



ELYSIAN URBAN DESIGN REPORT

URBAN DESIGN REPORT

26/11/2024
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Prepared for:

Greenland

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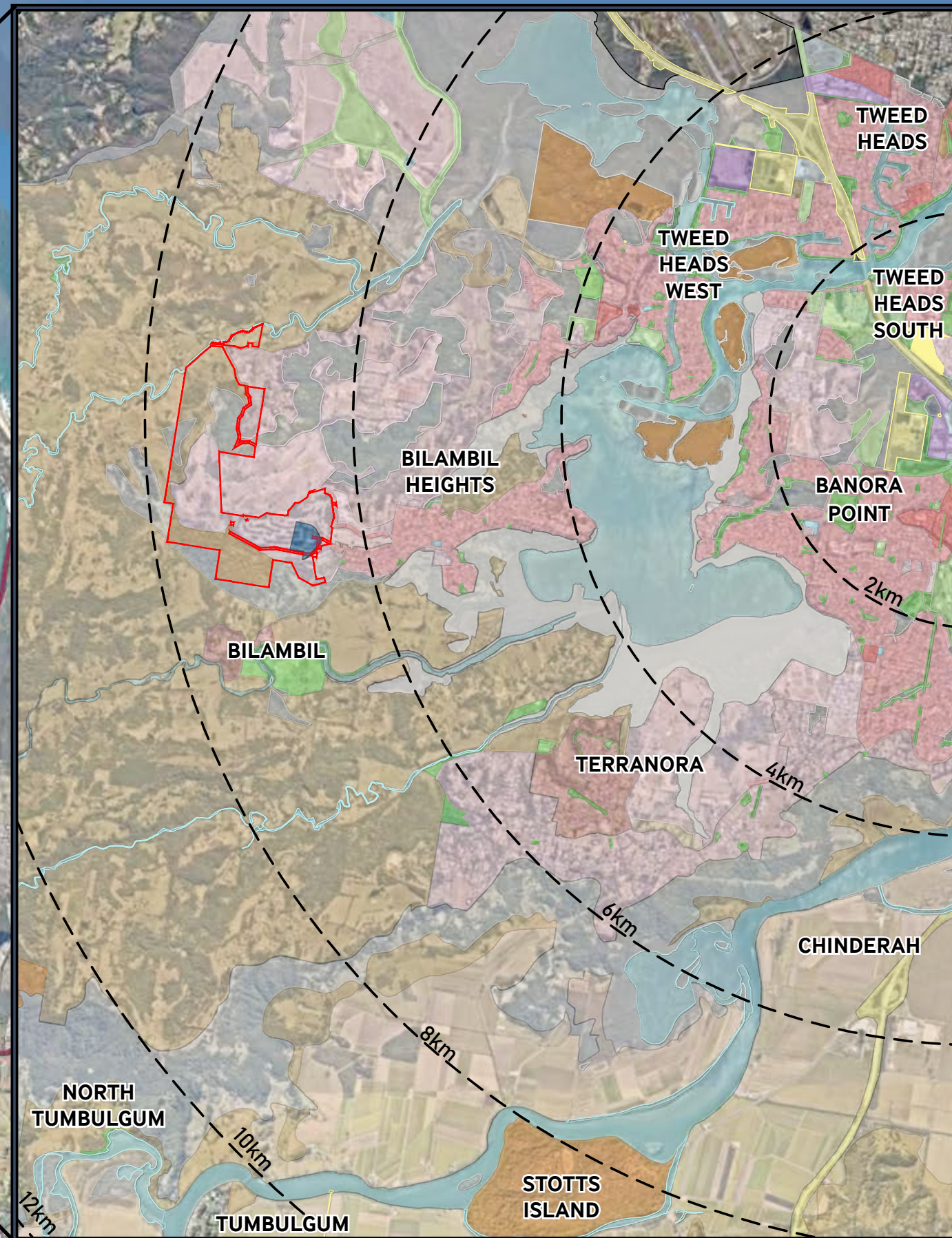
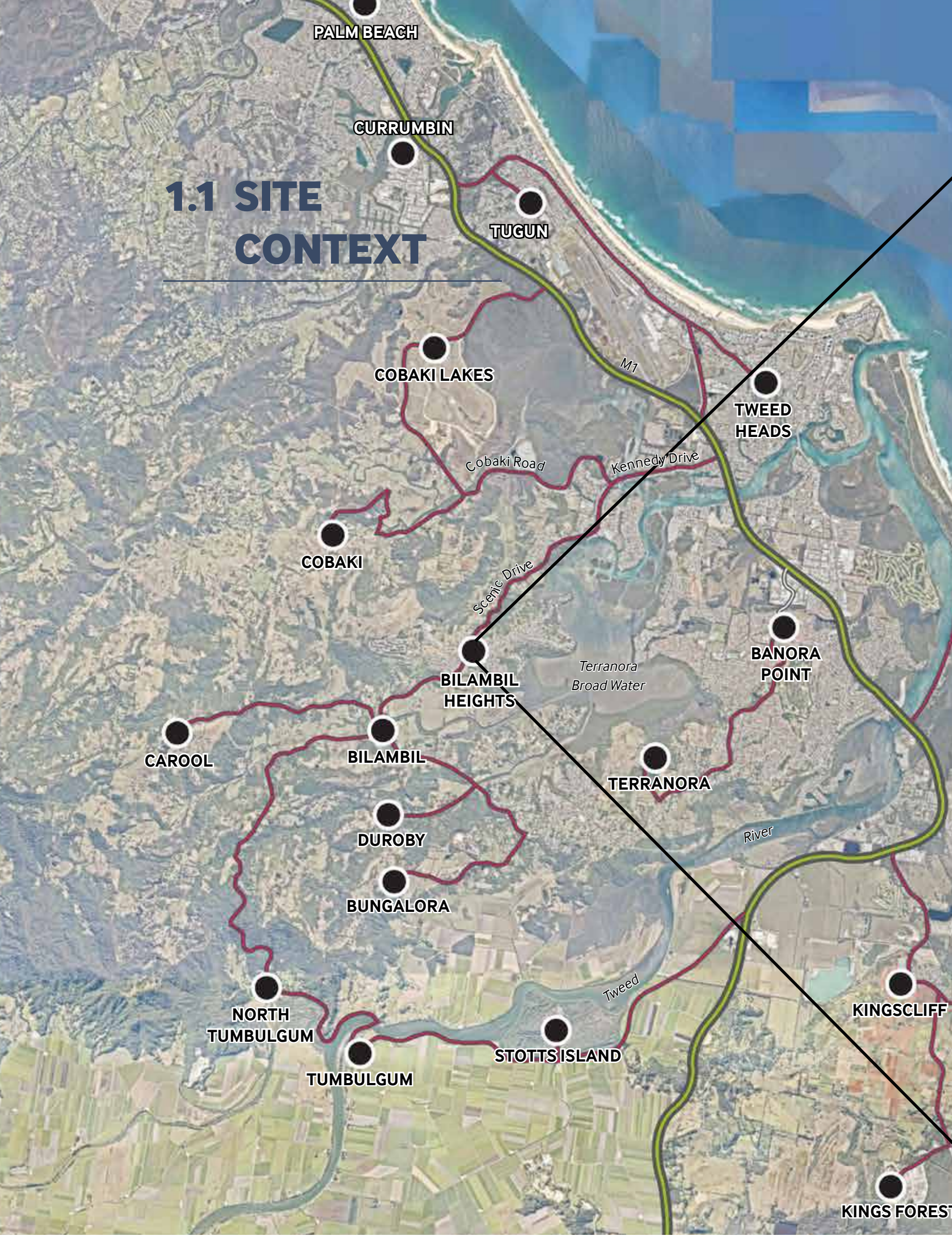
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1.0

SITE ANALYSIS

1.1 SITE CONTEXT



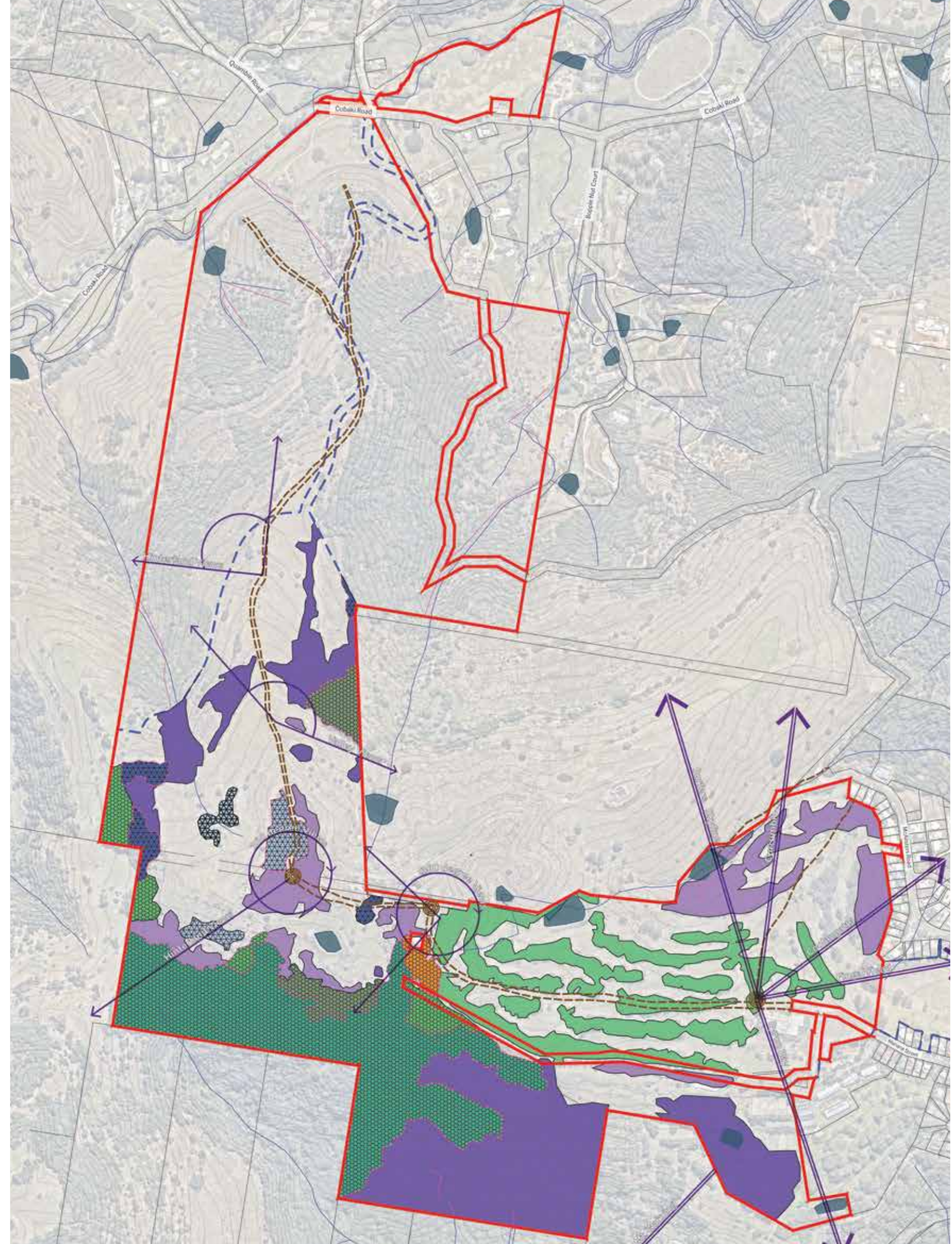
1.2 EXISTING CONDITIONS

LEGEND

- Site Boundary
- - - Eastern Gateway Precinct Boundary
- Contours (5m)
- Watercourse NSW Government
- Waterbodies
- Ground Truth Centreline (GNS)
- Highest Point
- - - Ridgeline
- - - Main Ridgeline
- ↗ Viewshed
- Views

Existing Vegetation

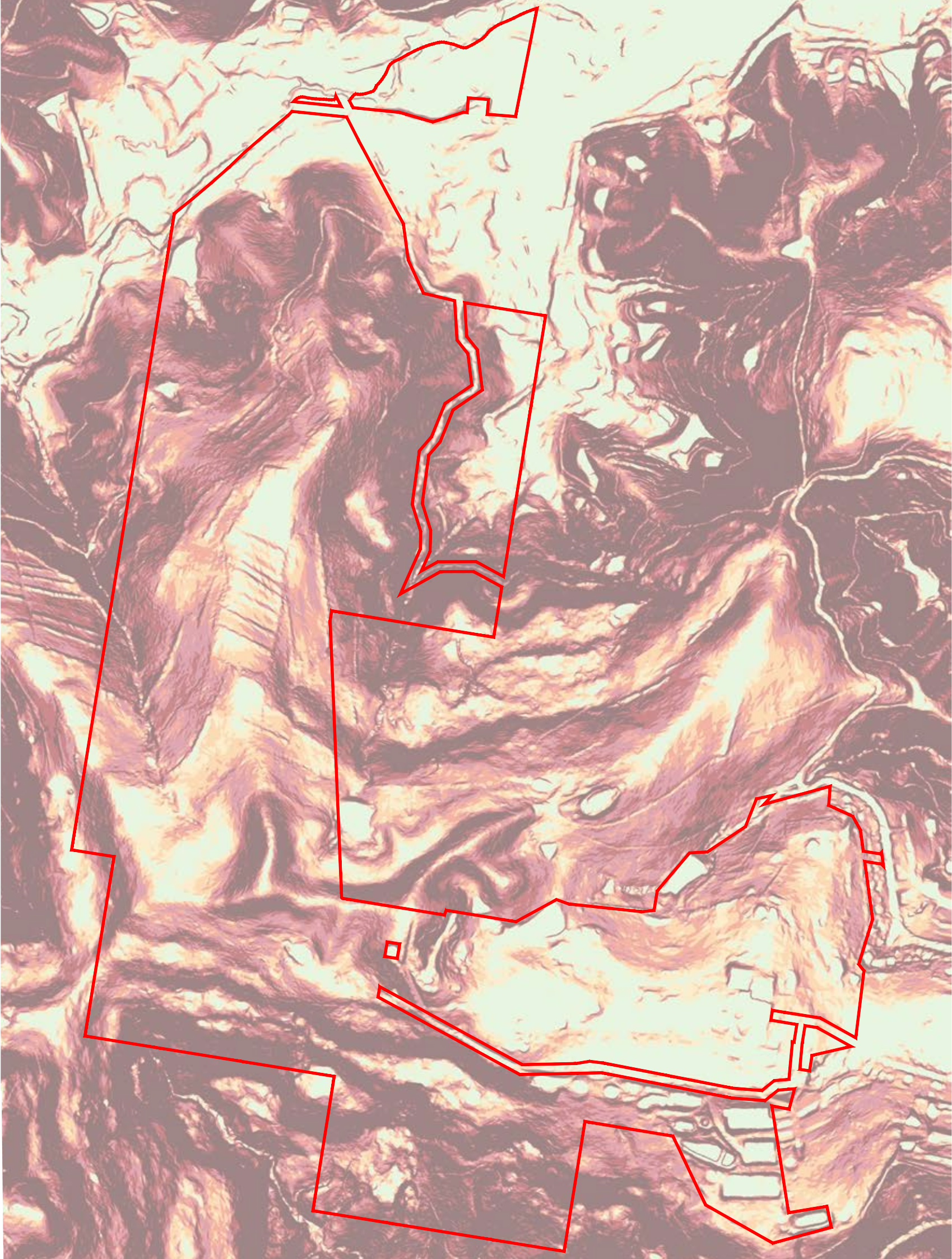
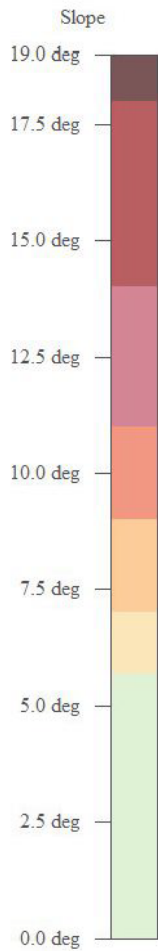
- VC1A-Tall Subtropical Rainforest
- VC4A-Mid-High to tall closed Forest
(Cinnamomum camphora)
- VC1B-Mid-High to tall Subtropical Rainforest
- VC4B-Low to Mid-High Regrowth
(Cinnamomum camphora)
- VC3B-Low to Mid-High closed regrowth
(Cinnamomum camphora +- mixed species)
- VC2A-Tall closed Sclerophyll Forest
(Lophostemon confertus)
- VC3A-Mid-High to Tall closed Forest
(Cinnamomum camphora +- mixed species)
- VC5-Planted trees Landscaping
- EEC-BC Act-Lowland Rainforest in
NSW North Coast and Sydney Basin Bioregion
- EEC-BC Act-Lowland Rainforest in
NSW North Coast and Sydney Basin Bioregion
-highly degraded



1.3 SLOPE ANALYSIS

SLOPE CHARACTERISTICS

Perched along a dramatic ridgeline in Bilambil Heights, the site encompasses steep terrain creating a dynamic typography with gradients that both challenge and provide unique development opportunities. This site offers a series of high points with large falls and natural vantage points that provide expansive views of the surrounding landscape and distant ocean.



1.4 VEGETATION

A range of vegetation types has been identified across the site including

- dense rainforest resides along lower slopes around the edges of the site
- landscape planting long the eastern ridge slopes where the golf course was located
- weed infested remnants near the edges of the proposed neighbourhoods.

The design of the neighbourhood has sought to preserve the rainforest remnants and allowing for planted buffers and improvement of the vegetation on site and the preservation of higher hilltops in the west parts areas of the site as two scenic parks.

Vegetation remnants combined with slope create bushfire protection challenges which have been carefully worked through the design of the neighbourhoods.

Legend

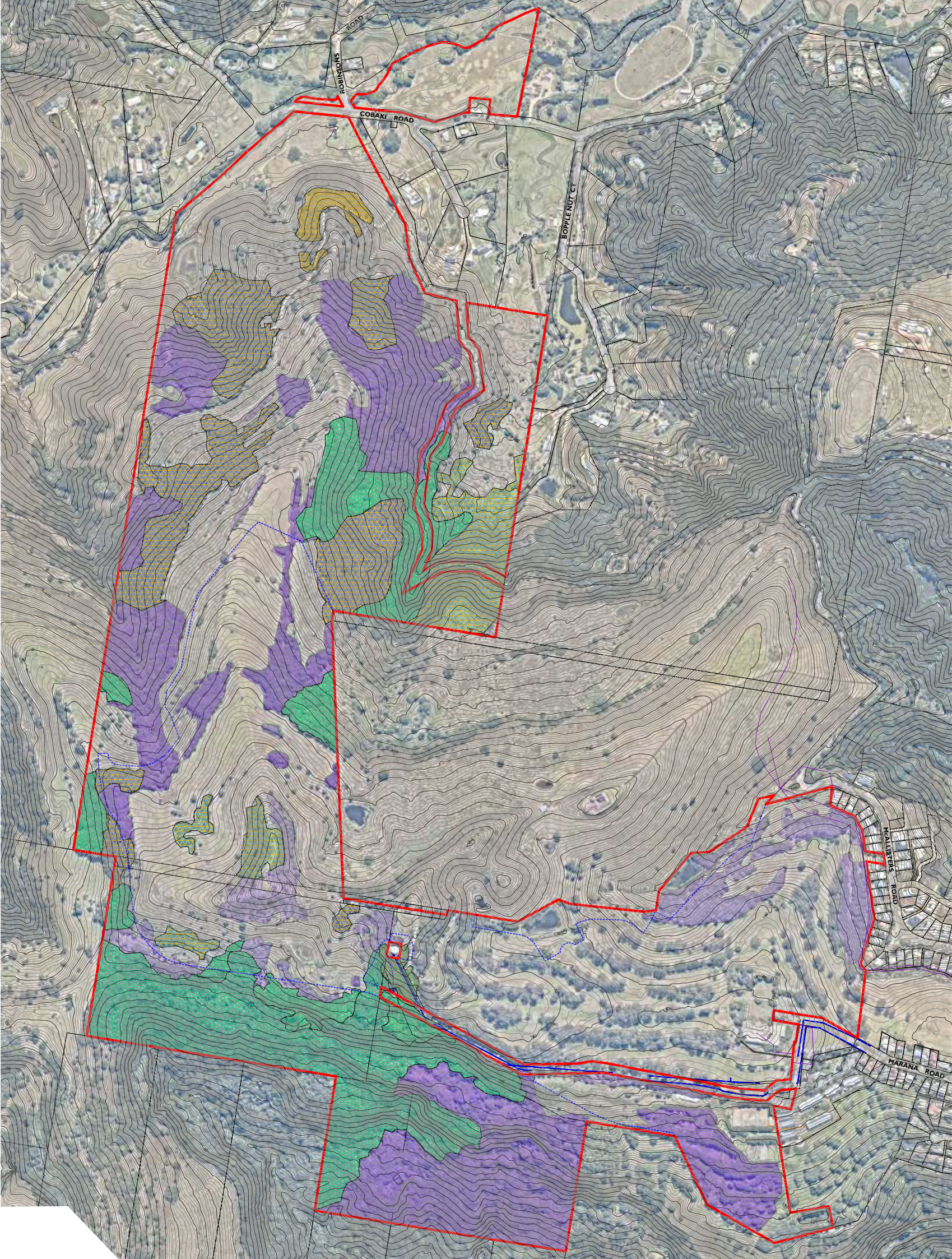
- Site Boundary
- - - Digitized Approved Urban Footprint

Vegetation Communities (VC)

- VC1A - Tall subtropical rainforest (PCT 3011)
- VC1B - Mid-high to tall subtropical rainforest (PCT 3011)
- VC2A - Tall closed sclerophyll forest (*Lophostemon confertus*) (PCT 3148)
- VC2B - Tall open sclerophyll forest (*Lophostemon confertus* / *Cinnamomum camphora*) (PCT 3148 - derived)
- VC3A - Mid-high to tall closed forest (*Cinnamomum camphora* +/- mixed species) (PCT 3011 - derived)
- VC3B - Low to mid-high closed regrowth (*Cinnamomum camphora* +/- mixed species) (PCT 3011 - derived)
- VC4A - Mid-high to tall closed forest (*Cinnamomum camphora*)
- VC4B - Low to mid-high regrowth (*Cinnamomum camphora*)

BC Act Endangered Ecological Communities (EEC)

- Lowland Rainforest in NSW North Coast and Sydney Basin Bioregion EEC
- Lowland Rainforest in NSW North Coast and Sydney Basin Bioregion EEC - highly degraded



1.5 RESPONSE TO SITE CONDITIONS

The cascading slopes and natural high points, punctuate the scenery and provide development opportunities that capitalise on the visual appeal of the surrounding environment. Steeply sloping terrain provides opportunities more bespoke housing design to sit well on the slope and access views.

A network of terrace street and lanes have been carefully integrated into the slope to meet functional requirements and follow the site profile as close as possible. The network together with open spaces and mib block connections ensure predominantly gentle grades and walkability to community spaces and facilities and particularly the village centre.

A knoll in the eastern part of the site near to established residential areas creates opportunity for a village heart for the new community and a destination for visitors seeking scenic views and walks through pristine rainforest on site.

Its location one the ridgeline takes in views provides opportunity for gently sloping parkland and walking access.

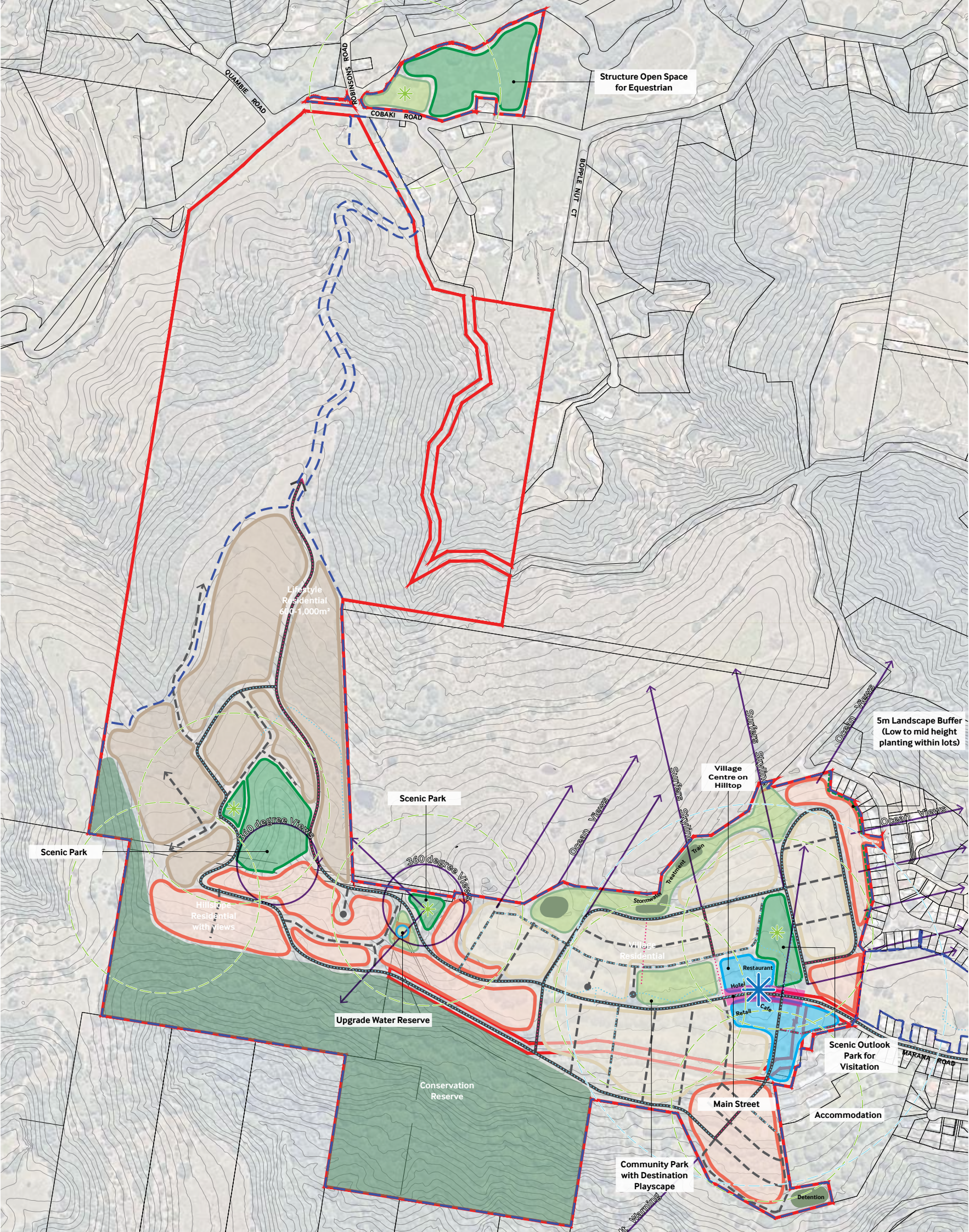
Based upon ground truthing of streams on the stie the design has sought to integrate these into neighbourhoods and into the stormwater strategy where possible.

