAST ST. FIVE DOCK NSW 2048  
TEL 9712 8561 FAX 9712 8568  
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PROJECT KOKORO Sushi Bar  
LOCATION RETAIL 02, 8 AUSTRALIA AVE  
SYDNEY OLYMPIC PARK

SCALE	REV	DATE	DESCRIPTION
DRAWN BY SH LEE	A	05/03/2010	PRELIMINARY DWG
CHECK BY S LEE, SM YOO	B	12/03/2010	ISSUE FOR APPROVAL
START DATE 05 / 03 / 2010			
ISSUE B			

DO NOT SCALE DRAWINGS. CHECK ALL  
DIMENSIONS ON SITE. PRIOR TO  
CONSTRUCTION, THE OCCUPATIONAL  
HEALTH AND SAFETY REGULATOR  
STATUTORY AND LOCAL GOVERNMENT  
OFFICES / REGULATORY DEPARTMENT &  
COUNCIL MUST BE NOTIFIED. ALL  
DRAWINGS MUST BE REPRODUCED IN ANY  
WAY WITHOUT PERMISSION.





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Date 6/4/2010



## PERSPECTIVE

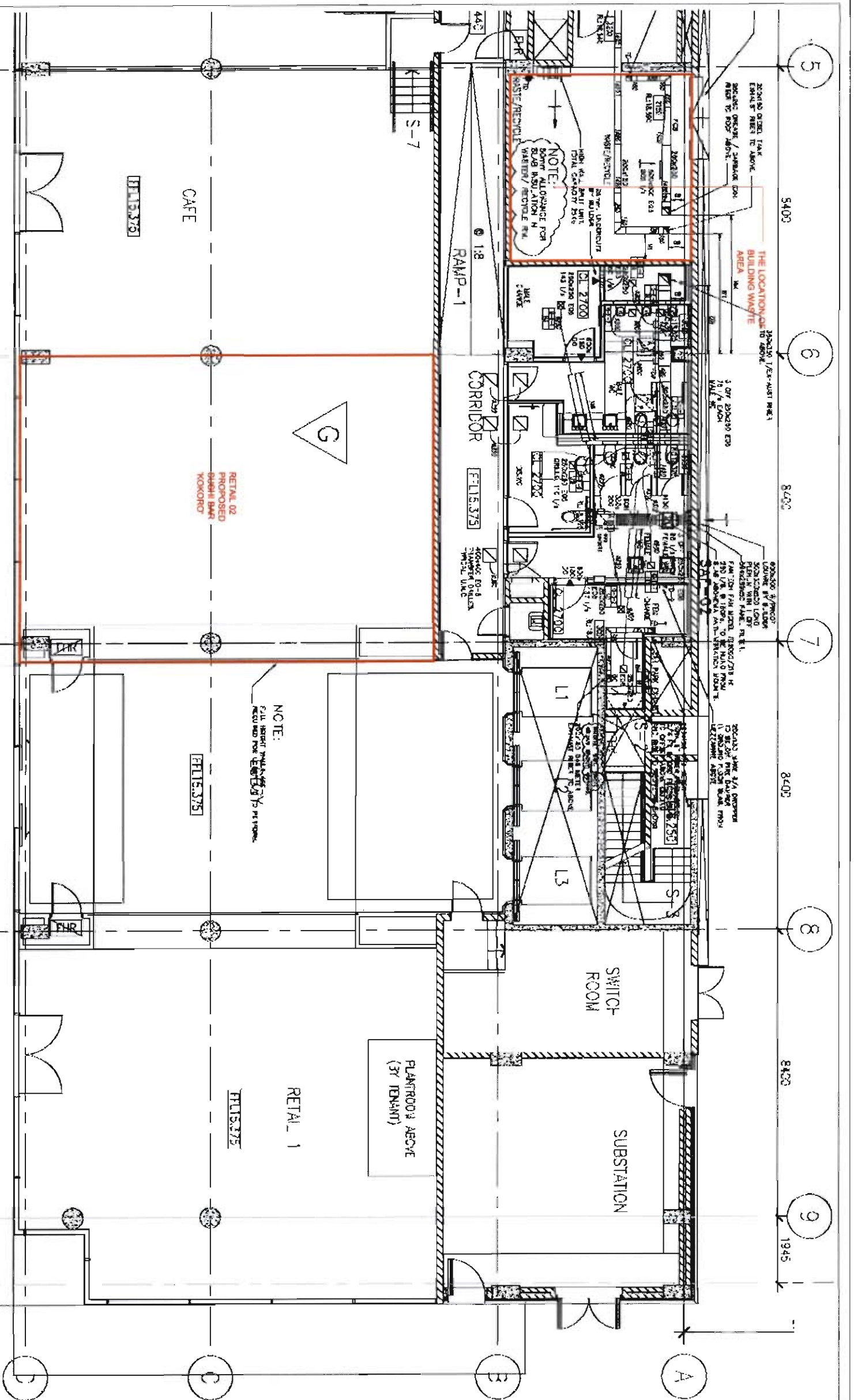
1 THE VIEW FROM COUNTER

A&I GROUP INTERNATIONAL PTY LTD  
SUITE 4/2 EAST ST FIVE DOCK NSW 2046  
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PROJECT KOKORO Sushi Bar  
LOCATION RETAIL 02, 8 AUSTRALIA AVE  
SYDNEY OLYMPIC PARK

SCALE	1 : 50	REV	DATE	DESCRIPTION
DRAWN BY	SH LEE	A	05/03/2010	PRELIMINARY DWG
CHECK BY	S LEE, SM YOO	B	12/03/2010	ISSUE FOR APPROVAL
START DATE	06/03/2010			
ISSUE	B			

DO NOT SCALE DRAWINGS. CHECK ALL  
DIMENSIONS ON SITE PRIOR TO  
CONSTRUCTION. ALL WORKS TO BE  
COMPLETED IN ACCORDANCE WITH  
LOCAL, STATE AND FEDERAL  
HEALTH AND SAFETY REGULATION.  
REVIEW AND RELAY TO THE  
RELEVANT AUTHORITIES FOR  
COMPLIANCE. ALL RIGHTS RESERVED. NO PART OF THIS  
DRAWING IS TO BE REPRODUCED OR  
TRANSMITTED IN ANY FORM OR BY ANY  
MEANS WITHOUT PERMISSION.



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Signed  Date 6/4/2010



CONSULTANTS AND ARCHITECTS  
Sydney Olympic Park Authority  
Sydney Olympic Park  
Phone 02 9439 4000  
Fax 02 9439 4001

PROPOSED OFFICE DEVELOPMENT  
8 AUSTRALIA AVE, SYDNEY OLYMPIC PARK  
On Figure Drive & Sydney Ave

MECHANICAL SERVICES  
DUCTWORK - A/C UNIT  
GROUND LEVEL  
PART 2

DATE: 02/01/09  
DRAWN BY: 0337  
CHECKED BY: 12/01/09  
SCALE: 1:100  
PROJECT NO: 6337-MC6