The northern parts of the site are generally higher and steeper with views to surrounding valleys. Level ground near Cobaki Creek to the north provides opportunity for appropriate structured open space such as equestrian.

LEGEND

- Site Boundary
- Eastern Gateway Precinct Boundary
- Hillslope Residential with views
- Village Residential
- Lifestyle Residential (600-1,000m²)
- Retirement Living
- Commercial
- Village Centre
- Park
- Linear Park
- Detention Basin
- Conservation Reserve

- View Lines
- Connector Streets
- Local Streets
- Carparking
- Existing Trees to be retained
- Park 200m Radius (3 minute) Walking Catchments
- Centre 400m (5+ minute Walking Catchment)
- House Pads
- Potential Development
- Active Movement Paths**
- Gentle Grade
- Steeper Grade





2.0 vision

2.1 VISION



At Elysian, we envision a harmonious blend of nature and community, where village and suburban dwellings and large lifestyle lots seamlessly intertwine to create a residential haven unlike any other. Nestled atop rolling hills, our development boasts commanding ocean views that will inspire awe and tranquillity in every resident.

Our vision is to cultivate a distinctive living experience, where residents are not merely homeowners but stewards of a beautiful, picturesque landscape. Elysian will be more than just a residential land subdivision; it will be a testament to thoughtful planning, sustainable design, and a commitment to preserving the natural beauty that surrounds us.

In Elysian, we see a community where each home is a sanctuary, and each resident is part of a larger tapestry that celebrates the essence of coastal living. Our development will provide a canvas for personalized dreams, inviting homeowners to create spaces that reflect their unique aspirations while maintaining a sense of unity within the community.

With a focus on environmental sustainability, Elysian aims to set new standards in responsible development. Green spaces, walking trails, and communal areas will encourage a healthy and active lifestyle, fostering a sense of connection among neighbours. As a result, Elysian will not only be a place to call home but a destination where families thrive, friendships blossom, and memories are woven into the very fabric of the landscape.

Join us in creating Elysian—a community where the extraordinary views are matched only by the exceptional quality of life. Together, let’s build a legacy of beauty, harmony, and enduring connection that will be cherished for generations to come. A perfect place in every way.



PROJECT


Elysian

POTENTIAL
TAGLINE


A perfect place in every way

SENSE OF
PLACE &
CHARACTER


Space, Light, Openness




Personal & Engaging



Nurturing & Connected



Aspiration & Opportunity



HOW DOES
ELYSIAN
DELIVER ON
THESE WORDS?

The scenic landscape of the coast and hinterland is ever present when moving throughout the community, its streets, parks, & village centre.

Neighbourhood pockets are designed to maximise scenic views from the house, to provide space around dwellings, & preserve the expansive, inspiring feeling of being on the hilltop.

Elysian offers pleasant gently graded walks to a vibrant village heart that speaks to the aspirations of the community being:

- socially engaging, exciting
- convenient, walkable
- offers luxury, comfort
- a place for gathering & celebration
- a destination for residents, visitors & tourists
- reflects the environmental quality & values of the coast.

The community nurtures the environment and shares access to ancient rainforest & outlook over the coast and hinterland for visitors and residents to enjoy.

Community design retains trees on hilltops & steep hillsides through preserving them for future generations to enjoys.

The community is made up of distinctive characterful pockets and rewarding walks between with special community places, convenient & engaging.

Elysian is a place to set down roots & build a legacy, through environmental stewardship, a rich community life & diverse site responsive housing to suit all stages of life.

A range of quality, bespoke housing options from luxury short term accommodation, village centre compact convenient living, bespoke homes overlooking the coast to spacious rural living.

Consequently, a diverse community activates its streets, local places, shops & restaurants.

SENSE OF
PLACE &
CHARACTER

Space, Light, Openness

Personal & Engaging

Nurturing & Connected

Aspiration & Opportunity

PHYSICAL
DESIGN
ELEMENTS

- Neighbourhood design, site grading and street & lot design deliver wide views from within homes.
- Street alignment references significant viewpoints at important gateway moments in the community.
- Open spaces occupy significant hilltops in the site.
- Design avoids the 'suburb' on the hill form and feeling.

- Village centre on the hilltop enjoying views in all directions.
- Village park that enjoys and preserves broad views over the coast and is a picnic and family destination.
- Potential luxury accommodation and restaurant anchor to the centre with ancillary shopping
- Local convenience retail and dining options that capitalize on the aspect and location.
- Streets that follow the ridge line and the contours providing gentle walking options.
- Linear open spaces and streets coincide to provide shaded amenity and rest points.
- Cycle connections along or near to the ridge lines & connecting Bilambil Heights centre back to Elysian Village centre.

- Retention of significant trees and vegetation where site constraints require, or site development change achieve.
- Connection to past, to nature and to something older.
- Ancient rainforest conservation reserve with visitor boardwalk and interpretation and connections back to the village centre.
- Linear parks and walking routes retain established trees on high points or ridge lines.
- Ongoing cost to residents is managed through public ownership of open space where appropriate, public streets and infrastructure.

- Village character and retail offer built around the potential luxury accommodation offer.
- Village offers diverse high quality living options including apartments, town-homes, & secondary dwellings.
- Neighbourhoods offer bespoke modern housing on larger to smaller lots, home studios & secondary dwellings where appropriate.
- A large lot environmental area offers semi-rural living with hinterland views and connection to natural landscapes.





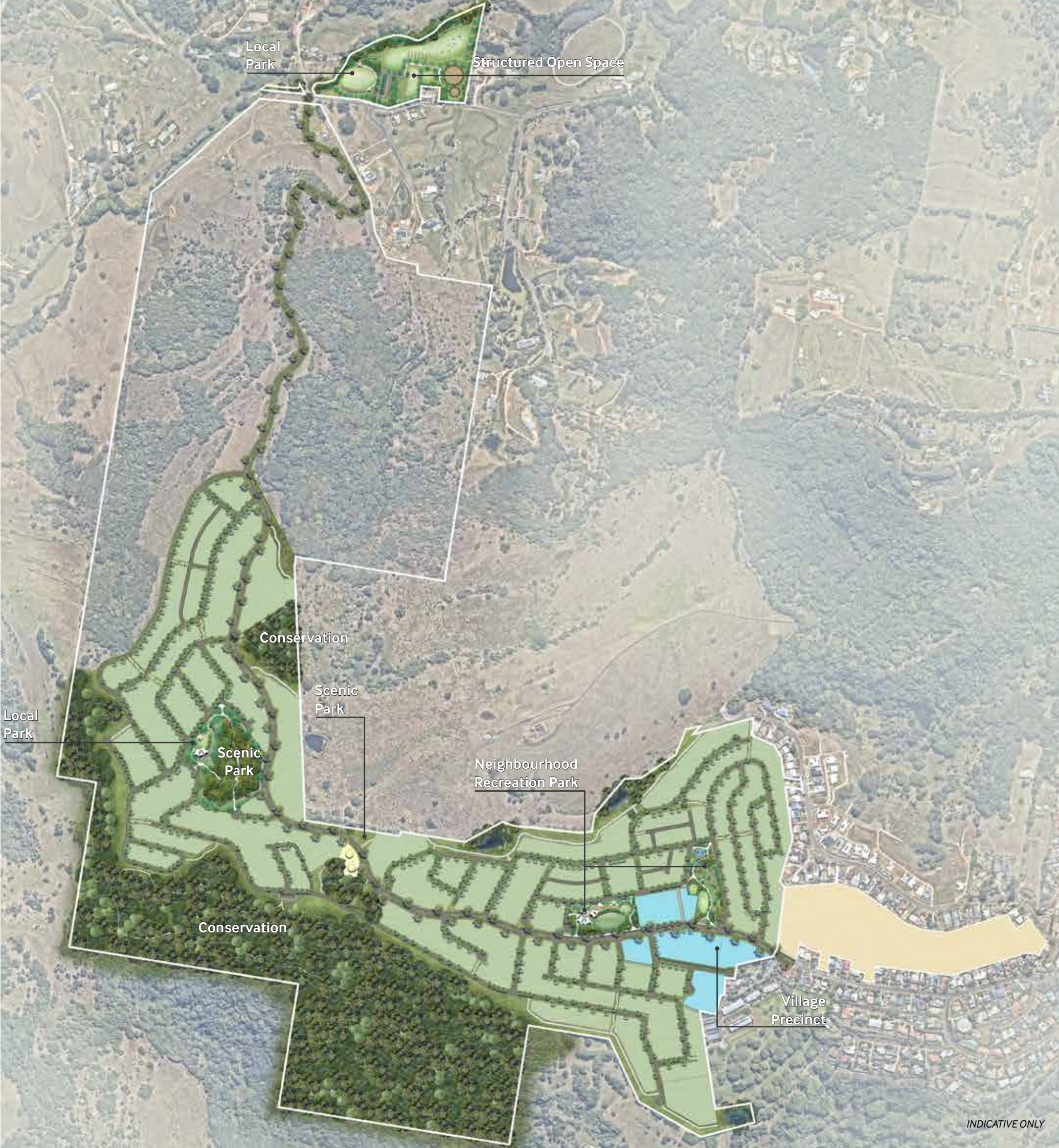
3.0

**CONCEPT
MASTER PLAN**

3.1 RENDERED MASTER PLAN

LEGEND

-  Footpath
-  Bushfire Track



3.2 OBLIQUE VIEWS



3.3 PRODUCT SUMMARY PLAN

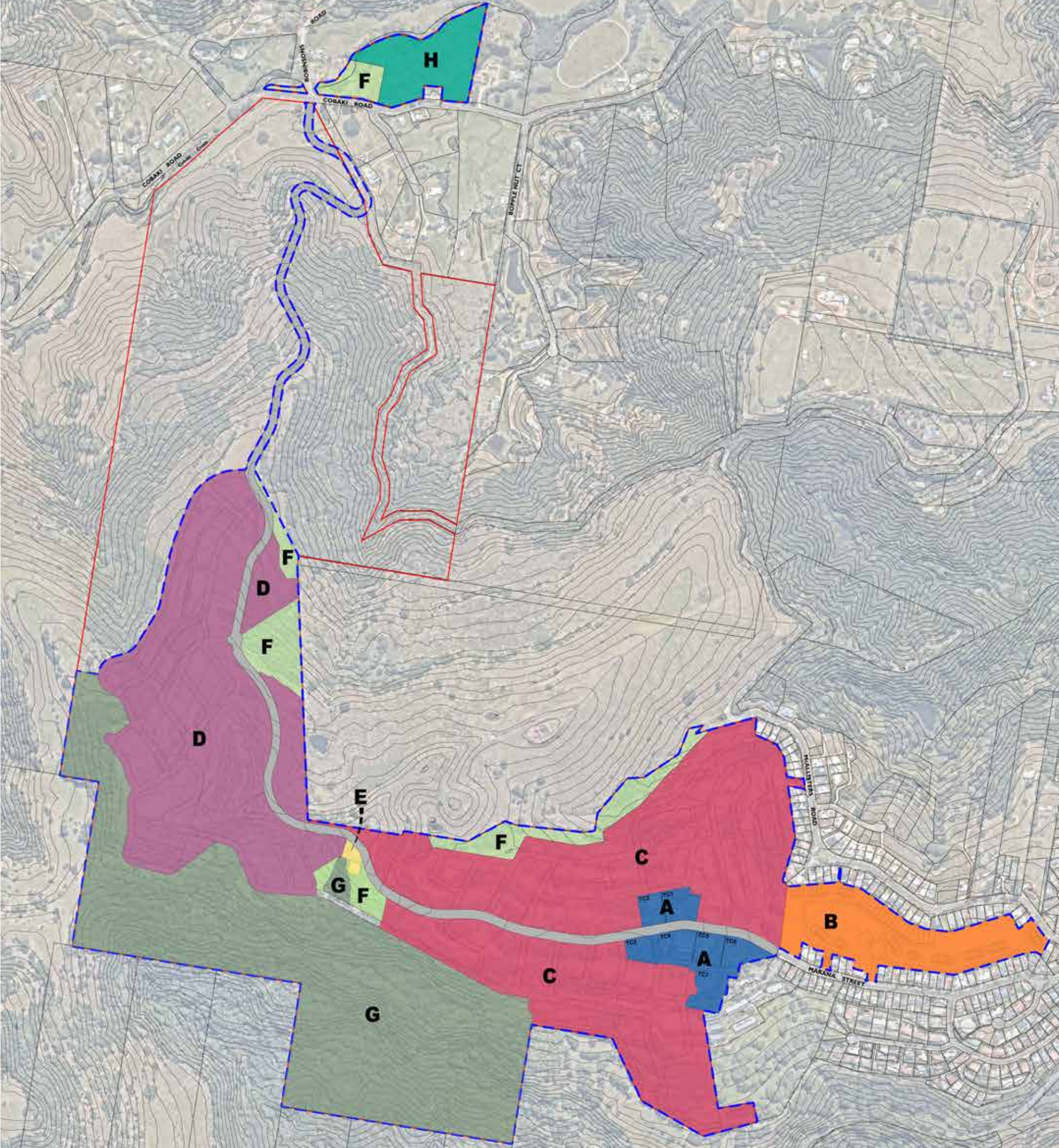
Legend

- Subject Site
- Existing Contours (5m Interval)
- Application Boundary
- Spine Road

Precinct	Predominant Use	Approx. Area	Potential Dwellings
A	Village Centre	3.650 ha	435
B	Retirement Living	6.955 ha	195
C	Low Density - Housing	36.760 ha	416
D	Hilltop Village	27.174 ha	254
E	Reserve	0.207 ha	—
F	Open Space	6.548 ha	—
G	Conservation	35.252 ha	—
H	Structured Open Space	3.602 ha	—
Total		120.148 ha	1300

Note: Dwelling yield is indicative and may increase where smaller lots are introduced.

Village Centre Dwelling Yield	Area	Lots	Dws
TC1: Hotel/ Mixed Use/ Apartments (6st)	5,290m²	1	150
TC2: Hotel/ Hotel/ Mixed Use/ Apartments (6st)	3,709m²	1	66
TC 3: Apartments (3-4 st)	3,249m²	1	40
TC 4: Mixed Use Apartments (3 st)	4,886m²	1	77
TC 5: Townhomes	4,394m²	1	63
TC 6: Townhomes	4,985m²	1	17
TC 7: Townhomes	6,209m²	1	22
Total Village Centre	32,722m²	7	435





4.0

**PRECINCT
CHARACTER**

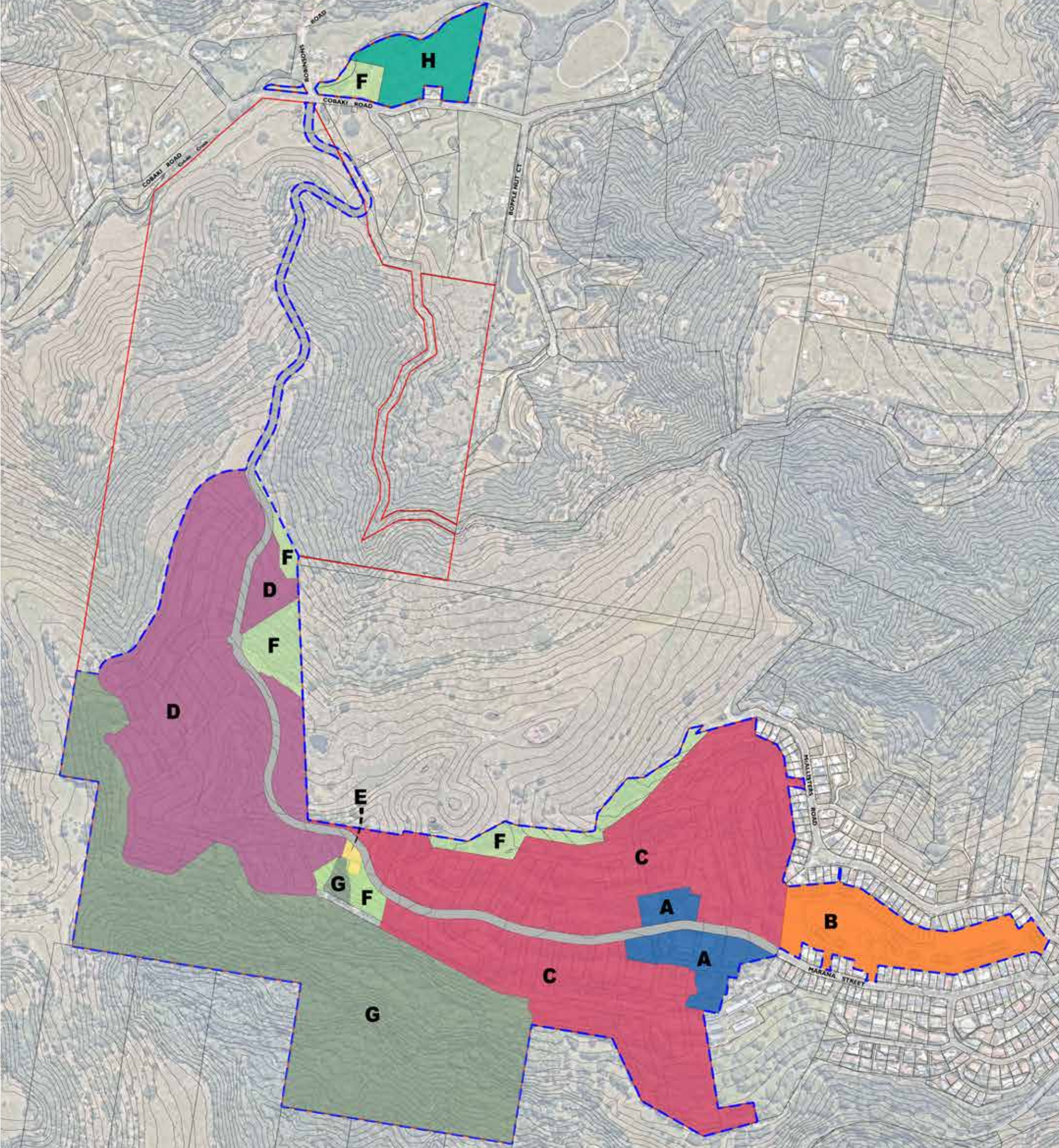
4.1 PRECINCT PLAN

Legend

- Subject Site
- Existing Contours (5m Interval)
- Application Boundary
- Spine Road

Precinct	Predominant Use	Approx. Area	Potential Dwellings
A	Village Centre	3.650 ha	435
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4.2 VILLAGE CENTRE

The village centre stands on a gentle hilltop near to the eastern entry into Elysian and adjoining established residential areas.

Overlooking the surrounding landscape of the Tweed and Gold Coast, it takes in scenic views extending from Surfers Paradise to Byron Bay to the east, to the hinterland to the north and south to Mt Warning. Two significant parklands create beautiful public spaces to take in views, play, picnic and connect with community.

The village is formed around a main street along the ridgeline, a gateway to the community, a lush green street framed by high quality architecture, greenery and focused on the pedestrian. Retail shop fronts line the street with apartments and accommodation above and buildings directly address the two parks with restaurant and cafe offers.

The village offers a wide range of retail opportunities and services for the local community and regional visitors and a range of dining options that engage with the adjoining parklands, enliven main street and take in the scenic views.

A range of accommodation options are provided from short stay to apartments, town homes and terraces all with an architectural style that speaks to the character and lifestyle of the coast and hinterland.



 Elevated/ Aerial View

 Ground Level View

4.2.1 VIEW A

View looking east along main street towards the key corner site with the eastern neighbourhood park on the left

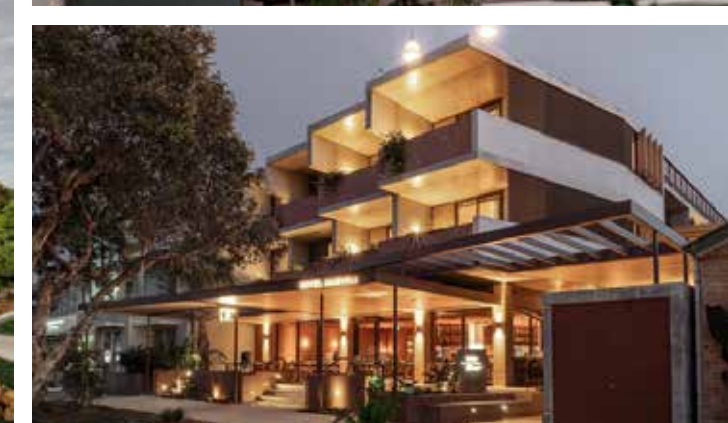
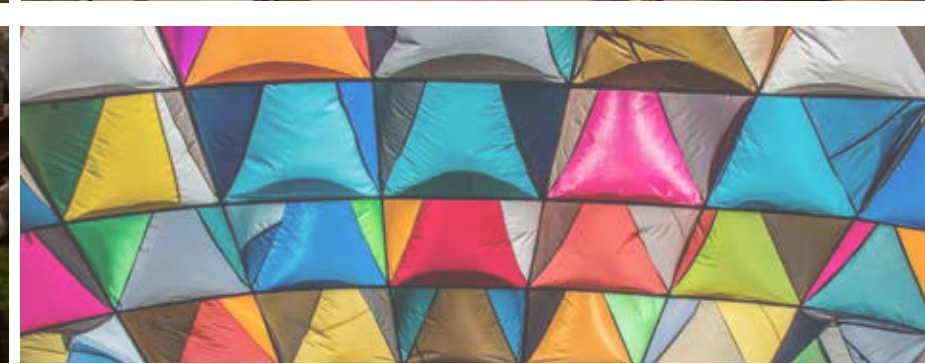
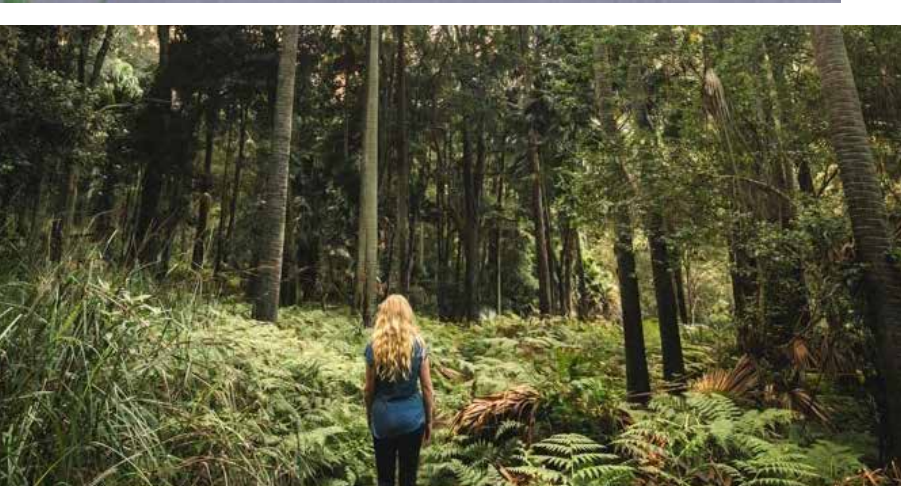


INDICATIVE ONLY

4.2.2 VIEW B

Overall view of the village centre from the east





4.2.3 VIEW C

View looking east along main street towards the ocean
with the western neighbourhood park on the left



4.2.4 VIEW D

View looking south along the line of the eastern neighbourhood park towards the key corner site with residential streets on the right



INDICATIVE ONLY

4.2.5 VIEW E

View looking east along the eastern neighbourhood park as you approach the key corner site on the hill along the spine



4.2.6 VIEW F

View looking west along main street towards the key corner site entrance and neighbourhood park on the right



INDICATIVE ONLY

4.2.7 VIEW G

View looking west along the main street



4.2.8 VIEW H

View looking east along the main street



INDICATIVE ONLY

4.3 VILLAGE NEIGHBOURHOOD

Surrounding the village centre is a network of tree lined local streets framed by a diverse range of beautiful homes, each street offering gentle walking options into the centre. These houses sit on a range of small to more traditional sized lots on flat sites to more bespoke dwellings on sloping lots with extensive views that can't be built out.

Care has been taken to provide street or laneway access to the high side of sloping lots to allow dwellings to build out from the top of the site and step down as needed, thus managing building cost and complexity of construction. Housing in the village neighbourhood is controlled by a comprehensive design code to ensure outcomes suit the nature of the site and its place in the neighbourhood and support affordable housing outcomes through secondary dwellings and dual occupancies where they add to the quality of streetscapes.

Whilst Elysian is surrounded by rainforest remnants and punctuated by treed hilltops with beautiful scenic views, the streets of Elysian connect a range of parkland and community opportunities and facilities within easy walking distance of all dwellings. Terrace streets encourage an active lifestyle and completed by shared cycle paths.



4.4 HILLSLOPE NEIGHBOURHOOD

The western parts of Elysian follow the ridgeline as it extends north and take in its steeper slopes and higher points. Whilst some house sites will be level or gently graded, a range of larger lot sizes will respond to the slope and the neighborhood design will again provide street and laneway access to the high side of the proposed lots to make construction easier, more affordable and allow dwellings to enjoy views of surrounding landscape.

The natural undulation and slope and careful integration of surrounding natural values into the neighbourhood, create a unique setting with a street layout and community open spaces facilitating active movement, connection, and a life engaged with nature. The Elysian Design Code provides comprehensive guidance on building on slope including examples.





5.0

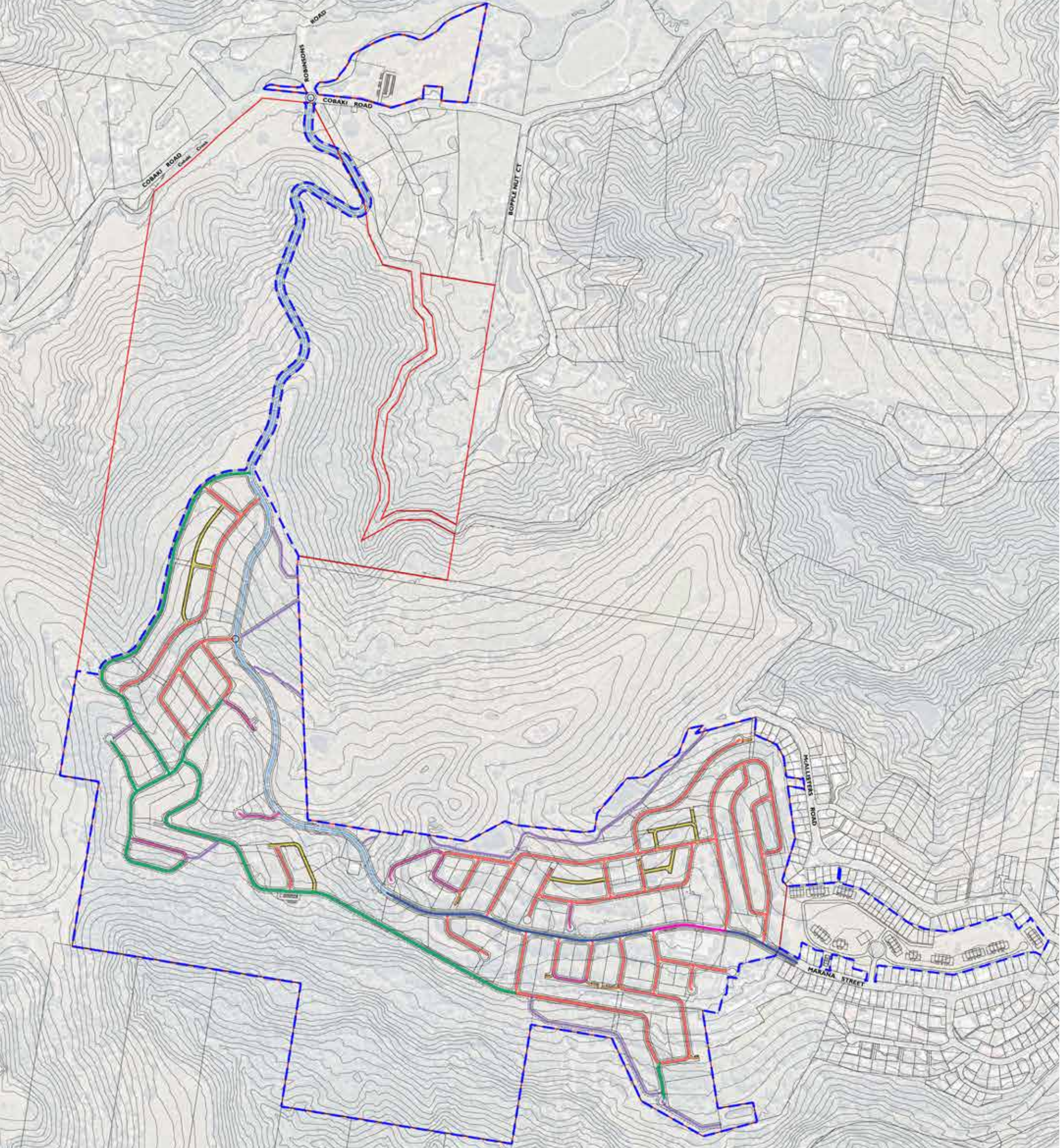
MOVEMENT

NETWORK

5.1 STREET NETWORK PLAN

Legend

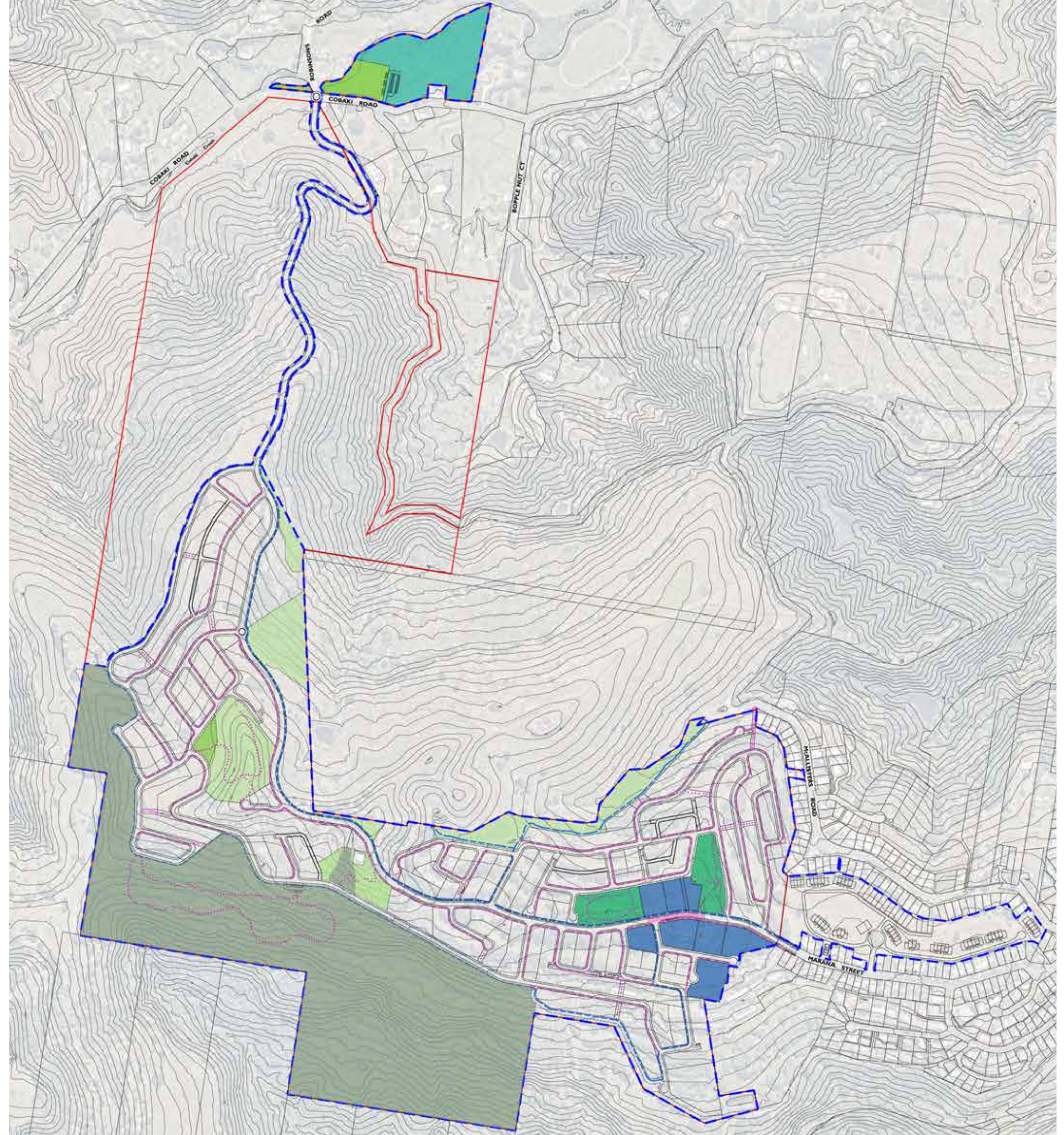
- Subject Site
- Existing Contours (5m Interval)
- Application Boundary
- Neighbourhood Connector Street (20.9m Reserve)
- Main Street (20.9m Reserve)
- Neighbourhood Connector Street (18.5m Reserve)
- Esplanade Perimeter Street (15m Reserve)
- Access Street (14.5m Reserve)
- Narrow Access Street (13m Reserve)
- Access Laneway (8m Reserve)
- Driveway (10m-12m Reserve)
- Bushfire Trail (6m Sealed) (10m Reserve)



5.2 CONNECTIVITY PLAN

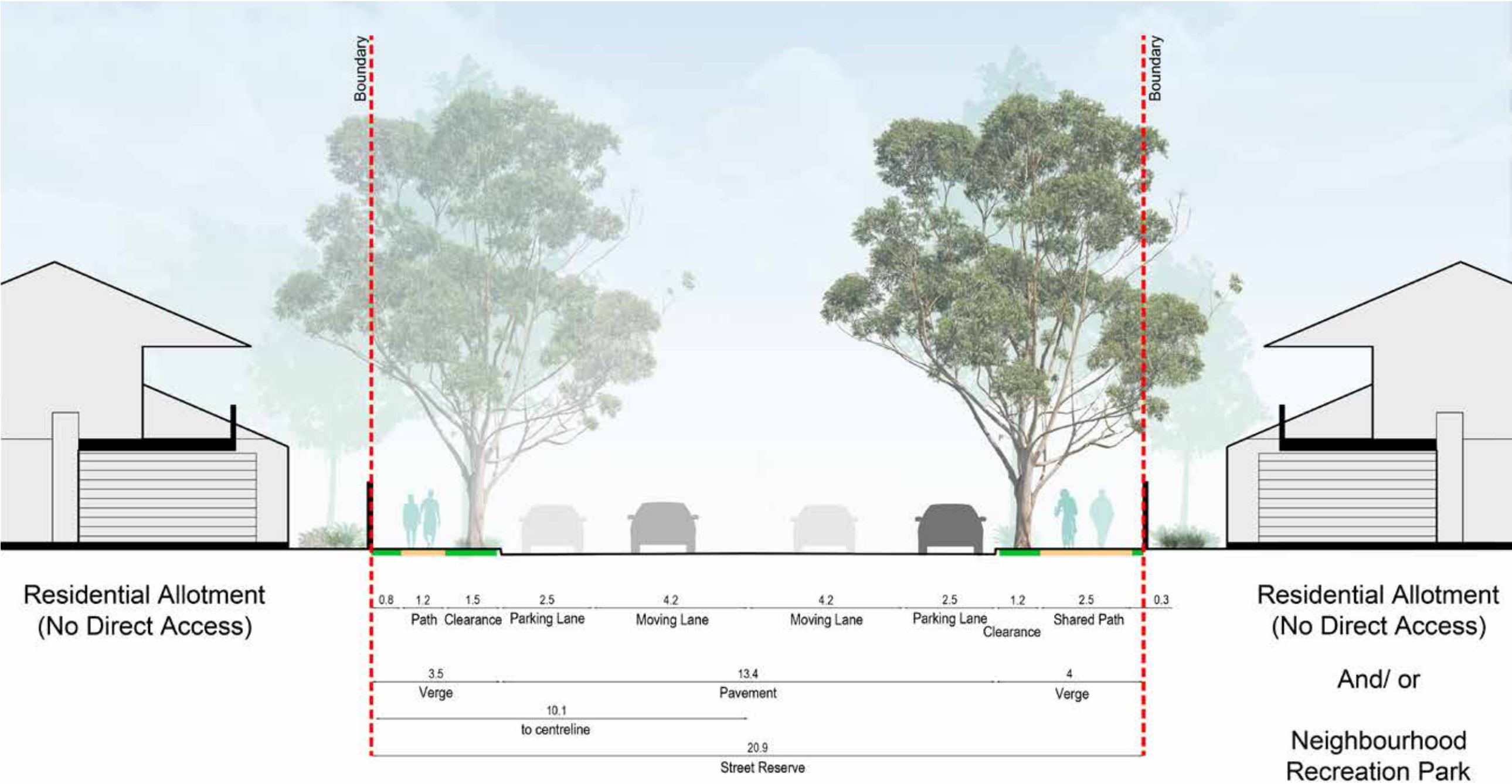
Legend

- Site Boundary
- Existing Contours (5m Interval)
- - - Application Boundary
- Shared Cycle Path
- Primary Pedestrian Footpaths
- · · Pedestrian Path through open space or mid-block connection
- Retail Main Street
- Village Centre
- Conservation Area
- Potential Neighbourhood Park
- Potential Structured Open Space
- Potential Local Park
- Potential Open Space
- Potential Waterbody/ Stormwater Treatment



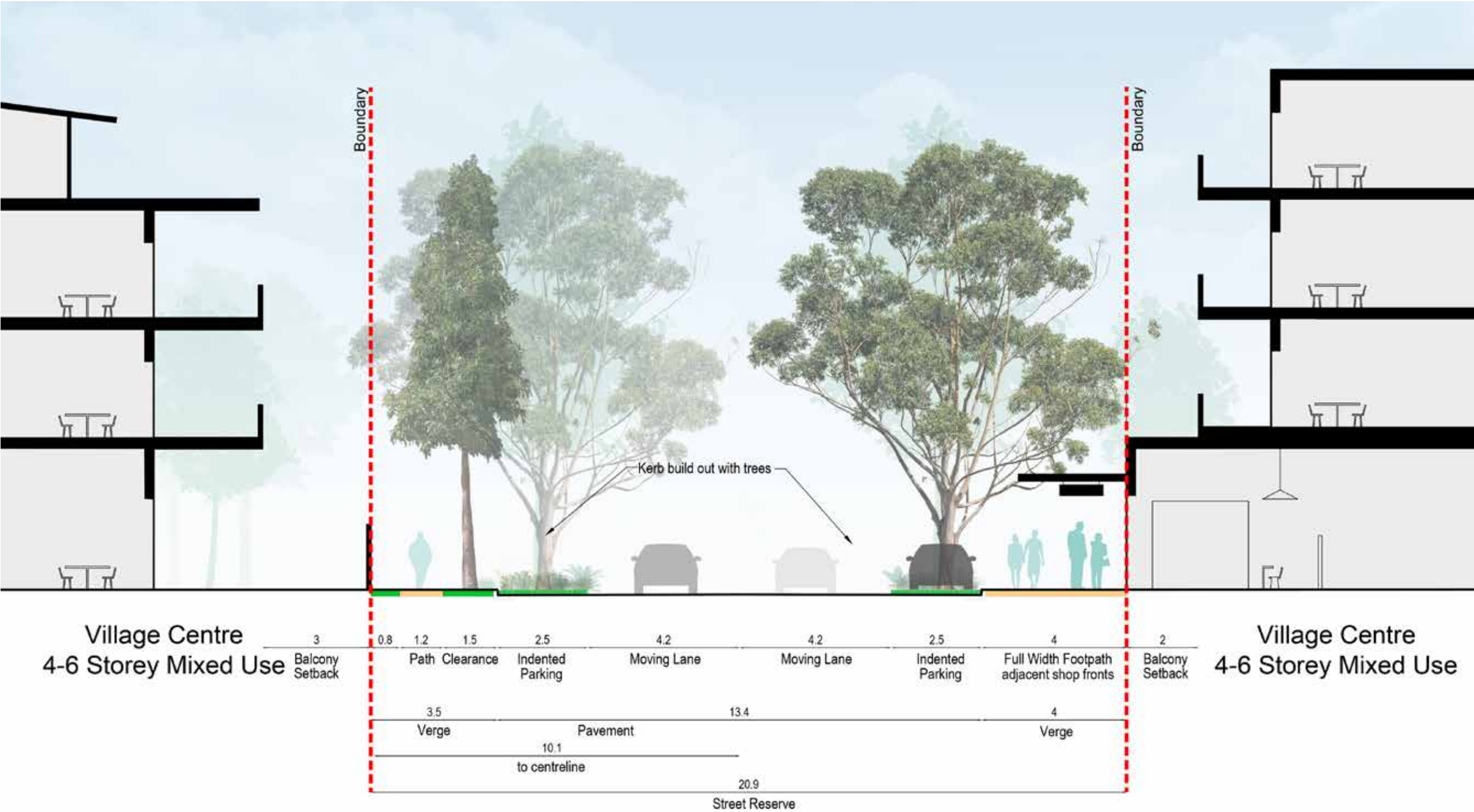
5.3 NEIGHBOURHOOD CONNECTOR STREETS

Neighbourhood Connector Street - 20.9m Reserve



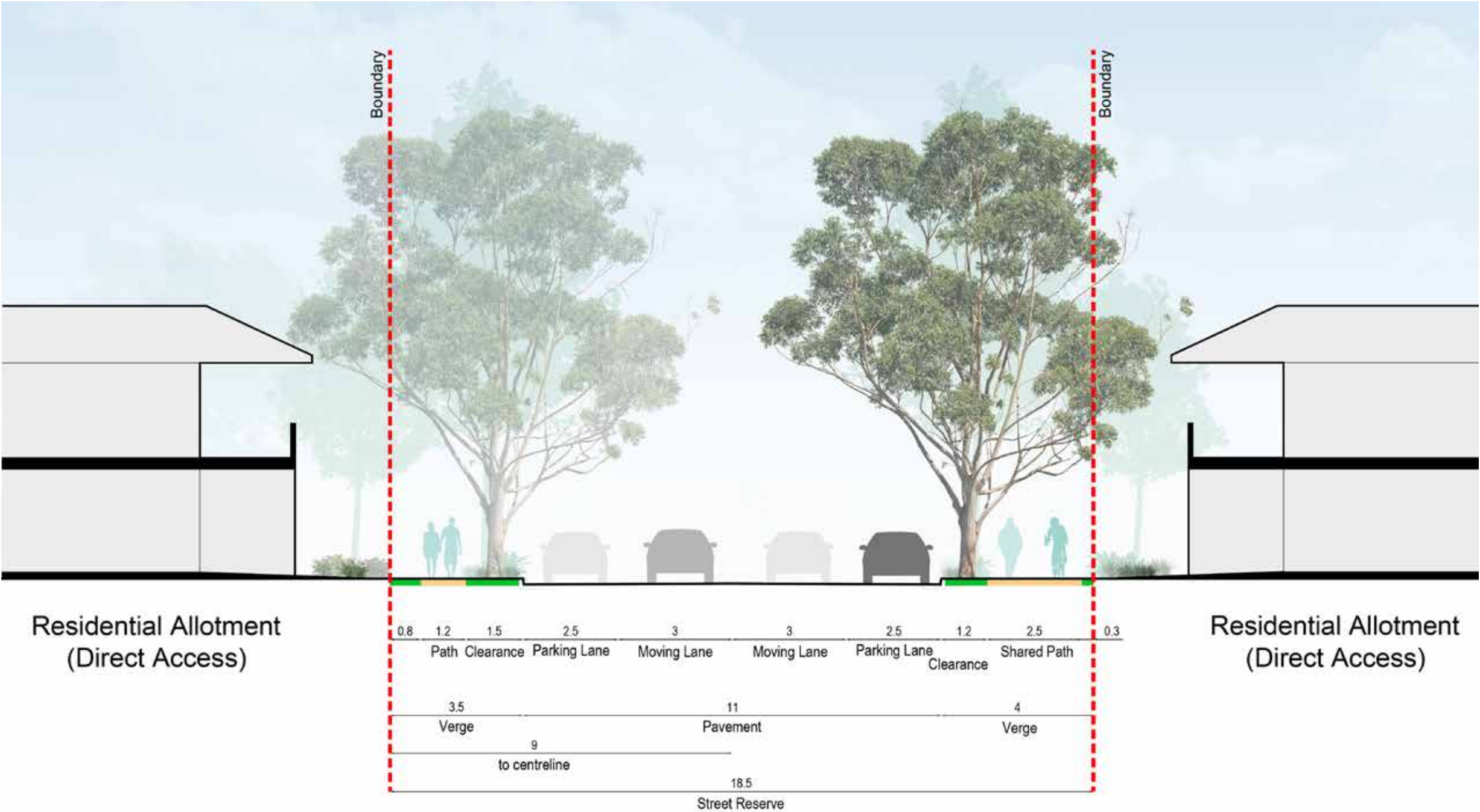
Plan Symbol: _____

Main Street - 20.9m Reserve



Plan Symbol: —————

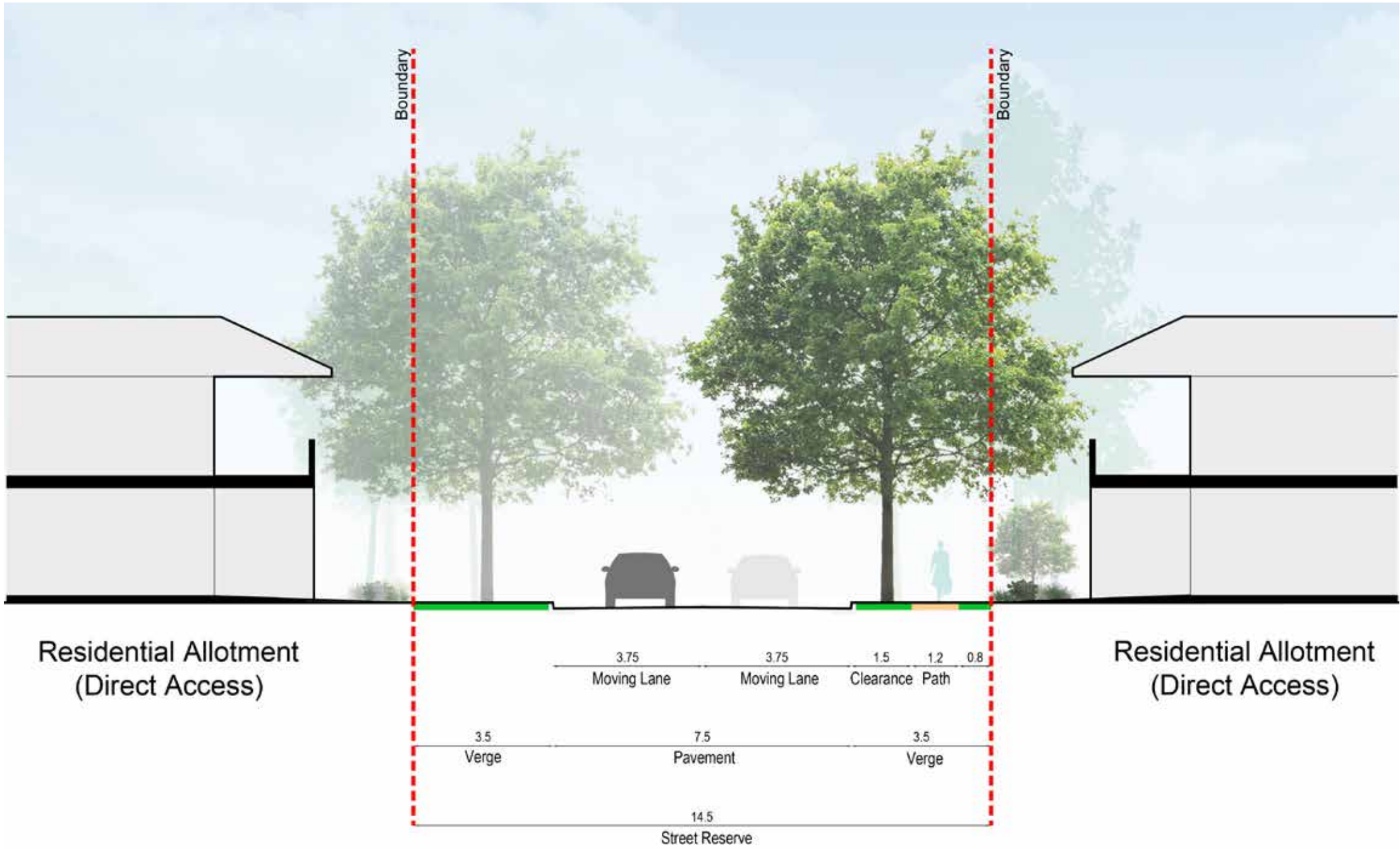
Neighbourhood Connector Street - 18.5m Reserve



Plan Symbol: 

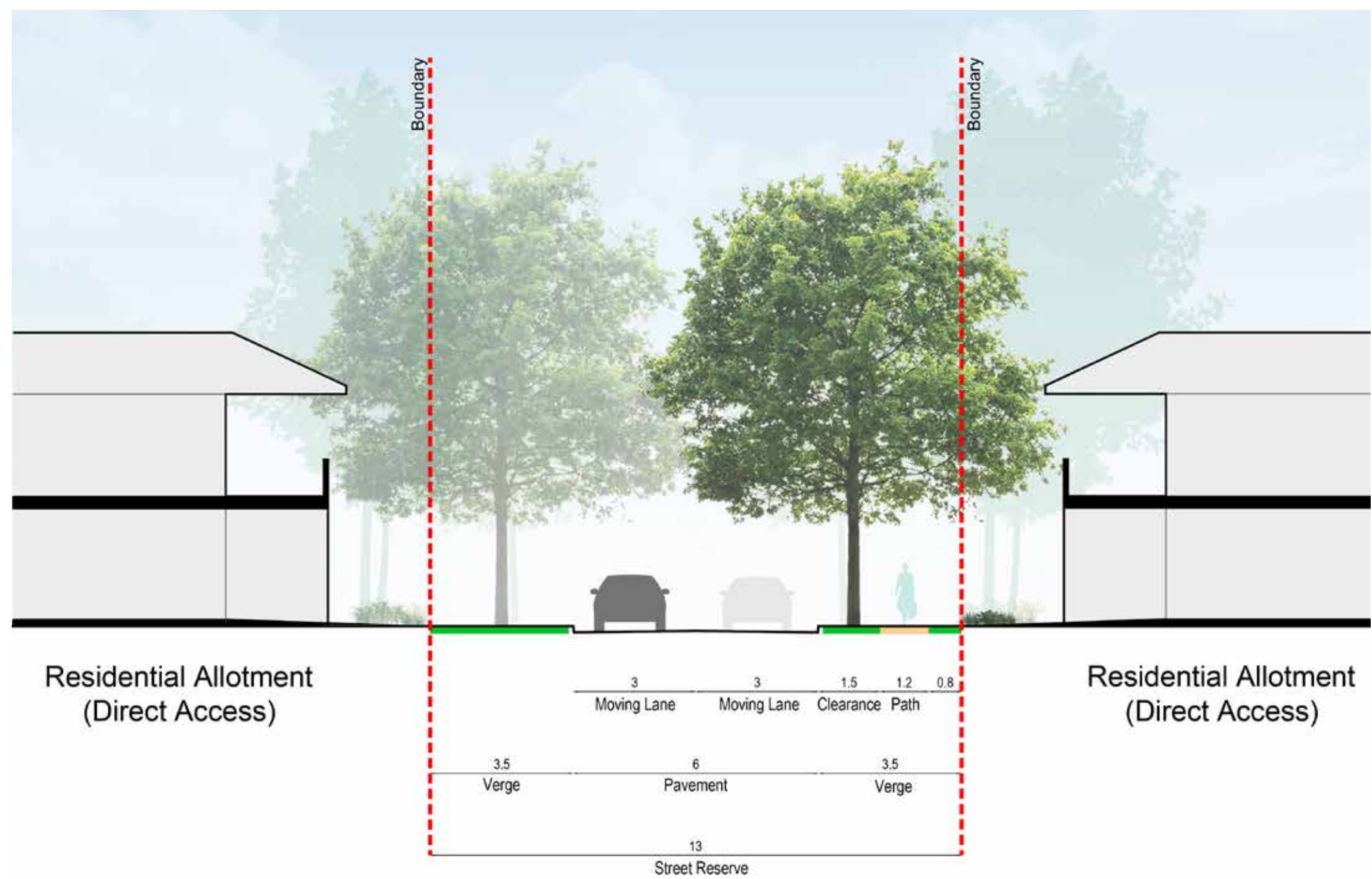
5.4 ACCESS STREETS

Access Street - 14.5m Reserve



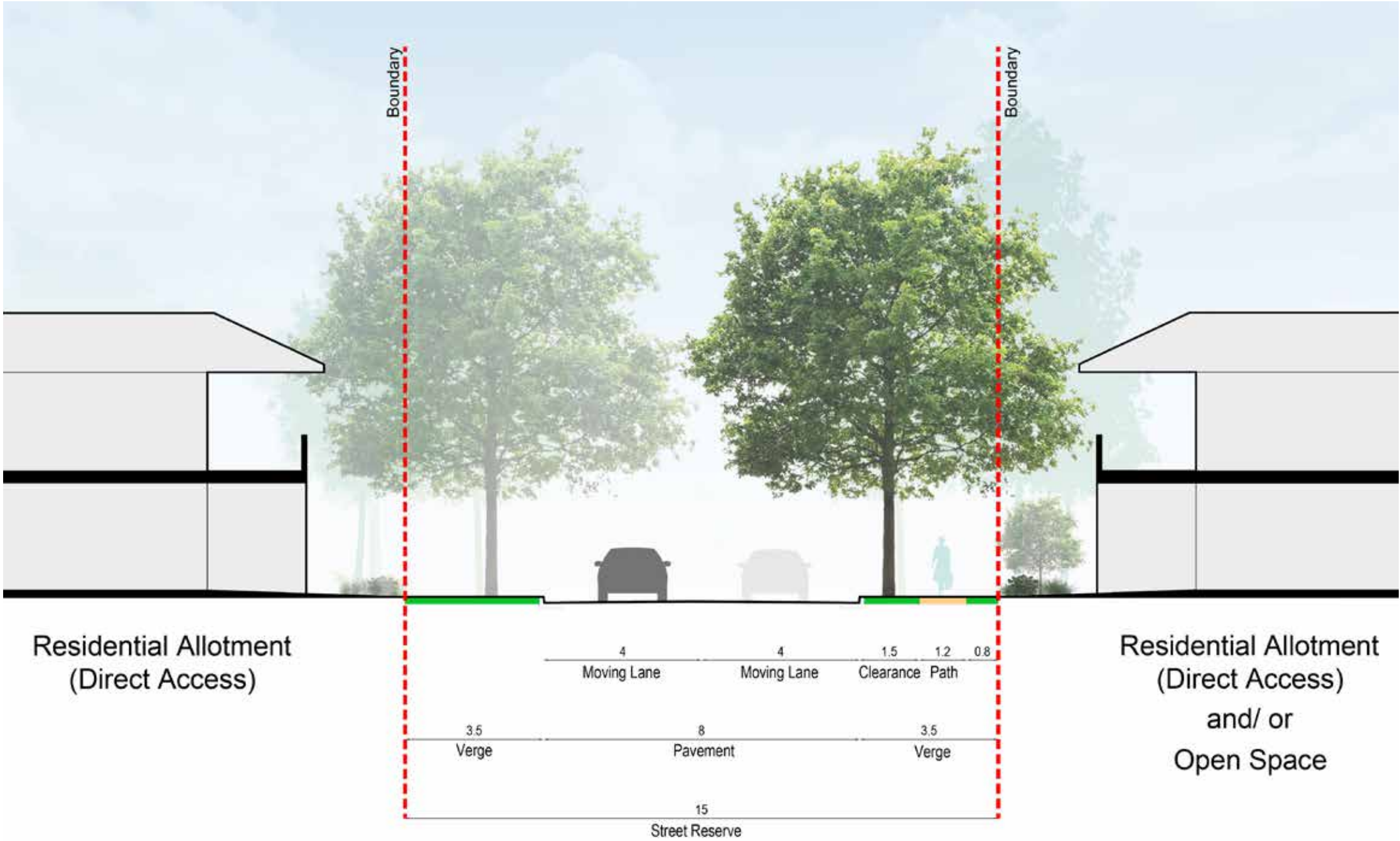
Plan Symbol: 

Narrow Access Street - 13.0m Reserve



Plan Symbol:

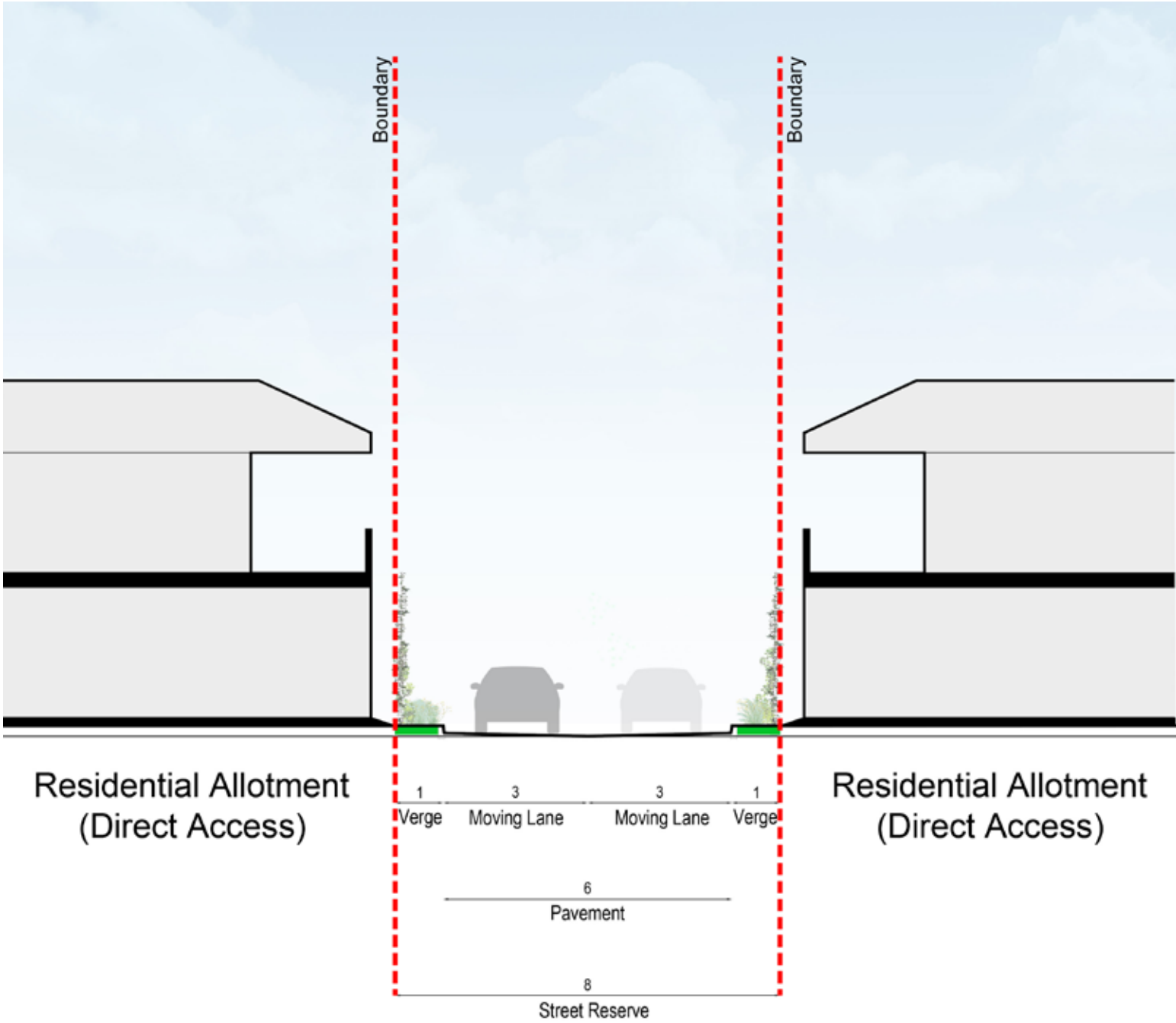
Esplanade Perimeter Street - 15.0m Reserve



Plan Symbol:

5.5 ACCESS LANEWAY

Access Laneway - 8m Reserve



Plan Symbol:

Bushfire Trail - 10m Reserve

The diagram illustrates a street reserve layout with the following components and dimensions:

- Conservation Open Space:** Located on the left side of the street reserve, featuring a cluster of trees.
- Street Reserve:** The central area, bounded by red dashed lines labeled "Boundary". It contains a "Shared Moving Lane" and a "Sealed Pavement" area.
- Residential Allotment (No Direct Access):** Located on the right side of the street reserve, featuring a house and a tall tree.
- Dimensions:**
 - The "Shared Moving Lane" is 6 units wide.
 - The "Sealed Pavement" is 6 units wide.
 - The "Verge" on the left is 2 units wide.
 - The "Verge" on the right is 2 units wide.
 - The total "Street Reserve" width is 10 units.

Plan Symbol: 



6.0

**TOPOGRAPHIC
RESPONSE**

6.1 SECTION A

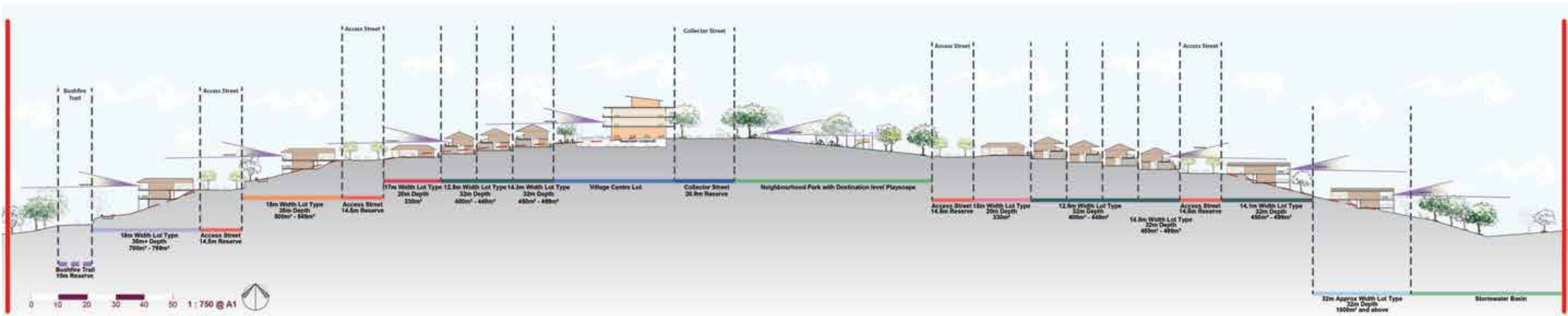


LEGEND

■ ■ ■ Allotment Boundary



6.2 SECTION B

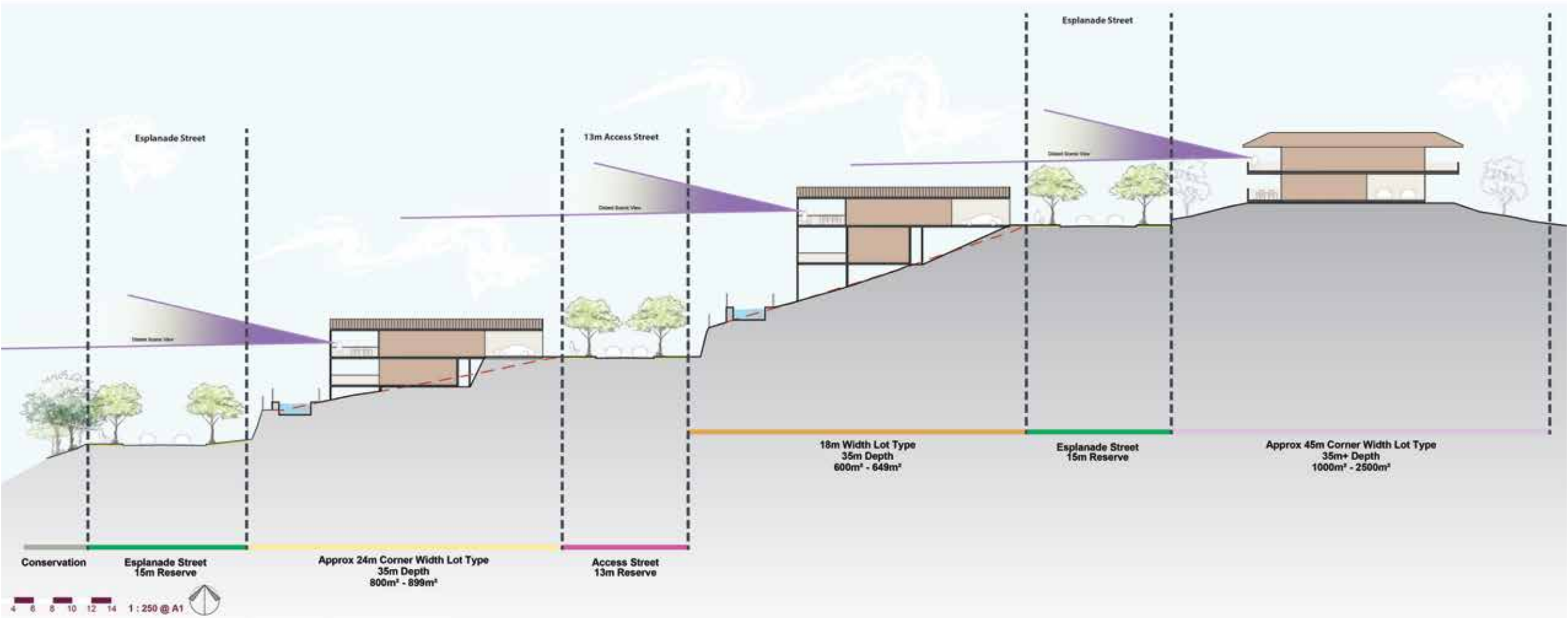


LEGEND

- ■ ■ Allotment Boundary
- Site Boundary



6.3 SECTION C

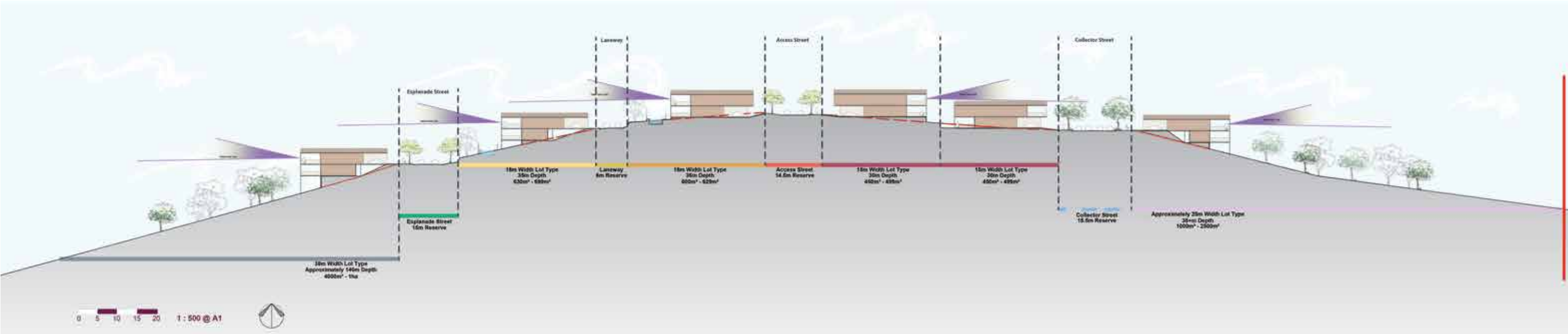


LEGEND
■ ■ ■ Allotment Boundary



INDICATIVE ONLY

6.4 SECTION D



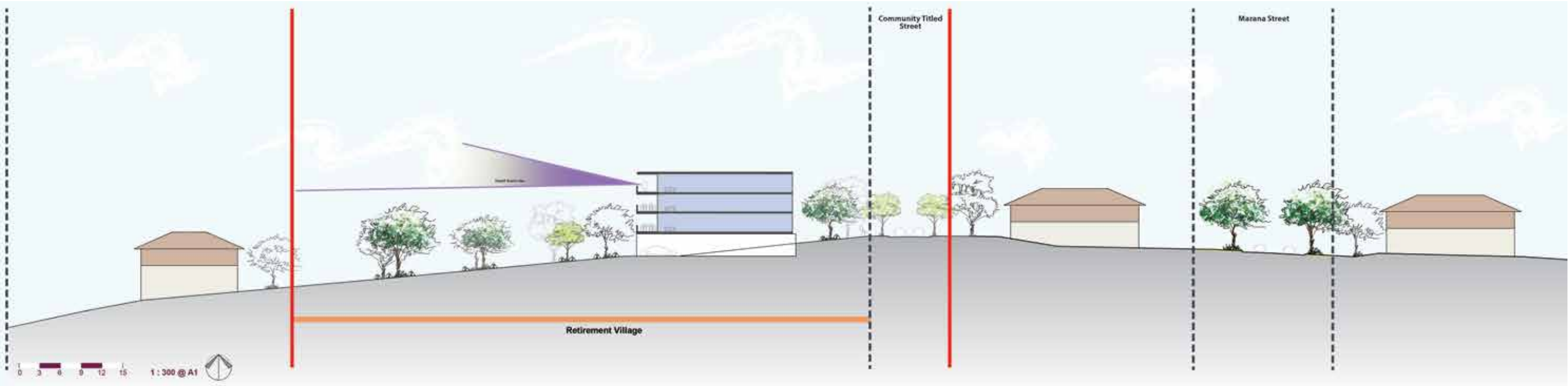
LEGEND

- ■ ■ Allotment Boundary
- Site Boundary



INDICATIVE ONLY

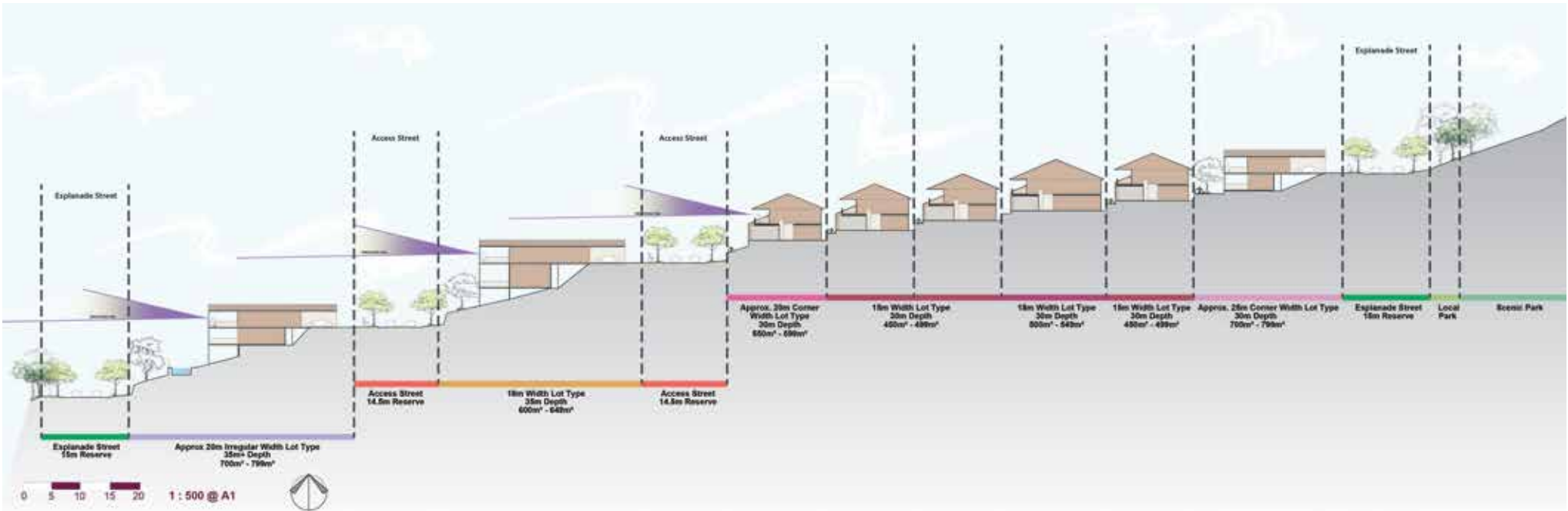
6.5 SECTION E



LEGEND
■ ■ ■ Allotment Boundary
■ Site Boundary

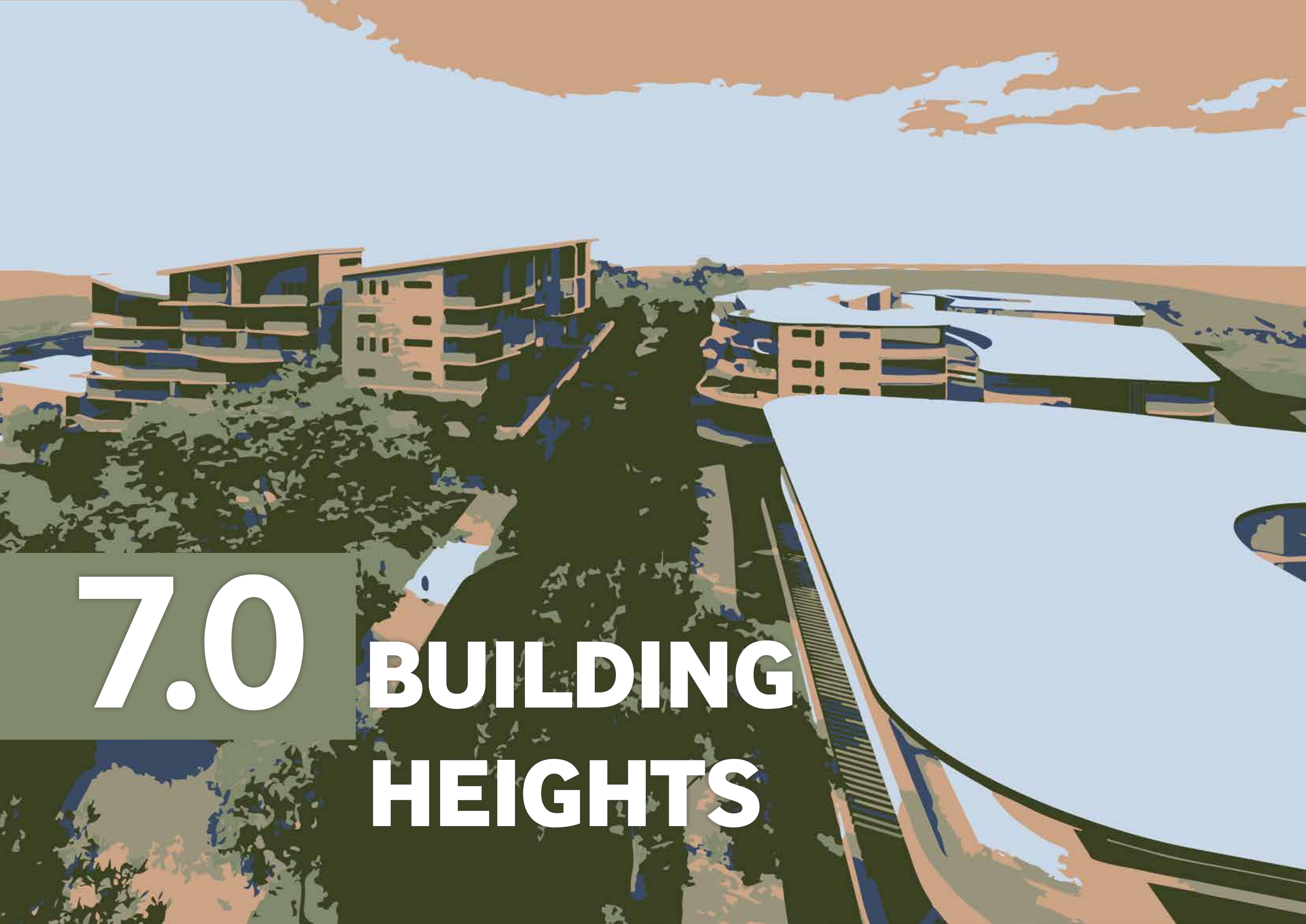


6.6 SECTION F



LEGEND
■ ■ ■ Allotment Boundary



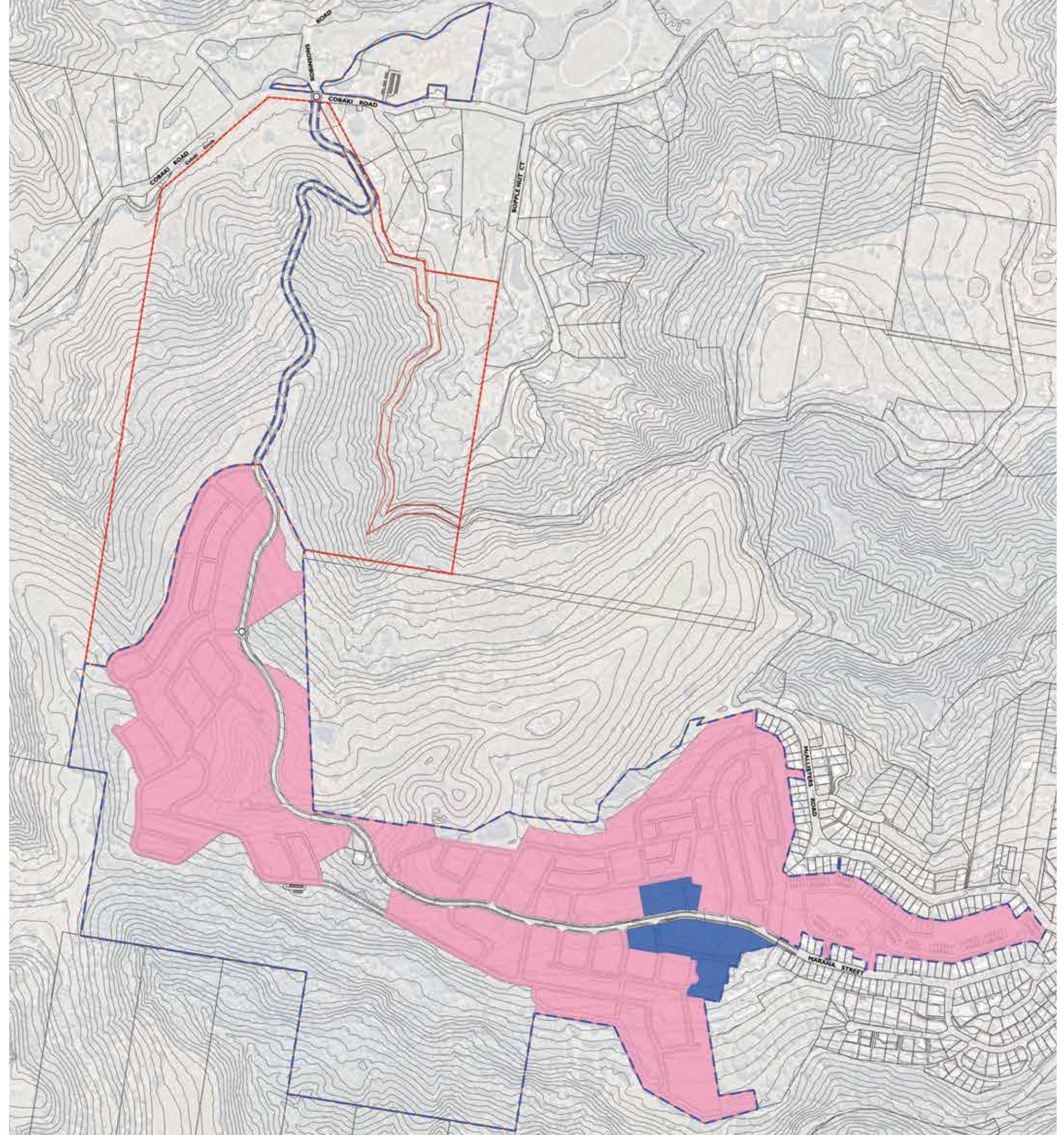


7.0 BUILDING HEIGHTS

7.1 BUILDING HEIGHTS PLAN

Legend

- Subject Site
- Application Boundary
- Up to 6 Storeys & 19m
- Up to 4 Storeys & 13.6m





8.0

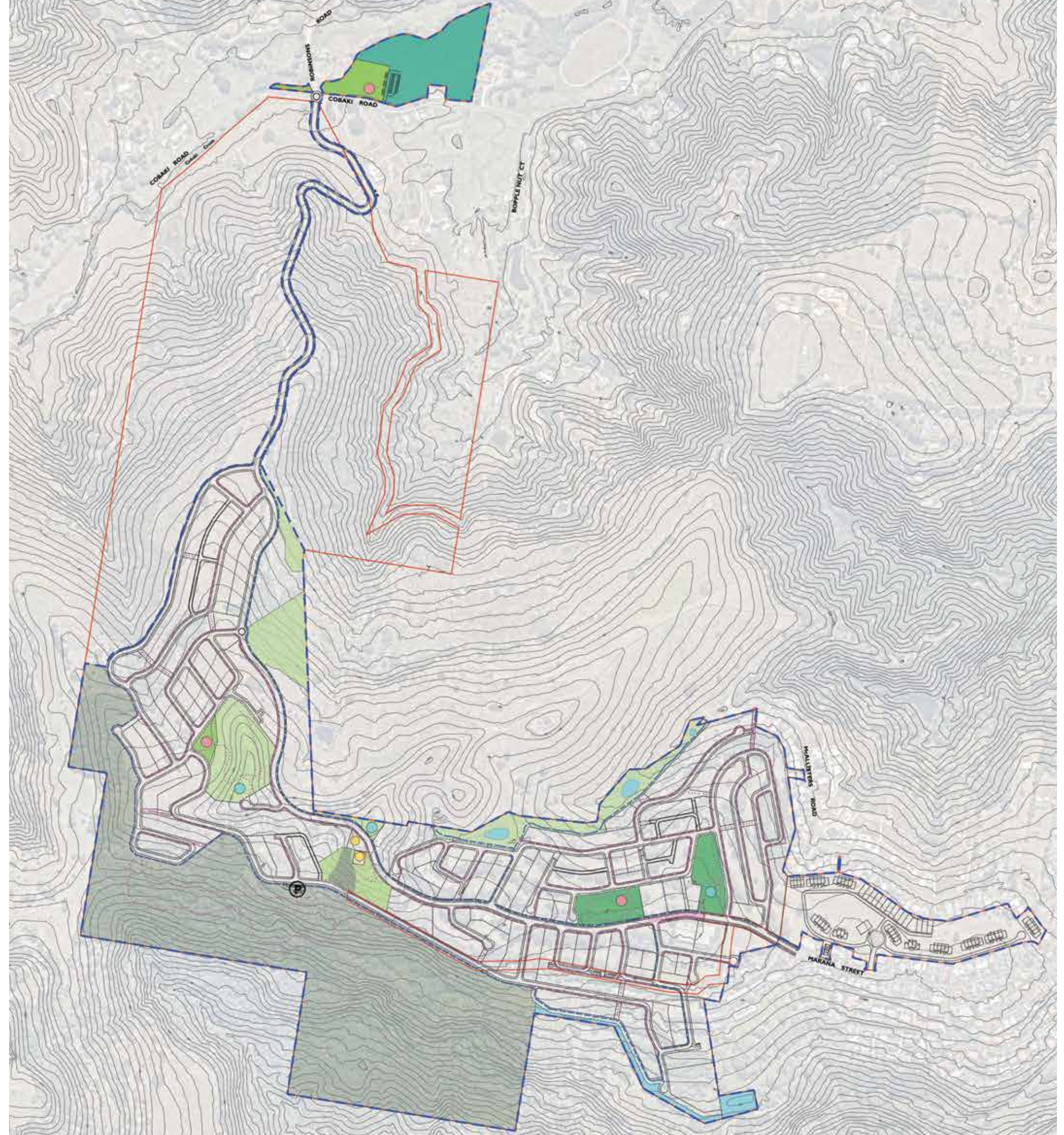
COMMUNITY

FACILITIES

8.1 COMMUNITY FACILITIES PLAN

Legend

- Site Boundary
- Existing Contours (5m Interval)
- - - Application Boundary
- Shared Cycle Path
- Primary Pedestrian Footpaths
- . . . Pedestrian Path Through Open Space
- P Carpark for Visitors to Forest Walk
- Playspace
- Scenic Outlook & Viewshed
- Reservoir
- Retail Main Street
- Conservation Area
- Potential Neighbourhood Park
- Potential Structured Open Space
- Potential Local Park
- Potential Open Space
- Potential Waterbody/ Stormwater Treatment



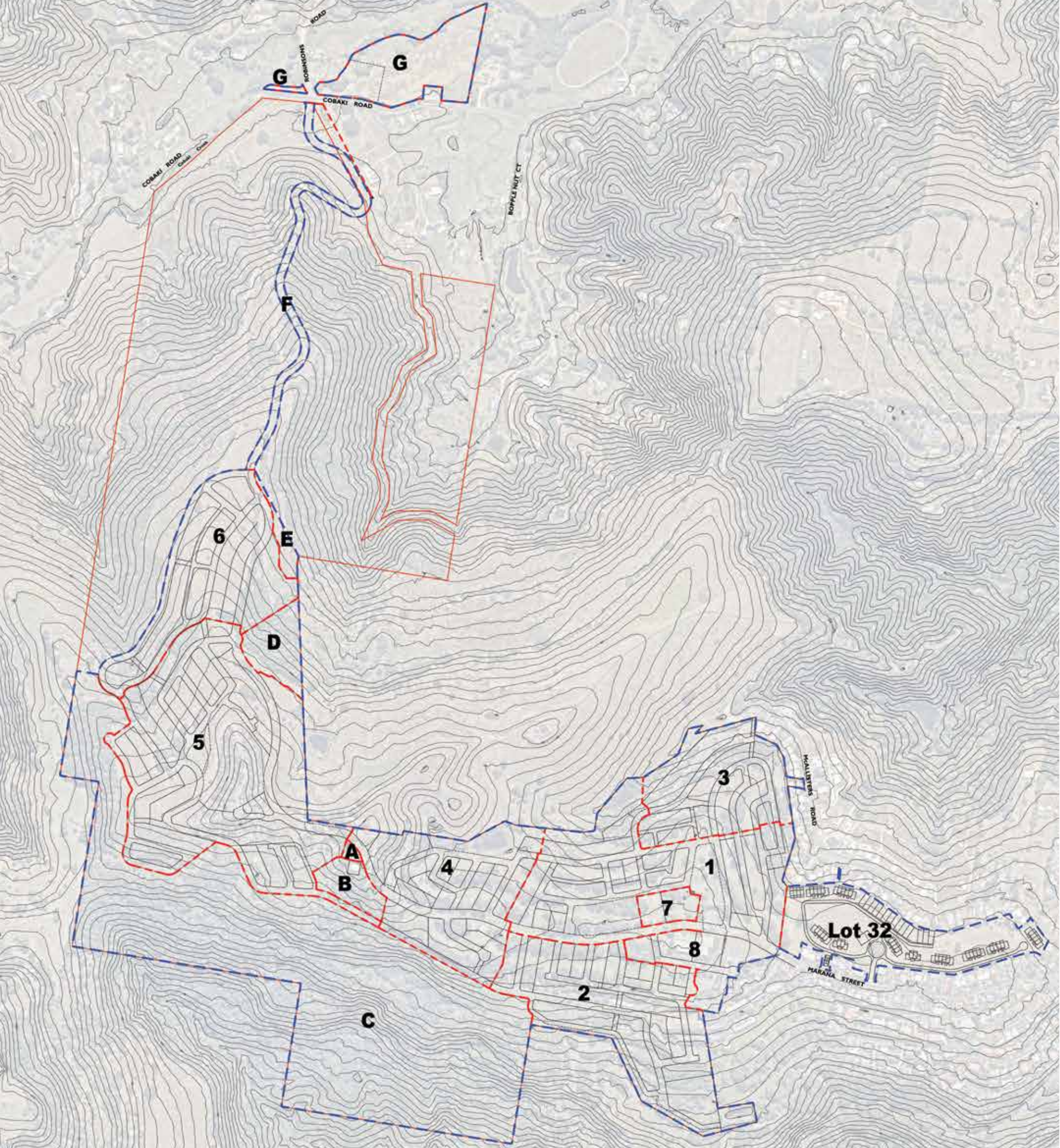


9.0 STAGING

9.1 STAGING PLAN

Legend

- Site Boundary
 - Existing Contours (5m Interval)
 - Application Boundary
 - Stage Boundary
 - 1 to 6 Residential/ Village Precinct Staging
 - A to G Open Space Precinct Staging
- Timing of open space precincts will generally follow the timing of adjoining residential precincts. This may involve sub-staging Precinct C.





APPENDICES



DESIGN CODE FOR PRECINCTS A, C, & D

DRAFT IN PROGRESS

DESIGN CODE

1/11/2024
[ISSUE D]
AU12122

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1.0 DESIGN CODE FOR DEVELOPMENT IN PRECINCTS A, C & D

1.1 APPLICATION OF THIS DESIGN CODE

This Design Code is applicable for all development, unless specified as exempt or complying development pursuant to the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, within the boundaries the Major Project (Concept Plan) Approval No. 08_0234 for Elysian, formerly known as the 'Rise', located at Marana Street, Bilambil Heights NSW 2486 (formally described as Lot 32//DP1085109, Lot 33//DP1085109, Lot 31//DP850230, Lot 2//DP867486, Lot 4//DP822786, Lot 1//DP1033807, Lot 1//DP595529 and Lot 1//DP1033810, Lot 2//DP1156202 and Lot 1//DP1033811).

1.2 PERMITTED LAND USES

Land Use Table:
Table from RPS Planning

PRECINCT	1 OBJECTIVES OF PRECINCT	2 PERMITTED WITHOUT CONSENT	3 PERMITTED WITH CONSENT	4 PROHIBITED
PRECINCT A VILLAGE CENTRE	<ul style="list-style-type: none">• To provide a range of retail, business and community uses that serve the needs of people who live in, work in or visit the area.• To encourage investment in local commercial development that generates employment opportunities and economic growth.• To enable range of residential development types that contributes to a vibrant and active village centre.• To encourage business, retail, community and other non-residential land uses on the ground floor of buildings.• To provide for tourism and residential opportunities that contribute to the vitality of the village centre.• To encourage development that promotes a sense of place and focal points for the local community.	Environmental protection works; home occupations.	Business premises; centre-based child care facilities; community facilities; educational establishments; entertainment facilities; food and drink premises; function centres; home businesses; home industries; hostels; hotel or motel accommodation; information and education facilities; office premises; passenger transport facilities; recreation areas; recreation facilities (indoor); registered clubs; residential flat buildings; retail premises; roads; seniors housing; shop top housing; water supply systems.	Development is prohibited unless it is permitted by subsection (2) or (3).
PRECINCT B RETIREMENT LIVING	<ul style="list-style-type: none">• to provide for the housing needs of the community,• to provide for a variety of housing types and densities,• to enable other land uses that provide facilities or services to meet the day to day needs of residents.	Environmental protection works; home occupations.	Attached dwellings; centre-based child care facilities; community facilities; dwelling houses; educational establishments; environmental facilities; food and drink premises; group homes; health consulting rooms; home businesses; home industries; hostels; kiosks; markets; multi dwelling housing; neighbourhood shops; places of public worship; public administration buildings; recreation areas; recreation facilities (indoor); recreation facilities (outdoor); residential flat buildings; roads; semi-detached dwellings; seniors housing; shop top housing; shops; tourist and visitor accommodation; water supply systems.	Development is prohibited unless it is permitted by subsection (2) or (3).

PRECINCT	1 OBJECTIVES OF PRECINCT	2 PERMITTED WITHOUT CONSENT	3 PERMITTED WITH CONSENT	4 PROHIBITED
PRECINCT C LOW DENSITY – HOUSING AND PRECINCT D HILLTOP VILLAGE	<ul style="list-style-type: none"> To provide for the housing needs of the community within a residential environment. To provide a variety of housing types within a residential environment. To enable other land uses that provide facilities or services to meet the day to day needs of residents. 	Environmental protection works; dwelling houses; home occupations; secondary dwelling.	Attached dwellings; centre-based child care facilities; community facilities; dwelling houses; educational establishments; environmental facilities; food and drink premises; group homes; health consulting rooms; home-based child care; home businesses; home industries; hostels; kiosks; markets; multi dwelling housing; neighbourhood shops; places of public worship; public administration buildings; recreation areas; recreation facilities (indoor); recreation facilities (outdoor); residential flat buildings; roads; semi-detached dwellings; seniors housing; shop top housing; shops; tourist and visitor accommodation; water supply systems.	Any development not specified in item 2 or 3.
PRECINCT E RESERVE	<ul style="list-style-type: none"> To enable land to be used for public or private infrastructure and services and associated compatible land uses 	Environmental facilities; environmental protection works.	Car parks; roads; public reserve; public utility undertaking; rainwater tank; recreation area; water reticulation system; water storage facility; water supply system.	Any development not specified in item 2 or 3.
PRECINCT F OPEN SPACE	<ul style="list-style-type: none"> To enable land to be used for public open space or recreational purposes. To provide a range of recreational settings and activities and compatible land uses. To protect and enhance the natural environment for recreational purposes. 	Environmental facilities; environmental protection works.	Agriculture; aquaculture; biosolids treatment facilities; car parks; community facilities; emergency services facilities; entertainment facilities; flood mitigation works; information and education facilities; kiosks; markets; recreation areas; recreation facilities (indoor); recreation facilities (major); recreation facilities (outdoor); restaurants or cafes; roads; roadside stalls; sewage treatment plants; signage; take away food and drink premises; water recycling facilities; water supply systems.	Any development not specified in item 2 or 3.
PRECINCT G CONSERVATION	<ul style="list-style-type: none"> to protect, manage and restore areas of high ecological, scientific, cultural or aesthetic values, to prevent development that could destroy, damage or otherwise have an adverse effect on those values. 	Environmental protection works.	Environmental facilities; roads; recreation area.	Business premises; hotel or motel accommodation; industries; multi dwelling housing; recreation facilities (major); residential flat buildings; retail premises; seniors housing; service stations; warehouse or distribution centres. Any other development not specified in item 2 or 3.

PRECINCT	1 OBJECTIVES OF PRECINCT	2 PERMITTED WITHOUT CONSENT	3 PERMITTED WITH CONSENT	4 PROHIBITED
PRECINCT H STRUCTURED OPEN SPACE	<ul style="list-style-type: none">• To enable land to be used for private open space or recreational purposes.• To provide a range of recreational settings and activities and compatible land uses.• To protect and enhance the natural environment for recreational purposes.	Environmental facilities; environmental protection works.	Agriculture; aquaculture; biosolids treatment facilities; car parks; community facilities; emergency services facilities; entertainment facilities; flood mitigation works; information and education facilities; kiosks; markets; recreation areas; recreation facilities (indoor); recreation facilities (major); recreation facilities (outdoor); restaurants or cafes; roads; roadside stalls; sewage treatment plants; signage; take away food and drink premises; water recycling facilities; water supply systems.	Any development not specified in item 2 or 3.

1.3 DEVELOPMENT AND DWELLING TYPES

Development Typologies

Precinct A: Village Centre:

- Mixed Use Development including Short Term Accommodation: 3-4 storeys and 5-6 storeys
- Retail/ Commercial Development
- Community Centre
- Multi-Residential (Apartments)
- Town Homes – Community Title

Precinct C: Low Density Housing:

- Town Homes – Community Title
- Single Family Dwellings
- Duplex and Triplex Dwellings
- Secondary Dwellings

Precinct D: Hilltop Village:

- Single Family Dwellings
- Duplex and Triplex Dwellings
- Secondary Dwellings

Building Height

Applicable building height is limits are shown below for each Precinct and is measured from the existing finished ground level:

PRECINCT	HEIGHT	STOREYS
A: VILLAGE CENTRE	19m	6
C: LOW DENSITY HOUSING	13.6m	4
D: HILLSLOPE	13.6m	4

1.4 DESIGN CONTROLS FOR SINGLE FAMILY DWELLINGS

1.4.1 SINGLE FAMILY DWELLING ALLOTMENT TYPES

The design code anticipates the following allotment types for single family dwellings:

All lot types may accommodate a secondary dwelling provided the relevant design controls for secondary dwellings are met.

STANDARD LOTS	Accommodate single detached dwellings with only non-habitable rooms able to be built to boundary on one side boundary. Lots are near to level with or sit above street level.
NARROW LOTS (TERRACE AND ROW HOUSING)	Accommodate single detached dwellings with both habitable rooms and non-habitable rooms able to be built to boundary on one or more boundaries.
HILLSLOPE LOTS	Accommodate single detached dwellings on lots that slope downward from their street or laneway frontage and are not built to boundary.

1.4.2 CONTROLS FOR STANDARD LOTS

Dwellings on these lots address a primary street frontage with vehicle access from the same frontage. Dwelling on Corner lots may alternatively address the secondary street frontage with vehicle access from either frontage.

Typical lot types and frontage widths and depths for Standard lots:

LOT TYPE	MINIMUM FRONTAGE	TYPICAL DEPTH	MINIMUM AREA
VILLA	10.5m	25-32m	260m²
PREMIUM VILLA	12.5m	25-32m	310m²
COURTYARD	14m	25-32m	350m²
PREMIUM COURTYARD	16m	25-32m	400m²
TRADITIONAL	18m	25-32m	450m²
PREMIUM TRADITIONAL	20m+	25-32m	500m²

NOTE: CORNER LOTS ARE TYPICALLY 1M WIDER TO ALLOW FOR THE SECONDARY STREET SETBACK.

Lot Size and Shape Requirements

To ensure lots support efficiency and flexibility in the design of dwellings the following controls are required to be met:

- Lot shapes are as regular as possible and have a frontage to depth ratio greater than 1:3 Where a lot does not meet this requirement, it must meet the requirements for irregular shaped lots
- Lots less than 450m² area must be located within 800m of the Village Centre or within 400m of a Local or Neighbourhood Park.
- On corner lots, frontage is measured behind the corner truncation parallel to the primary frontage.

Irregular Shaped Lots

- The minimum street frontage width for irregular shaped lots is 6m.
- The lot must be able to contain a building envelope rectangular in shape min. 8m wide x 18m deep outside required boundary setbacks.
- Frontage width for determining controls for irregular shaped lots is the effective frontage width measured 6m back from the primary frontage along the adjoining side boundaries of the lot.
- Where these requirements are not met, typical dwelling plans are required to be submitted to illustrate how the proposed allotment can deliver a functional and efficient dwelling design that meets the requirements of this design code.

Battle Axe Lots

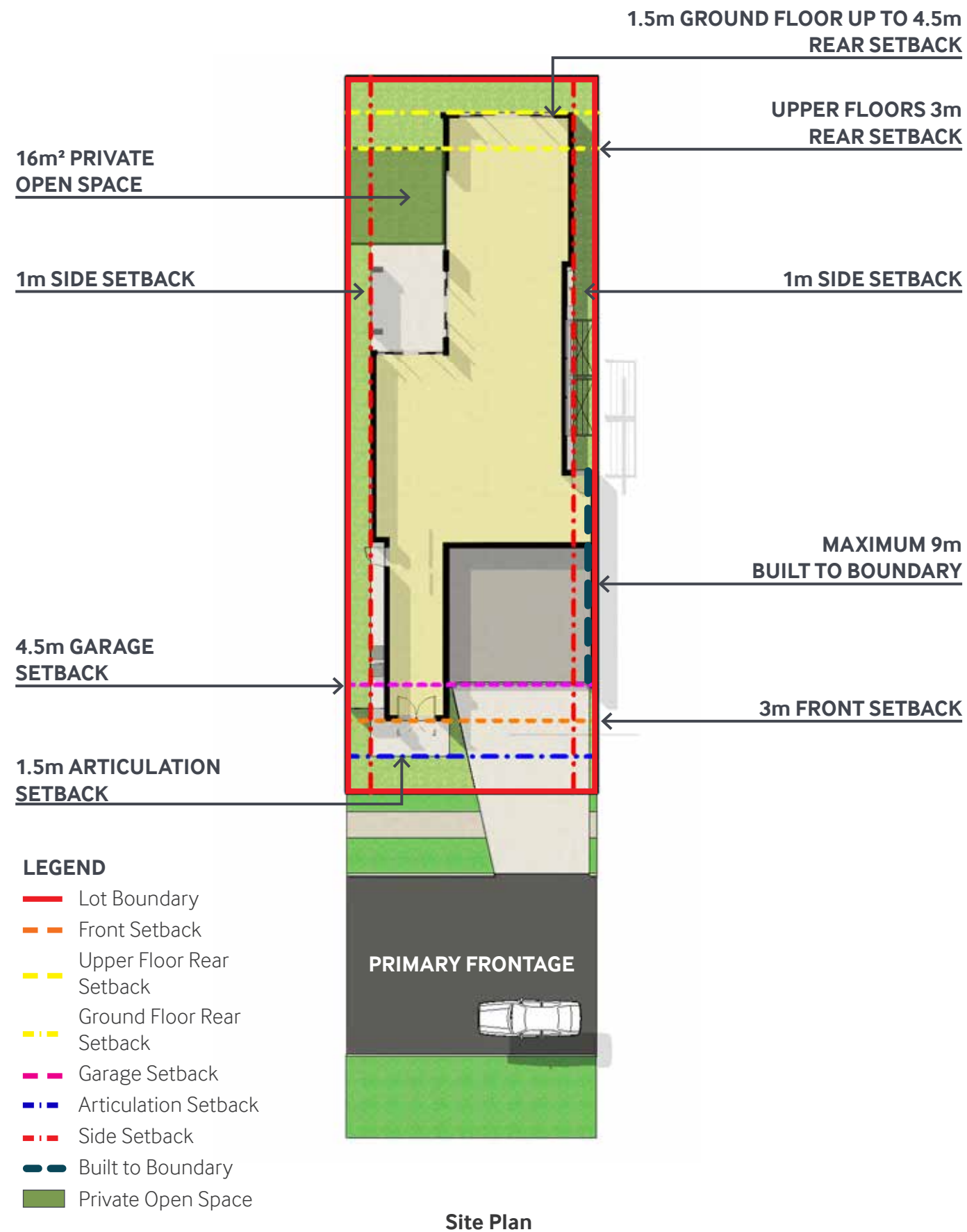
- Must have a minimum width of the access handle of 3m
- Access handle may have a maximum length of 40m
- The shape of the lot excluding the access handle must meet the requirements for regular or irregular shaped lots excluding frontage requirements.
- Frontage width for determining controls for battle axe lots is the effective frontage width measured 6m back from the internal end of the access handle along the adjoining side boundaries of the lot.

Boundary Setbacks

Boundary Setbacks for Single Family Dwellings on Standard Allotments:

LOT TYPE	VILLA	PREMIUM VILLA	COURTYARD	PREMIUM COURTYARD	TRADITIONAL	PREMIUM TRADITIONAL
FRONTAGE:	10.5m-<12.5m	12.5m-<14m	14-15m	16-<18m	18m-<20m	20m+
SETBACK:						
PRIMARY STREET FRONTAGE						
Wall~	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Garage^	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m
SECONDARY STREET FRONTAGE						
Wall~	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m
Garage^	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m
REAR BOUNDARY						
Wall up to 4.5m high	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Wall 4.5m high and above	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
SIDE SETBACK						
Built to Boundary wall permitted*	Yes	Yes	Yes	Yes	Yes	No
Where Built to Boundary:	min. 0.025m	min. 0.025m	min. 0.025m	min. 0.025m	min. 0.025m	n/a
Where Not Built to Boundary:	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m

NOTES:
ALL BOUNDARY SETBACKS ARE A MINIMUM AND ARE MEASURED TO THE WALL OF THE DWELLING. EAVES MAY EXTEND INTO THE BOUNDARY SETBACK PROVIDED MINIMUM REQUIREMENTS FOR FIRE SEPARATION ARE MET.
* BUILT TO BOUNDARY WALLS ARE PERMITTED ONLY WHERE INDICATED ON A PLAN OF DEVELOPMENT.
^ 4.5M FOR A DOUBLE GARAGE AND 5.5M FOR A SINGLE GARAGE.
~ FRONT PORCHES, VERANDAS, DECKS, ALFRESCO AREAS, BAY WINDOWS, EAVES MAY EXTEND INTO THE STREET SETBACK UP TO 1.5M FROM THE STREET BOUNDARY.

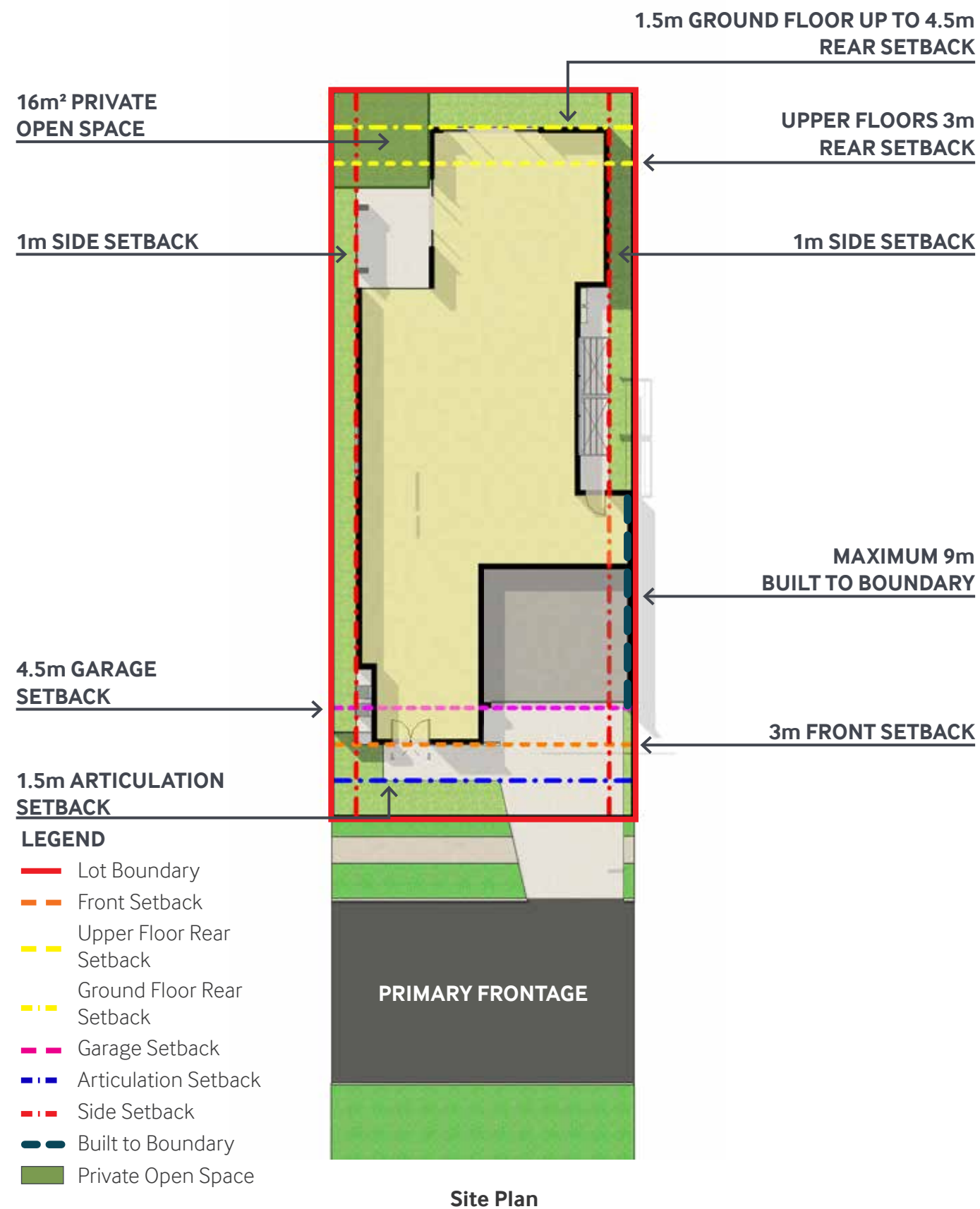


Front Perspective



Rear Perspective

TYPICAL STANDARD LOT - DWELLING RESPONSE - VILLA LOT

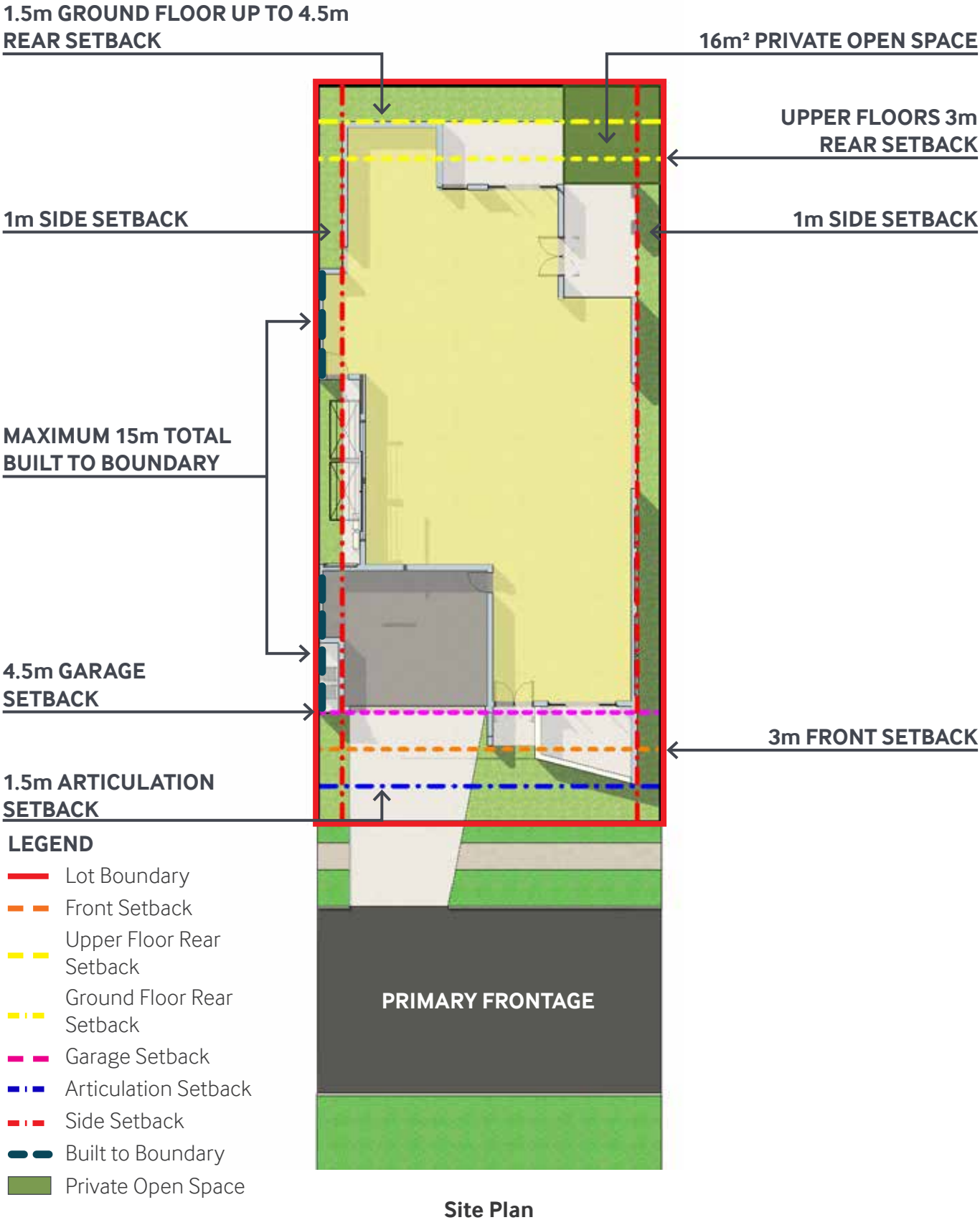


Front Perspective



Rear Perspective

TYPICAL STANDARD LOT - DWELLING RESPONSE - PREMIUM VILLA LOT



TYPICAL STANDARD LOT - DWELLING RESPONSE - COURTYARD LOT



Front Perspective



Rear Perspective

1.5m GROUND
FLOOR UP TO 4.5m
REAR SETBACK

1.5m
ARTICULATION
SETBACK

2m SECONDARY
FRONT SETBACK

16m² PRIVATE OPEN

4.5m GARAGE
SETBACK

UPPER FLOORS 3m
REAR SETBACK

1m SIDE SETBACK

MAXIMUM 15m
TOTAL BUILT
TO BOUNDARY

3m FRONT SETBACK

1.5m
ARTICULATION
SETBACK

LEGEND

- Lot Boundary
- Front Setback
- Upper Floor Rear Setback
- Ground Floor Rear Setback
- Garage Setback
- Articulation Setback
- Side Setback
- Built to Boundary
- Private Open Space

PRIMARY FRONTAGE

Site Plan

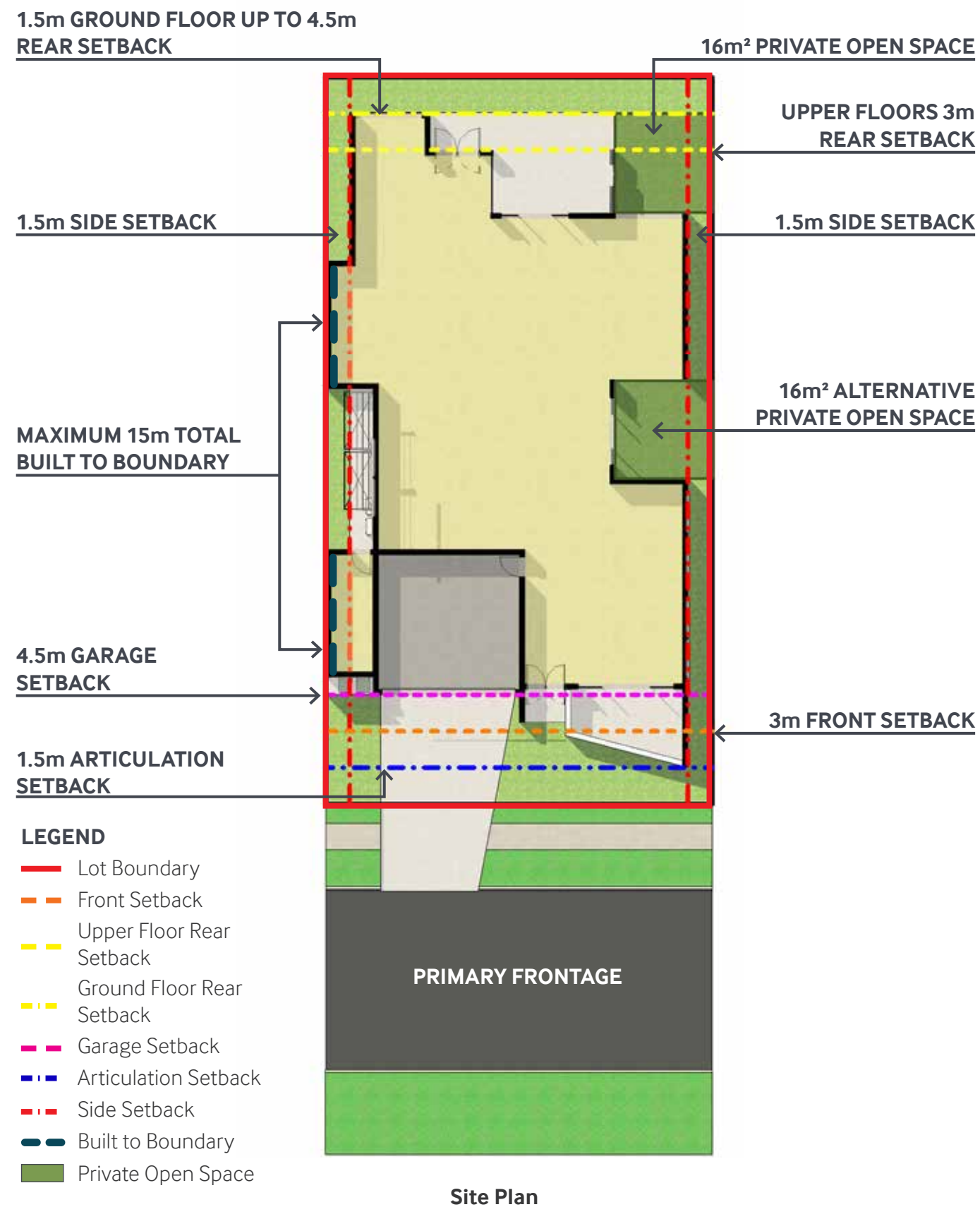


Front Perspective



Rear Perspective

TYPICAL STANDARD LOT - DWELLING RESPONSE - CORNER LOT

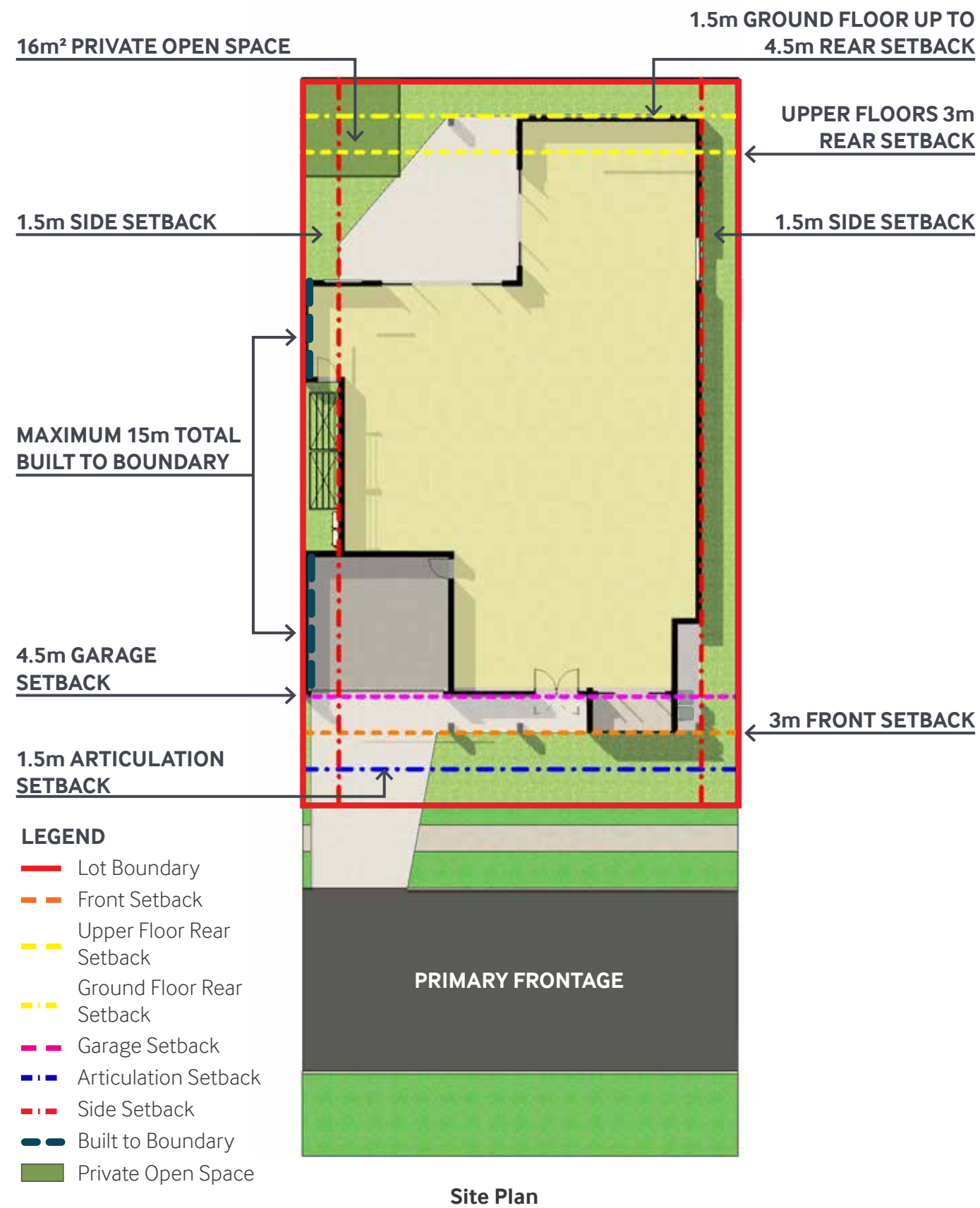


Front Perspective



Rear Perspective

TYPICAL STANDARD LOT - DWELLING RESPONSE - PREMIUM COURTYARD LOT

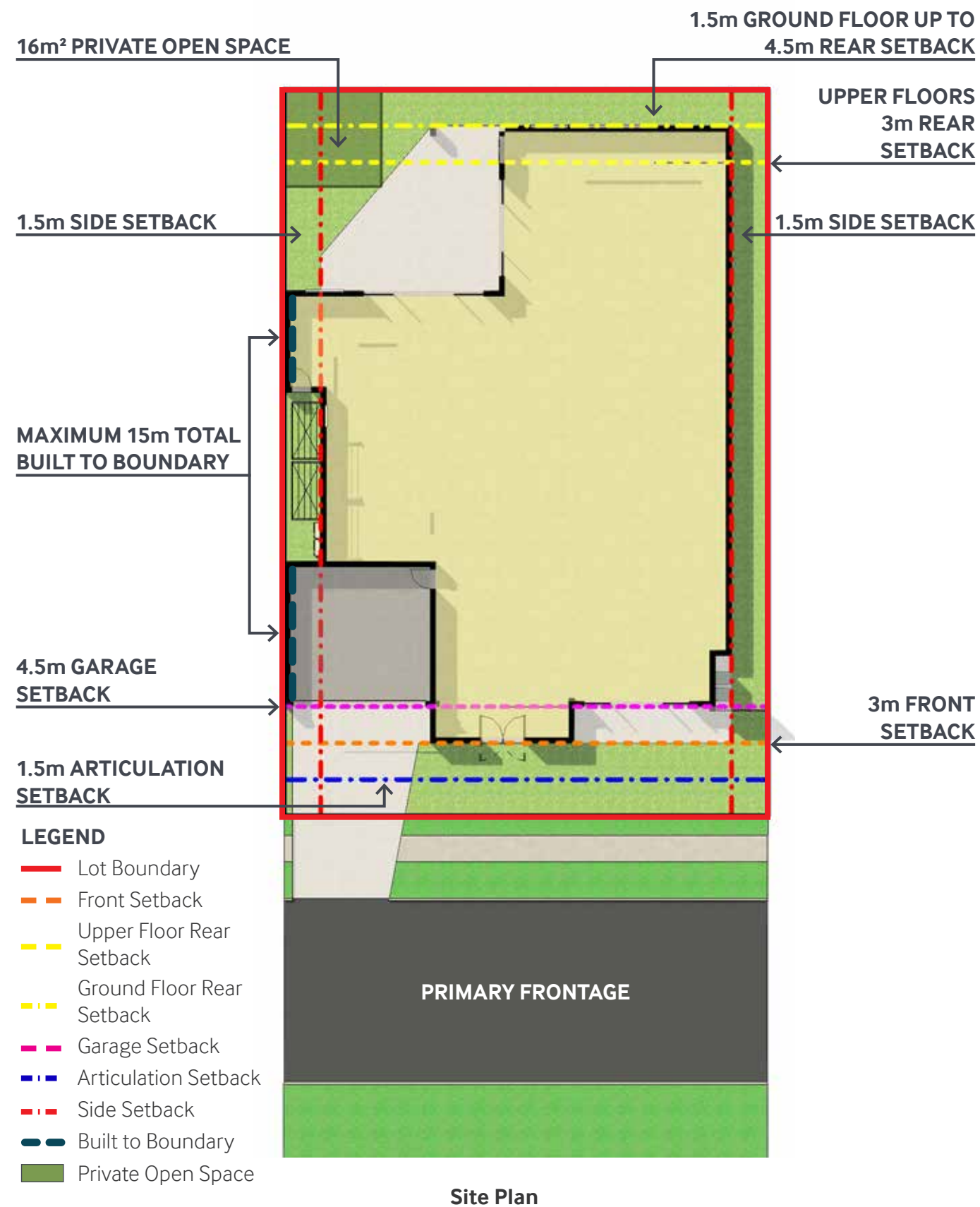


Front Perspective



Rear Perspective

TYPICAL STANDARD LOT - DWELLING RESPONSE - TRADITIONAL LOT



Front Perspective



Rear Perspective

TYPICAL STANDARD LOT - DWELLING RESPONSE - PREMIUM TRADITIONAL LOT

Built to Boundary Walls

Walls may be built to boundary where indicated on an approved plan of development. The length and height of built to boundary walls is limited to non-habitable rooms and may be split into two lengths of wall with a combined length up to the dimensions below:

LOT TYPE	VILLA	PREMIUM VILLA	COURTYARD	PREMIUM COURTYARD	TRADITIONAL	PREMIUM TRADITIONAL
FRONTAGE:	10.5m-<12.5m	12.5m-<14m	14-15m	16-<18m	18m-<20m	20m+
Length of Wall	9m	9m	15m	15m	15m	15m
Height of Wall	3.5m	3.5m	3.5m	3.5m	3.5m	3.5m

Building Site Cover

Building Site cover is limited to:

LOT AREA:	LESS THAN 350m²	350m² TO 450m²	450m² - 600m²	600m² AND ABOVE
Site Cover	75%	65%	60%	50%

Where lots have a designated building location envelope the envelope is the limiting factor and site cover controls do not apply.

Private Open Space

Private open space must be provided on each lot and meet the following requirements:

- Minimum 16m² provided in a single space within minimum dimension of 3m and a maximum grade of 1:20
- Adjoin a living area with a direct doorway and/or stair connection between living area and private open space
- Maybe be provided as an outdoor deck or rooftop space.
- External living areas, landscape areas and deep planting areas are not required.

Garages and Carports

The size of garages addressing primary and secondary frontage is limited per below:

LOT TYPE	VILLA	PREMIUM VILLA	COURTYARD	PREMIUM COURTYARD	TRADITIONAL	PREMIUM TRADITIONAL
FRONTAGE:	10.5m-<12.5m	12.5m-<14m	14-15m	16-<18m	18M-<20m	20m+
MAXIMUM GARAGE/ CARPORT WIDTH						
Single storey dwelling^	Single or Tandem	Double	Double	Double	Double	Double or Triple#
Two or more storey dwelling^	Double	Double	Double	Double	Double	Double or Triple#

^ MEASURED AT THE FRONTAGE WHERE THE GARAGE IS LOCATED.
TRIPLE GARAGES MUST HAVE A SEPARATE GARAGE DOOR FOR THE THIRD BAY RECESSED 1M BEHIND THE OTHER GARAGE DOOR/S.

Garages may be wider where the door/opening is perpendicular to or faces away from the street frontage/s.

Garages including basement and semi-basement must be set back at least 1m behind the main building façade.

Carports may extend up to 1.5m into the primary and secondary strewet setbacks provided they remain open on 2 sides including to the street frontage/s (without the fitting of a garage door).

Driveways

Driveway widths are limited to following according to the type of garage constructed. Where a garage faces perpendicular to or away from the primary/ secondary frontage it must still comply with the maximum dimensions below where it crosses the street verge:

DRIVEWAY WIDTHS	SINGLE OR TANDEM GARAGE/ CARPORT	DOUBLE GARAGE/ CARPORT	TRIPLE GARAGES WHERE PERMITTED
Maximum Driveway Width across street verge	3.0m	4.8m	4.8m

Combinations of garage and carport adjoining are considered equivalent to a garage/carport accommodating the same number of vehicles, unless in a tandem arrangement.

Rooftop Terraces and Rooftop Decks

Roof top terraces are permitted on all dwelling types. The requirements of the Tweed Shire Council DCP Part A 4.7 apply with the following exceptions:

Controls:

- Dwellings may have more than one rooftop terrace provided other controls are met.
- The area of rooftop terrace/s is not limited provided other controls are met.
- Enclosed rooms, including storage or toilets are permitted but are considered a storey, and must meet height limit requirements.

Boundary Fencing and Retaining Walls

Boundary fences and walls (excluding retaining walls) must provide adequate privacy while preserving passive overlooking of adjoining streets and open space and are limited in height:

FRONTAGE/ BOUNDARY:	PRIMARY STREET	SECONDARY STREET	SIDE AND REAR
Height above ground level/ retaining wall	1.2m unless screening the primary private open space where the fence may be 1.8m high	1.8m rear of the building line^ 1.2m forward of the building line^	1.8m

^ BUILDING LINE FOR THE PRIMARY FRONTAGE.

Boundary Fencing and Retaining Walls cont.

Where a boundary wall is constructed as part retaining wall and part screening wall, the limits above apply to the screening height of the wall only.

Retaining walls within the lot (at least 1m from a property boundary) are:

- limited to 1.5m in height unless terraced in max. 1.5m high increments (setback min. 1m apart to allow space for screen planting) or
- screened from view from adjoining lots and public streets and open space by: planting below the wall, vertical planting on an applied trellis structure, or boundary fencing within heights permitted above.

Retaining walls within the zone of influence of a boundary retaining wall must be certified by a registered structural engineer and not surcharge or structurally compromise the boundary retaining wall.

Storage Areas for Refuse Bins

An area sufficient to accommodate Council standard domestic and recycling refuse bins must be provided behind the building line of the laneway frontage or if no laneway the primary or secondary frontage and screened from view from street and open space frontages.

Secondary Dwellings and Dual Occupancy:

Dual Occupancy are permitted on Standard Lots where indicated on an approved plan of development. Where not indicated, dual occupancies are not permitted and require a Section 88B Instrument as part of the deposited plan to effect this restriction.

Secondary Dwellings:

- Are permitted on all Standard Lots provided other controls for dwellings on Standard Lots are met.
- Are limited in internal floor area to 100m²
- Have legible access from a primary or secondary street frontage
- Required carparking (refer Appendix B) may be separate to the secondary dwelling but with a legible access between carpark and dwelling.
- Are exempt from payment of contributions in accordance with Section 94 of the Environmental Planning and Assessment Act, 1979 and Section 64 of the Water Supply Authorities Act, 2000
- Have a separate private open space from the main dwelling’s which may be a deck, roof top terrace, or alfresco area min. 6m² and with min. dimension of 2m
- May adjoin the main dwelling
- Achieve privacy controls for dwellings on Standard Lots
- Have their own screened bin storage area accessible from the dwelling.

Visual and Acoustic Privacy

Dwellings (including secondary dwellings and Dual Occupancies) on Standard Lots must meet the following controls:

- Terraces, balconies, living room and kitchen windows are to avoid a direct view into neighbouring dwellings (including the main or secondary dwelling) or neighbouring private open space.
- Decks, verandahs, terraces, balconies and other external living areas within 4 metres from a side or rear boundary (or the main/secondary dwelling) may require a privacy screen unless it can be demonstrated that there will be negligible overlooking and/or privacy impacts, as demonstrated on a site analysis.
- Side windows are to be offset by distances sufficient to avoid visual connection between windows of the subject dwelling and those of the neighbouring dwelling. Location of existing adjoining property windows are to be documented on a site analysis where known at time of building application. Where this can't be achieved, a visual screen is fixed to the window of the dwelling to avoid visual connection.
- The location of external living areas, swimming pools, spas and other potential sources of noise transfer shall consider the proximity to and potential impacts on habitable rooms of adjoining allotments.
- The noise of an air conditioner, pump, or other mechanical equipment must not exceed the background noise level by more than 5dB(A) when measured in or on any premises in the vicinity of the item. These items must be positioned away from neighbouring dwellings, particularly bedrooms, habitable rooms and external living spaces. These items may require a sound proofed enclosure.

Swimming Pools and Outdoor Spas

Swimming Pools must meet relevant State Government Acts and Regulations and relevant Australian Standards.

Swimming Pools and Outdoor spas must also meet the following siting requirements:

- The outer edge of the pool concourse or coping shall set back a minimum of 1m from the side or rear boundaries.
- Swimming pools and spas must be surrounded with a child resistant barrier in accordance with the provisions of the Swimming Pools Act and the requirements of Australian Standard 1926.
- Swimming pools and spas are to have a suitable means for drainage and disposal of overflow water.
- Filters and pumps are to be enclosed and located in a position so as not to cause a noise nuisance to adjoining properties and habitable rooms.

Out Buildings

Out Buildings must meet the following requirements:

- Outbuildings are to be single storey
- An outbuilding may include a toilet, wash basin and/or shower but may not be used as a dwelling and may not contain a kitchen
- The total area for outbuildings on a site (including carport) is: 50m² for lots up to 450m²; 60m² for lots greater than 450m² and up to 900m²; 100m² for lots greater than 900m². This size requirement does not apply to lots 2,000m² or more in area.
- Outbuildings are to have a maximum overall building height of 3.5 metres for a flat roof and 4.8 metres for a pitched roof.
- Outbuildings must be located a minimum of 1 metre behind the front primary street building alignment.
- The design and materials are to be compatible with those of the dwelling house. Reflective and high glare surface finishes are to be avoided.

Tennis Courts

Tennis Courts must meet the following requirements:

- Tennis court lighting is to comply with the provisions of Australian Standard 2560.1 (or as updated) and is to be designed and shielded to eliminate upward and minimise outward spillage of light.
- Tennis courts shall be designed to adequately accommodate drainage requirements within the site.
- Tennis courts shall be located behind the building line of the primary street frontage.
- For tennis courts or other similar areas, chain wire fences are to be of a dark colour and designed to reduce visual impact.
- Solid fences enclosing these facilities shall not be permitted over 3.6 metres, shall be offset from the side boundary by a minimum of 600m and offset any front boundary by 1 metre.

1.4.3 CONTROLS FOR NARROW LOTS (TERRACE AND ROW HOUSING)

Narrow lots facilitate a structurally independent dwelling to be constructed where both habitable and non-habitable rooms may be built to boundary provided fire separation requirements are achieved. Typical examples include terrace or row housing with each dwelling constructed on its own freehold lot without the requirements for a community title or body corporate and common facilities.

These lots may be accessed from a local access street or shared driveway where the lot is level with or above the level of the street or via a laneway.

Dwellings on these lots address a primary frontage to a street or, open space and have vehicle access from a street or laneway. Dwelling on Corner lots may alternatively address the secondary street frontage with vehicle access from either frontage or a laneway.

Typical lot types and frontage widths and depths for Narrow Lots:

LOT TYPE	MINIMUM FRONTAGE	TYPICAL DEPTH	MINIMUM AREA
PRIMARY FRONTAGE TO A STREET. VEHICLE ACCESS FROM PRIMARY FRONTAGE (FRONT LOADED):			
Terrace/Row Lot	6.6m	25-32m	165m²
End Terrace/Row Lot	8.6m	25-32m	205m²
PRIMARY FRONTAGE TO A STREET OR OPEN SPACE. VEHICLE ACCESS FROM A LANEWAY (REAR LOADED):			
Terrace/Row Lots	6.6m	25-32m	260m²
End Terrace/Row Lot	8.6m	25-32m	310m²

NOTE: CORNER LOTS ARE TYPICALLY 2M WIDER TO ALLOW FOR THE SECONDARY STREET SETBACK. END TERRACE MEANS THE END LOTS IN A ROW. PRIMARY FRONTAGES FOR A NARROW LOT ARE TO BE AS NOMINATED ON AN APPROVED PLAN OF DEVELOPMENT.

Lot Size and Shape Requirements

To ensure lots support efficiency and flexibility in the design of dwellings the following controls are required to be met:

- Lot shapes are as regular as possible and have a frontage to depth ratio greater than 1:5. Where a lot does not meet this requirement, it must meet the requirements for irregular shaped lots
- Lots less than 450m² area must be located within 800m of the Village Centre or within 400m of a Local or Neighbourhood Park.
- On corner lots, frontage is measured behind the corner truncation parallel to the primary frontage.

Irregular Shaped Lots

- The minimum street frontage width for irregular shaped lots is 5m.
- The lot must be able to contain a building envelope rectangular in shape min. 6.6m wide x 18m deep outside required boundary setbacks.
- Frontage width for determining controls for irregular shaped lots is the effective frontage width measured 6m back from the primary frontage along the adjoining side boundaries of the lot.
- Where these requirements are not met, typical dwelling plans are required to be submitted to illustrate how the proposed allotment can deliver a functional and efficient dwelling design that meets the requirements of this design code.

Battle Axe Lots are not permitted for this lot type.

Boundary Setbacks

Boundary Setbacks for Single Family Dwellings on Narrow Allotments:

LOT TYPE	TERRACE/ROW LOT – PRIMARY STREET ACCESS	TERRACE/ ROW LOT – LANEWAY ACCESS
SETBACK:		
PRIMARY STREET OR PARK FRONTAGE		
Wall~	3.0m	3.0m
Garage^	4.5m^	Not permitted
SECONDARY STREET OR PARK FRONTAGE		
Wall~	2.0m	2.0m
Garage^	2.0m	Not permitted
REAR BOUNDARY		
Wall up to 4.5m high	1.5m	n/a
Wall 4.5m high and above	3.0m	n/a
REAR BOUNDARY TO A LANEWAY		
Wall	n/a	0.5m
Wall up to 4.5m high	n/a	0.5m
SIDE SETBACK		
Built to Boundary wall permitted*	Yes, mandatory	Yes, mandatory
Where Built to Boundary:	0.025m	0.025m
Where Not Built to Boundary:	1.0m	1.0m

NOTES:
ALL BOUNDARY SETBACKS ARE A MINIMUM AND ARE MEASURED TO THE WALL OF THE DWELLING. EAVES MAY EXTEND INTO THE BOUNDARY SETBACK PROVIDED MINIMUM REQUIREMENTS FOR FIRE SEPARATION ARE MET.
* BUILT TO BOUNDARY WALLS ARE PERMITTED ONLY WHERE INDICATED ON A PLAN OF DEVELOPMENT.
^ 4.5M FOR A DOUBLE GARAGE AND 5.5M FOR A SINGLE GARAGE.
~ FRONT PORCHES, VERANDAS, DECKS, ALFRSECO AREAS, BAY WINDOWS, EAVES MAY EXTEND INTO THE STREET SETBACK UP TO 1.5M FROM THE STREET BOUNDARY.

**1.5m GROUND FLOOR
REAR SETBACK**
(UP TO 4.5M HIGH)

PRIVATE OPEN SPACE

3m UPPER FLOOR REAR

**5.5m GARAGE
SETBACK**

3m FRONT SETBACK

**1.5m ARTICULATION
SETBACK**

LEGEND

- Lot Boundary
- Front Setback
- Ground Floor Rear Setback
- Upper Floor Rear Setback
- Garage Setback
- Articulation Setback
- Side Setback
- Built to Boundary
- Private Open Space



Site Plan

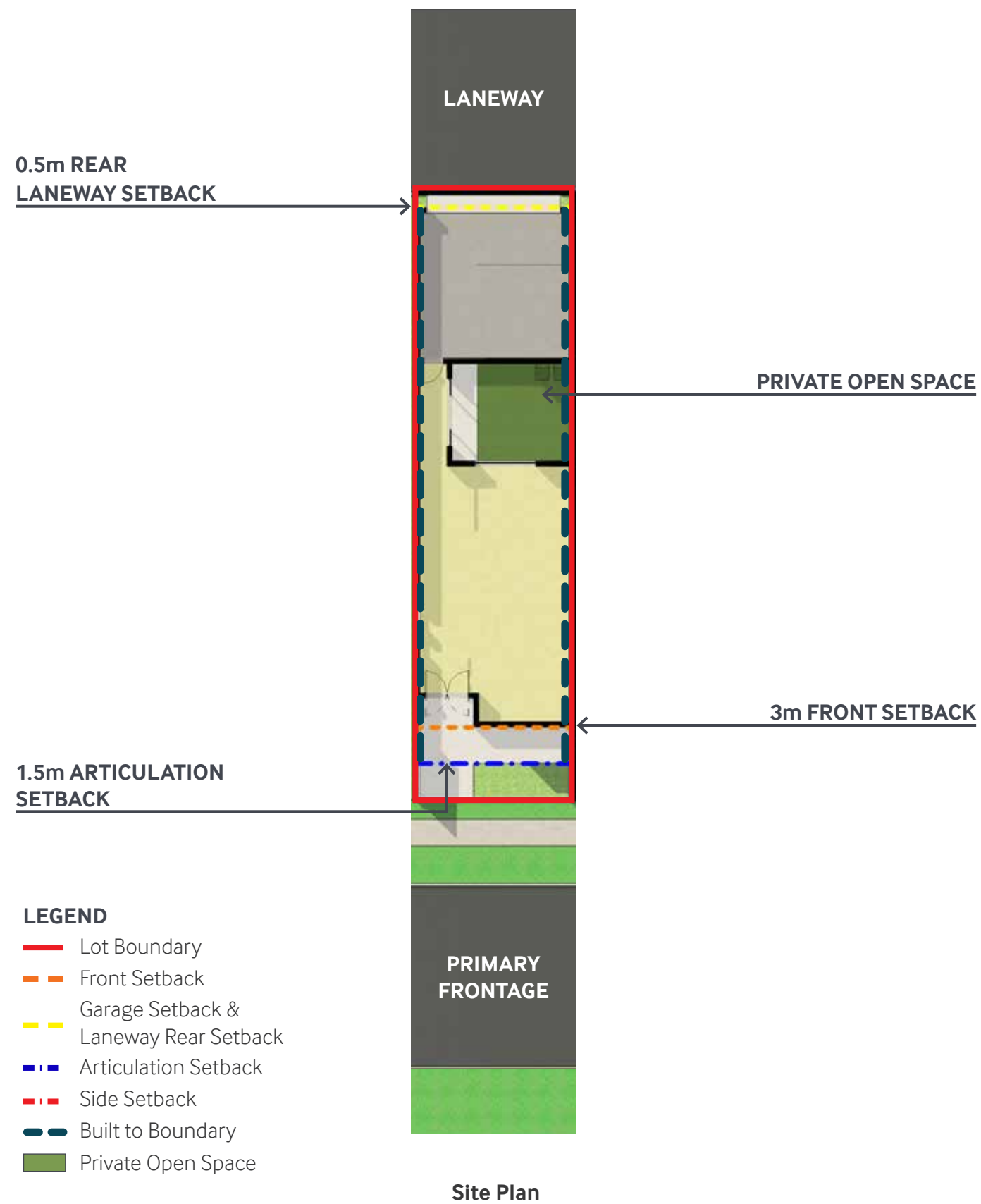


Front Perspective



Rear Perspective

TERRACE/ROW LOT - MID - PRIMARY STREET ACCESS

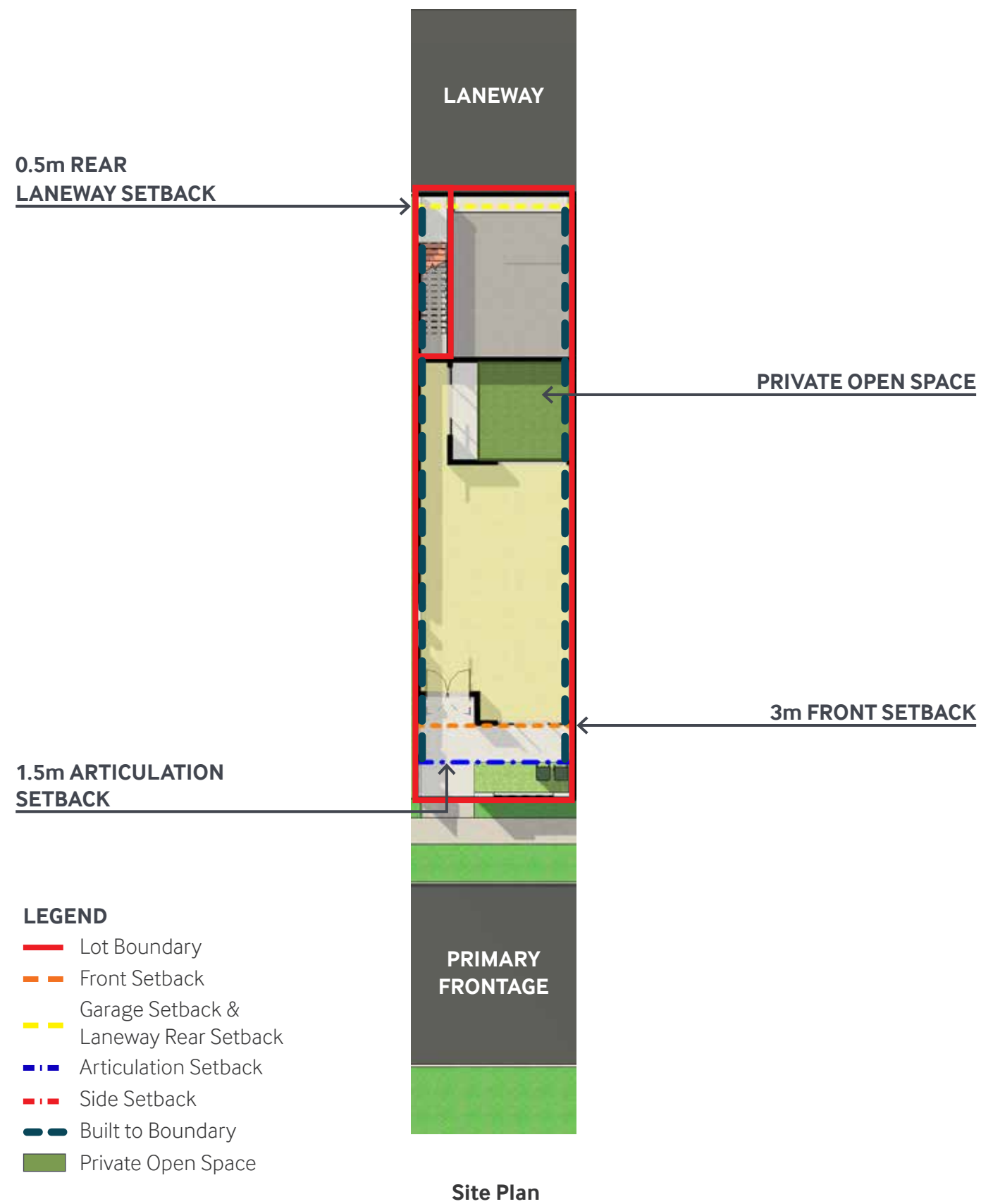


Front Perspective



Rear Perspective

TERRACE/ROW LOT - MID - LANEWAY ACCESS



Front Perspective



Rear Perspective

TERRACE/ROW LOT - MID - LANEWAY ACCESS - SECONDARY DWELLING

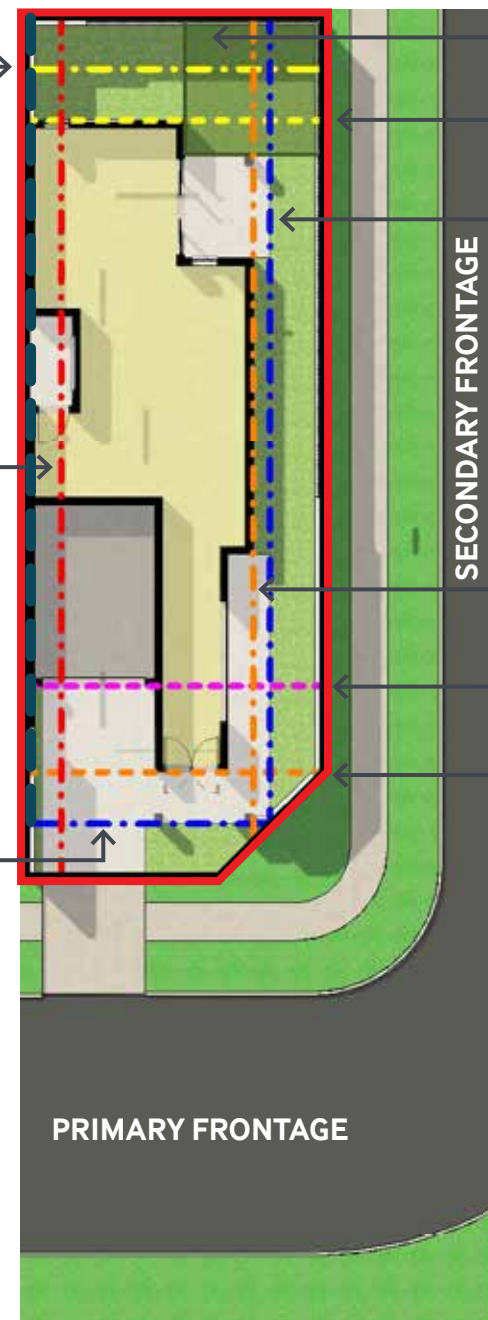
**1.5m GROUND FLOOR
REAR SETBACK**
(UP TO 4.5M HIGH)

1m SIDE SETBACK
(WHERE NOT BUILT TO
BOUNDARY)

**1.5m ARTICULATION
SETBACK**

LEGEND

- Lot Boundary
- - - Primary Front Setback
- . - Secondary Front Setback
- - - Ground Floor Rear Setback
- - - Upper Floor Rear Setback
- - - Garage Setback
- . - Articulation Setback
- . - Side Setback
- Built to Boundary
- Private Open Space



Site Plan

**PRIVATE
OPEN SPACE**

**3m UPPER FLOOR
REAR SETBACK**

**1.5m ARTICULATION
SETBACK**

**2m SECONDARY
FRONT SETBACK**

**5.5m GARAGE
SETBACK**

3m FRONT SETBACK

Upper Level
extends forward
of the garage

Glazing overlooks
street

Entry facade
extends forward of
the garage

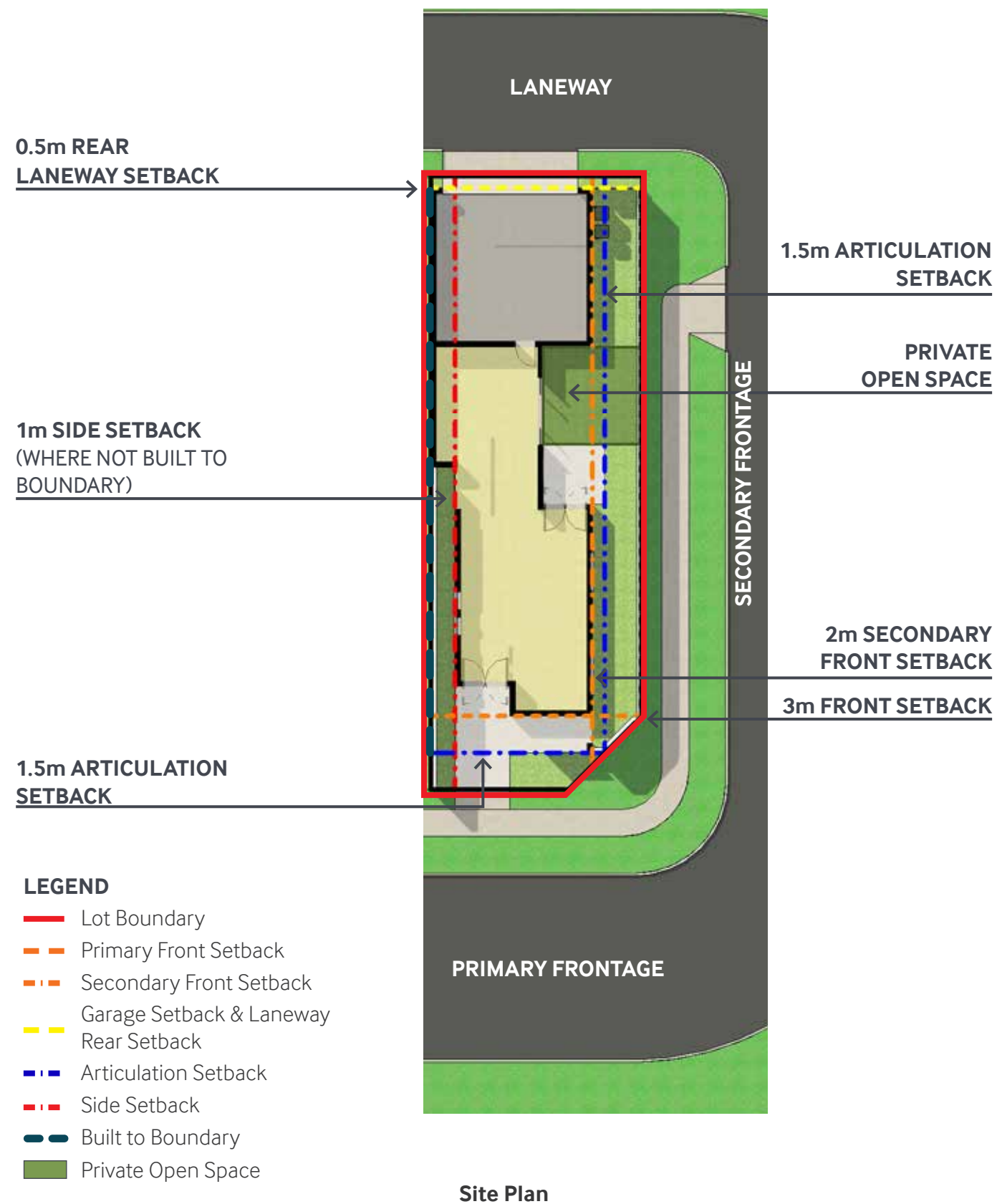


Front Perspective



Rear Perspective

TERRACE/ROW LOT - END - PRIMARY STREET ACCESS

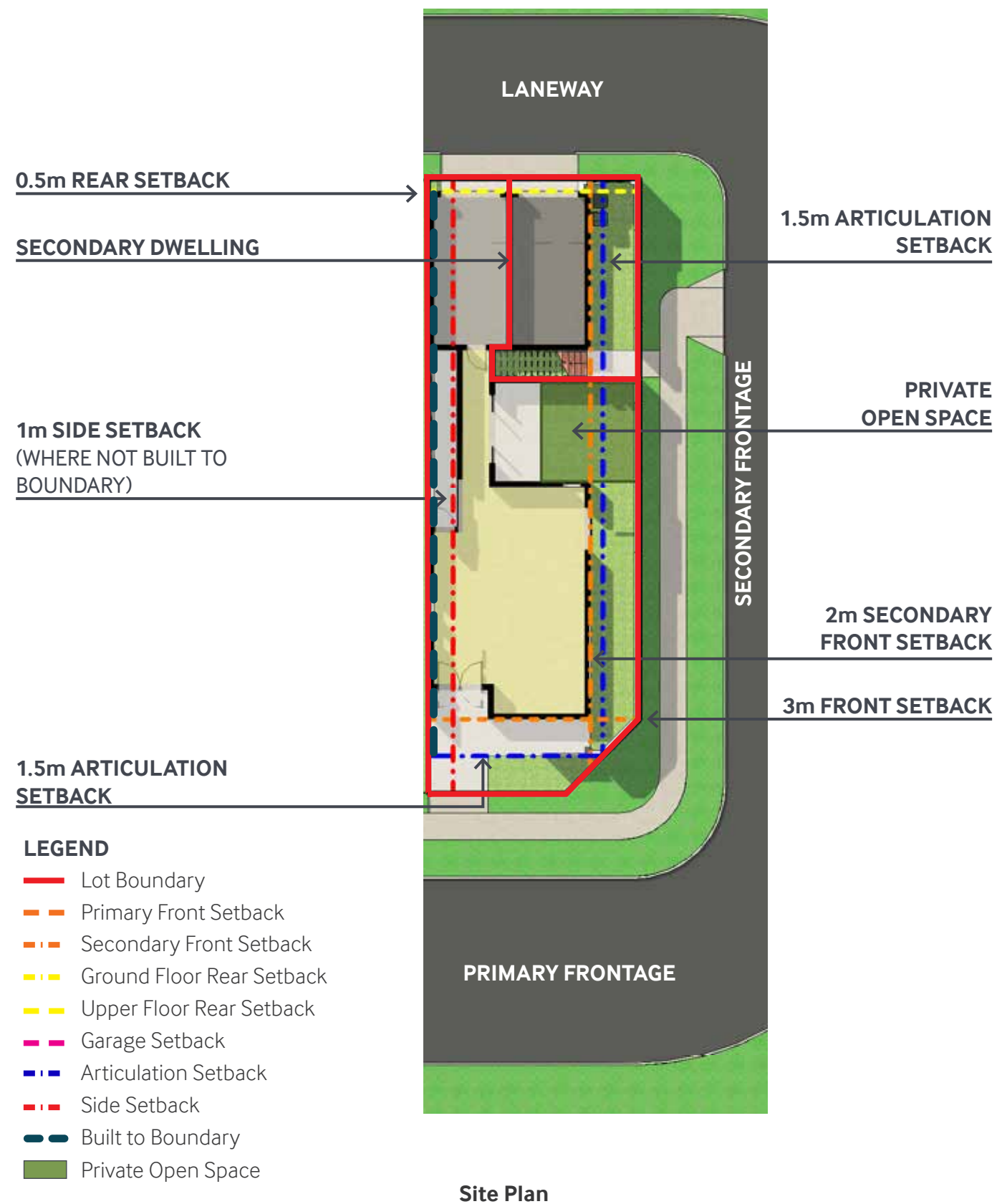


Front Perspective



Rear Perspective

TERRACE/ROW LOT - END - LANEWAY ACCESS



Front Perspective



Rear Perspective

TERRACE/ROW LOT - END - LANEWAY ACCESS - SECONDARY DWELLING

Built to Boundary Walls

Walls may be built to boundary where indicated on an approved plan of development. The length and height of built to boundary walls is limited by the front and rear boundary setbacks for the lot and includes both habitable and non-habitable rooms and may be split into more than one length of wall per boundary.

Building Site Cover

Building Site cover is limited to:

LOT AREA:	LESS THAN 350m²	350m² TO 450m²
Site Cover	85%	75%

Private Open Space

- Private open space must be provided on each lot and meet the following requirements:
- Minimum 16m² provided in a single space within minimum dimension of 3m and a maximum grade of 1:20
 - Adjoin a living area with a direct doorway and/or stair connection between living area and private open space
 - Maybe be provided as an outdoor deck or rooftop space.

External living areas, landscape areas and deep planting areas are not required.

Garages and Carports

The size of garages addressing primary and secondary frontage is limited per below:

LOT TYPE	TERRACE/ROW LOT – PRIMARY STREET ACCESS	TERRACE/ ROW LOT – LANEWAY ACCESS
MIN. FRONTAGE:	6.6m	6.6m
MAXIMUM GARAGE/ CARPORT SIZE		
Single storey dwelling^	Single or Tandem	Double
Two or more storey dwelling^	Double	Double

^ MEASURED AT THE FRONTAGE WHERE THE GARAGE IS LOCATED.

Garages including basement and semi-basement must be set back at least 1m behind the main building façade.

Carports may extend up to 1.5m into the primary and secondary street setbacks provided they remain open on 2 sides including to the street frontage/s (without the fitting of a garage door).

Rooftop Terraces and Rooftop Decks

Roof top terraces are permitted on all dwelling types. The requirements of the Tweed Shire Council DCP Part A 4.7 apply with the following exceptions:

Controls:

- Dwellings may have more than one rooftop terrace provided other controls are met.
- The area of rooftop terrace/s is not limited provided other controls are met.
- Enclosed rooms, including storage or toilets are permitted but are considered a storey, and must meet height limit requirements.

Boundary Fencing and Retaining Walls

Boundary fences and walls (excluding retaining walls) must provide adequate privacy while preserving passive overlooking of adjoining streets and open space and are limited in height:

FRONTAGE/ BOUNDARY:	PRIMARY STREET	SECONDARY STREET	SIDE AND REAR
Height above ground level/ retaining wall	1.2m unless screening the primary private open space where the fence may be 1.8m high	1.8m rear of the building line^	1.8m

^ BUILDING LINE FOR THE PRIMARY FRONTAGE.

Where a boundary wall is constructed as part retaining wall and part screening wall, the limits above apply to the screening height of the wall only.

Retaining walls at the boundary or within 1m of a boundary of a lot must be meet the requirements of the Tweed Subdivision Manual (2008).

- Retaining walls within the lot (at least 1m from a property boundary) are:
- limited to 1.5m in height unless terraced in max. 1.5m high increments (setback min. 1m apart to allow space for screen planting) or
 - screened from view from adjoining lots and public streets and open space by: planting below the wall, vertical planting on an applied trellis structure, or boundary fencing within heights permitted above.

Retaining walls within the zone of influence of a boundary retaining wall must be certified by a registered structural engineer and not surcharge or structurally compromise the boundary retaining wall.

Storage Areas for Refuse Bins

An area sufficient to accommodate Council standard domestic and recycling refuse bins must be provided behind the building line of the primary frontage and screened from view from street and open space frontages.

Dual Occupancy and Secondary Dwellings:

Dual Occupancy are permitted on Narrow Lots where indicated on an approved plan of development. Where not indicated, dual occupancies are not permitted and require a Section 88B Instrument as part of the deposited plan to effect this restriction.

- Secondary Dwellings:
- Are permitted on Narrow Lots where indicated on an approved plan of development, provided other controls for dwellings on narrow lots are met.
 - Are limited in internal floor area to 100m²
 - Have legible access from a primary or secondary street frontage or a laneway
 - Required carparking (refer Appendix B) may be separate to the secondary dwelling but with a legible access between carpark and dwelling.
 - Are exempt from payment of contributions in accordance with Section 94 of the Environmental Planning and Assessment Act, 1979 and Section 64 of the Water Supply Authorities Act, 2000
 - Have a separate private open space from the main dwelling’s which may be a deck, roof top terrace, or alfresco area min. 6m² and with min. dimension of 2m
 - May adjoin the main dwelling or be built above the garage of the main dwelling
 - Achieve privacy controls for dwellings on Narrow Lots.
 - Have their own screened bin storage area accessible from the dwelling.

Visual and Acoustic Privacy

- Dwellings (including secondary dwellings and Dual Occupancies) on Narrow Lots must meet the following controls:
- Terraces, balconies, living room and kitchen windows are to avoid a direct view into neighbouring dwellings (including the main or secondary dwelling) or neighbouring private open space.
 - Decks, verandahs, terraces, balconies and other external living areas within 4 metres from a side or rear boundary (or the main/secondary dwelling) may require a privacy screen unless it can be demonstrated that there will be negligible overlooking and/or privacy impacts, as demonstrated on a site analysis.
 - Side windows are to be offset by distances sufficient to avoid visual connection between windows of the subject dwelling and those of the neighbouring dwelling. Location of existing adjoining property windows are to be documented on a site analysis where know at time of building application. Where this can’t be achieved, a visual screen is fixed to the window of the dwelling to avoid visual connection.
 - The location of external living areas, swimming pools, spas and other potential sources of noise transfer shall consider the proximity to and potential impacts on habitable rooms of adjoining allotments.
 - The noise of an air conditioner, pump, or other mechanical equipment must not exceed the background noise level by more than 5dB(A) when measured in or on any premises in the vicinity of the item. These items must be positioned away from neighbouring dwellings, particularly bedrooms, habitable rooms and external living spaces. These items may require a sound proofed enclosure.

Swimming Pools and Outdoor Spas

Swimming Pools must meet relevant State Government Acts and Regulations and relevant Australian Standards.

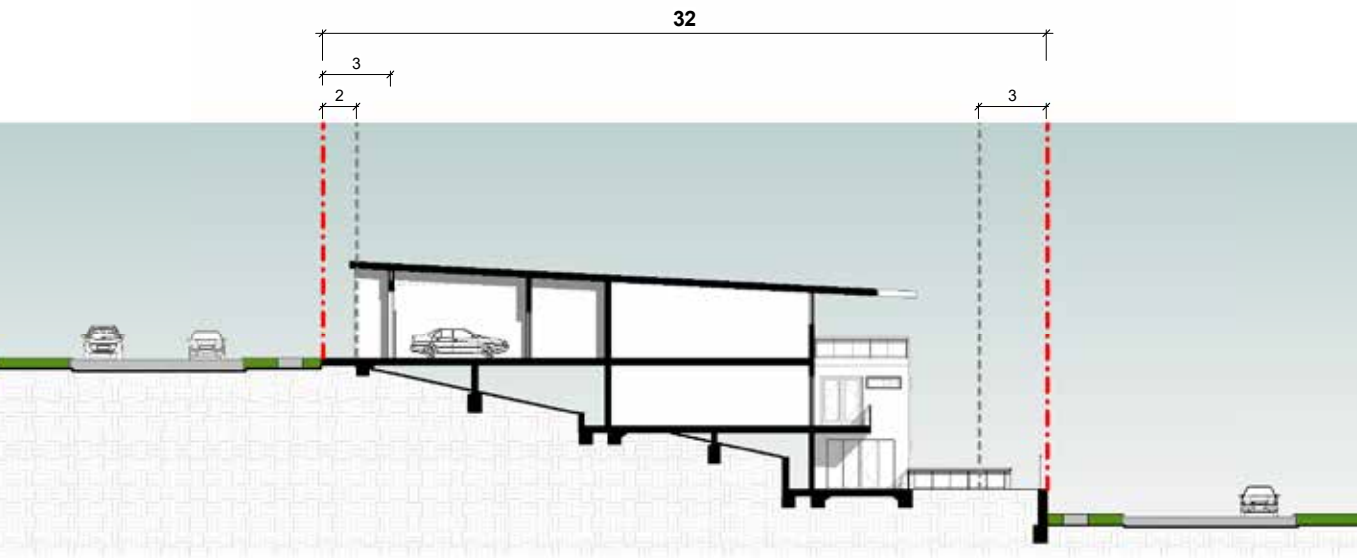
Swimming Pools and Outdoor spas must also meet the following siting requirements:

- The outer edge of the pool concourse or coping shall set back a minimum of 1 metre from the side or rear boundaries.
- Swimming pools and spas must be surrounded with a child resistant barrier in accordance with the provisions of the Swimming Pools Act and the requirements of Australian Standard 1926.
- Swimming pools and spas are to have a suitable means for drainage and disposal of overflow water.
- Filters and pumps are to be enclosed and located in a position so as not to cause a noise nuisance to adjoining properties and habitable rooms.

1.4.4 CONTROLS FOR HILLSLOPE LOTS

Dwellings on these lots address a primary street frontage with vehicle access from the same frontage. The primary Street Frontage is typically on the high side of the lot with the lot sloping directly downhill from its primary frontage (see diagram below: The primary frontage is shown on the Plan of Development for the lot. Dwellings on Corner lots may alternatively address the secondary street frontage with vehicle access from either frontage.

Figure: Typical form of a Hillslope Allotment:



Typical lot types and frontage widths and depths for Hillslope lots:

LOT TYPE	MINIMUM FRONTAGE	TYPICAL DEPTH	MINIMUM AREA
PREMIUM VILLA	12.5m	32-35m+	400m²
COURTYARD	14m	32-35m+	445m²
PREMIUM COURTYARD	16m	32-35m+	510m²
TRADITIONAL	18m	32-35m+	575m²
PREMIUM TRADITIONAL	20m+	32-35m+	640m²

NOTE: CORNER LOTS ARE TYPICALLY 1M WIDER TO ALLOW FOR THE SECONDARY STREET SETBACK.

Lot Size and Shape Requirements

To ensure lots support efficiency and flexibility in the design of dwellings the following controls are required to be met:

- Lot shapes are as regular as possible and have a frontage to depth ratio greater than 1:3 Where a lot does not meet this requirement, it must meet the requirements for irregular shaped lots
- Hillslope lots are typically wider than standard lots to allow the dwelling to be built along the contour, close to the high side street frontage of the lot and so reduce the level change across the building footprint and facilitate vehicle access with less earth working.
- Lots less than 450m² area must be located within 800m of the Village Centre or within 400m of a Local or Neighbourhood Park.
- On corner lots, frontage is measured behind the corner truncation parallel to the primary frontage.

Irregular Shaped Lots

- The minimum street frontage width for irregular shaped lots is 6m.
- The lot must be able to contain a building envelope rectangular in shape min. 11m x 14m outside required boundary setbacks preferably with the long axis of the envelope running along the contour.
- Frontage width for determining controls for irregular shaped lots is the effective frontage width measured 6m back from the primary frontage along the adjoining side boundaries of the lot.
- Where these requirements are not met, typical dwelling plans are required to be submitted to illustrate how the proposed allotment can deliver a functional and efficient dwelling design that meets the requirements of this design code.

Battle Axe Lots

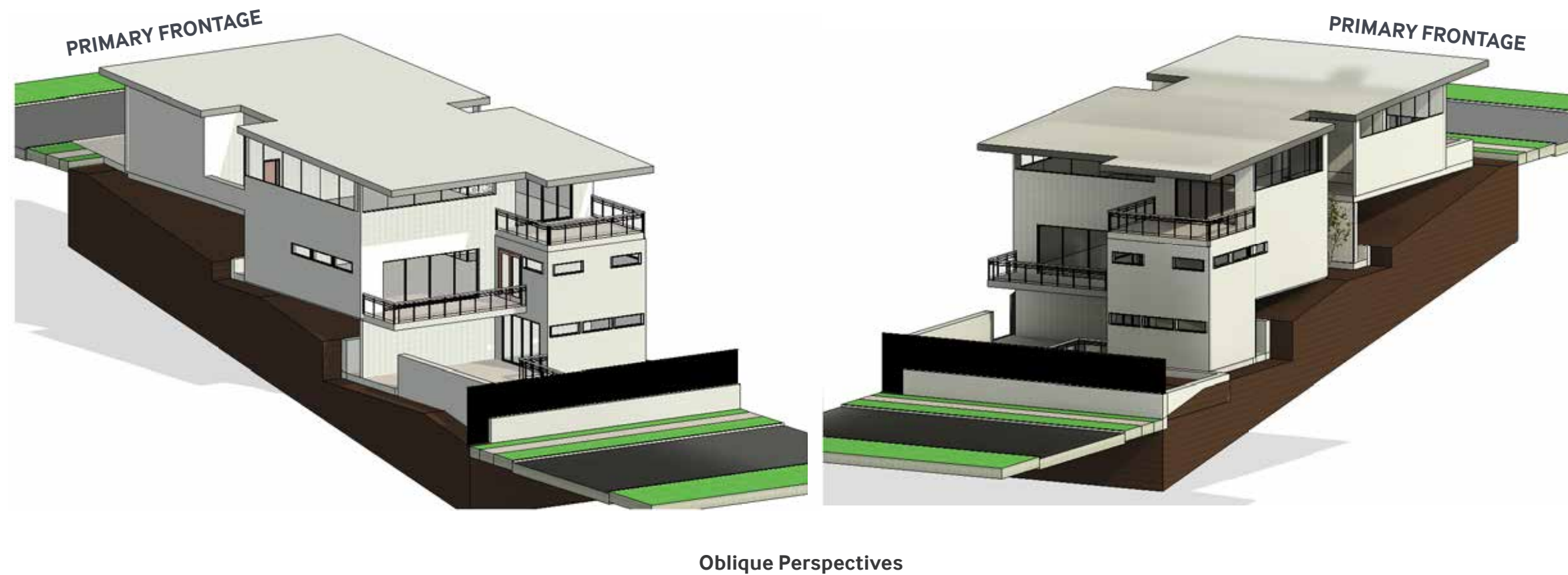
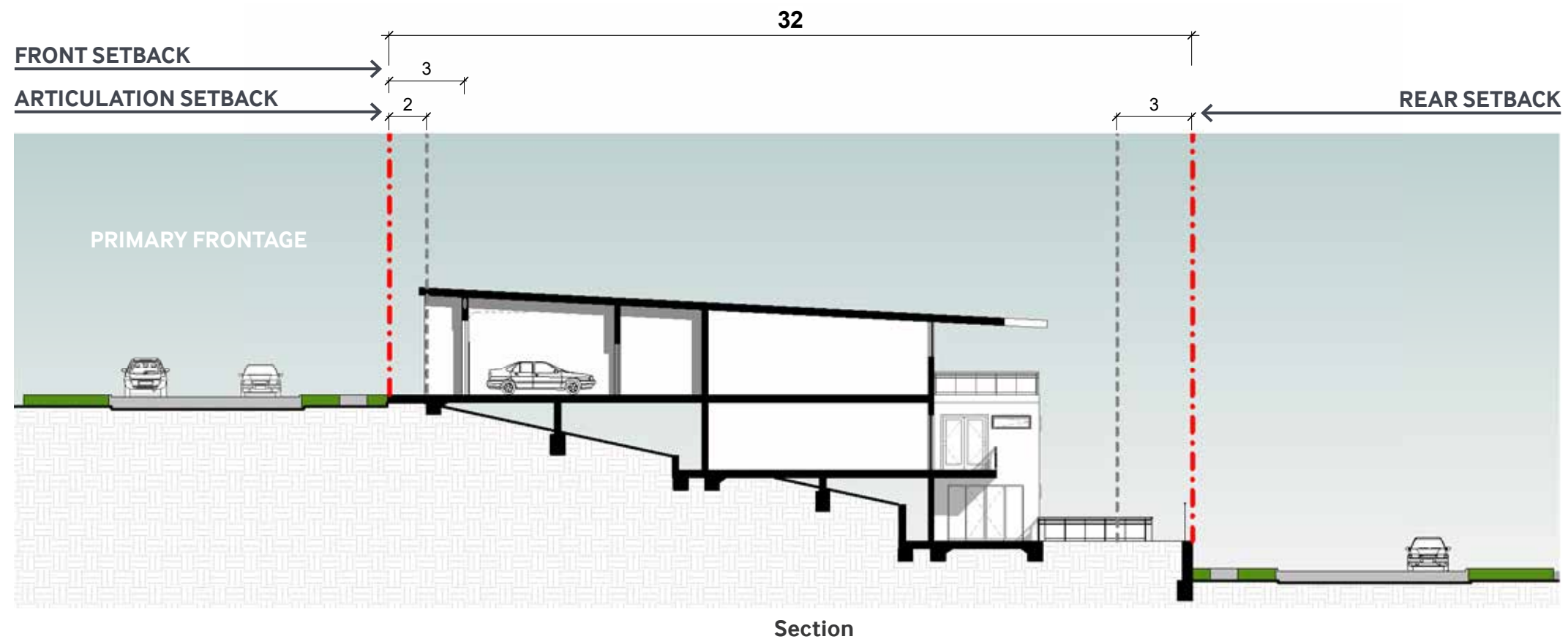
- Must have a minimum width of the access handle of 3m
- Access handle may have a maximum length of 40m
- The shape of the lot excluding the access handle must meet the requirements for regular or irregular shaped lots excluding frontage requirements.
- Frontage width for determining controls for battle axe lots is the effective frontage width measured 6m back from the internal end of the access handle along the adjoining side boundaries of the lot.

Boundary Setbacks

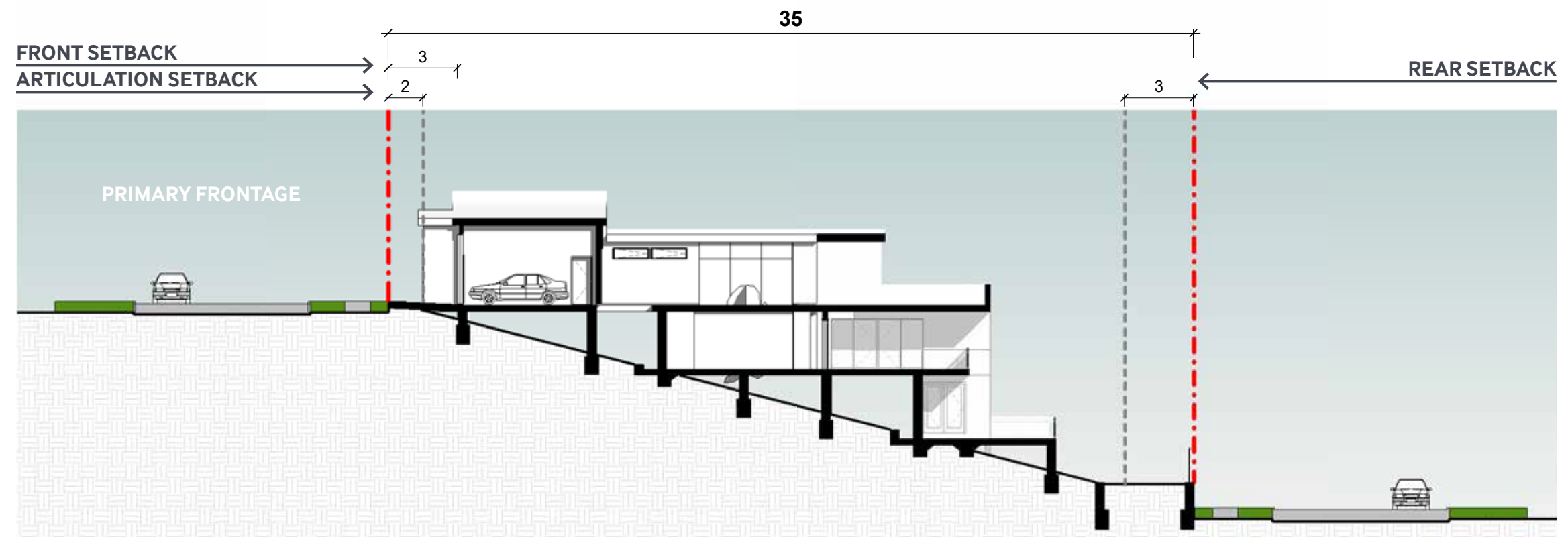
Boundary Setbacks for Single Family Dwellings on Hillslope Allotments:

LOT TYPE	PREMIUM VILLA	COURTYARD	PREMIUM COURTYARD	TRADITIONAL	PREMIUM TRADITIONAL
FRONTAGE:	12.5m-<14m	14-15m	16-<18m	18m-<20m	20m+
SETBACK:					
PRIMARY STREET FRONTAGE					
Wall~	3.0m	3.0m	3.0m	3.0m	3.0m
Garage^	3.0m	3.0m	3.0m	3.0m	3.0m
SECONDARY STREET FRONTAGE					
Facade~	2.0m	2.0m	2.0m	2.0m	2.0m
Garage^	4.5m	4.5m	4.5m	4.5m	4.5m
REAR BOUNDARY					
Wall	3.0m	3.0m	3.0m	3.0m	3.0m
SIDE SETBACK					
Built to Boundary wall permitted*	Yes	Yes	No	No	No
Where Built to Boundary:	min. 0.025m	min. 0.025m	n/a	n/a	n/a
Where Not Built to Boundary:	1.0m	1.0m	1.0m	1.5m	1.5m

NOTES:
ALL BOUNDARY SETBACKS ARE A MINIMUM AND ARE MEASURED TO THE WALL OF THE DWELLING. EAVES MAY EXTEND INTO THE BOUNDARY SETBACK PROVIDED MINIMUM REQUIREMENTS FOR FIRE SEPARATION ARE MET.
* BUILT TO BOUNDARY WALLS ARE PERMITTED ONLY WHERE INDICATED ON A PLAN OF DEVELOPMENT.
^ 4.5M FOR A DOUBLE GARAGE AND 5.5M FOR A SINGLE GARAGE.
~ FRONT PORCHES, VERANDAS, DECKS, ALFRESCO AREAS, BAY WINDOWS, EAVES MAY EXTEND INTO THE STREET SETBACK UP TO 1.5M FROM THE STREET BOUNDARY.



TYPICAL HILLSLOPE LOT - DWELLING RESPONSE - UP TO 1:4

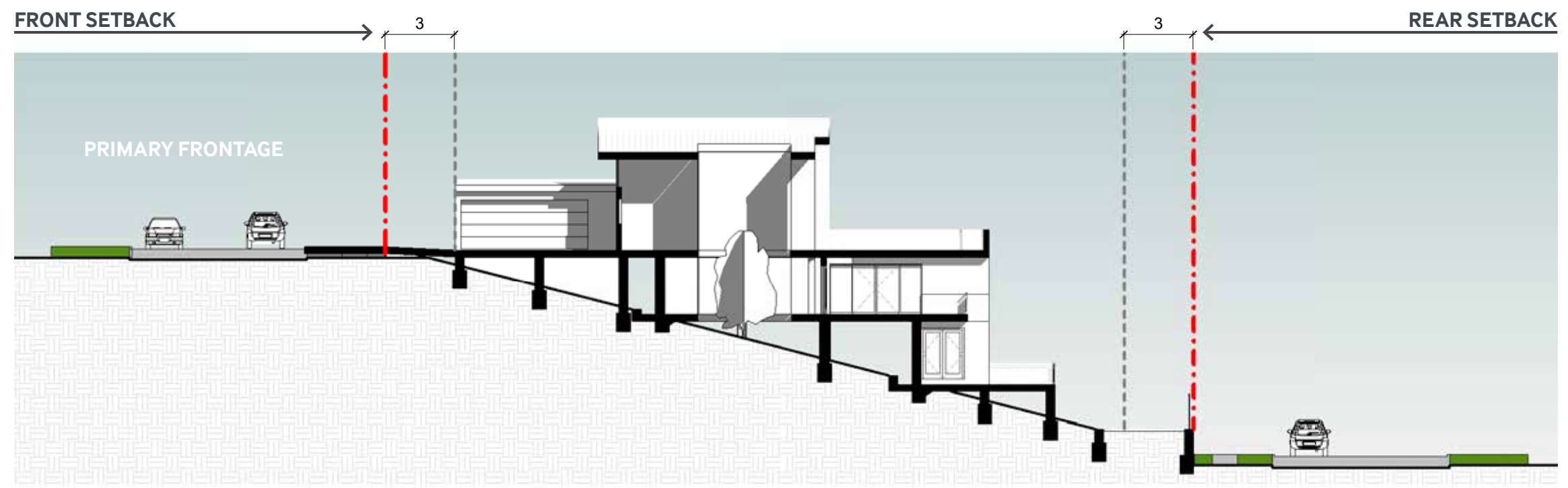


1-4 Grade Option Section

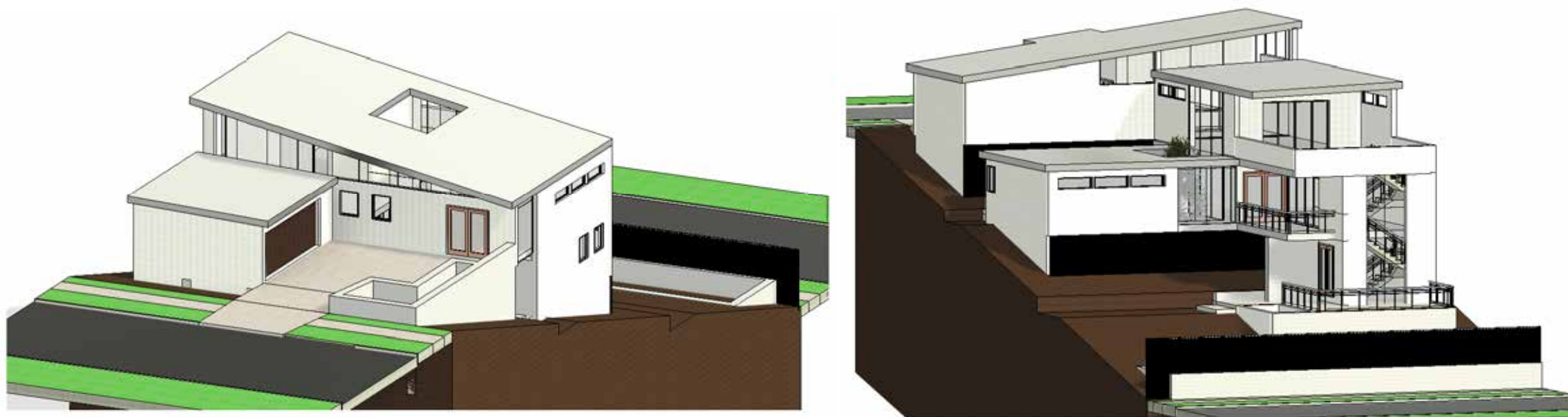


Oblique Perspectives

TYPICAL HILLSLOPE LOT - DWELLING RESPONSE - UP TO 1:4 & ABOVE



1-4 Grade Option 2 Section



Oblique Perspectives

TYPICAL HILLSLOPE LOT - DWELLING RESPONSE - UP TO 1:4 & ABOVE - ALTERNATIVE

Built to Boundary Walls

Walls may be to boundary where indicated on an approved plan of development. The length and height of built to boundary walls is limited to non-habitable rooms and may be split into two lengths of wall with a combined length up to the dimensions below:

LOT TYPE	PREMIUM VILLA	COURTYARD	PREMIUM COURTYARD	TRADITIONAL	PREMIUM TRADITIONAL
FRONTAGE:	12.5m-<14m	14-15m	16-<18m	18m-<20m	20m+
Length of Wall	9m	15m	n/a	n/a	n/a
Height of Wall	3.5m	3.5m	n/a	n/a	n/a

Building Site Cover

Building Site cover is limited to:

LOT AREA:	LESS THAN 350m²	350m² TO 450m²	450m² - 600m²	600m² AND ABOVE
Site Cover	75%	65%	60%	50%

Where lots have a designated building location envelope the envelope is the limiting factor and site cover controls do not apply.

Private Open Space

Private open space must be provided on each lot and meet the following requirements:

- Minimum 16m² provided in a single space within minimum dimension of 3m and a maximum grade of 1:20
- Adjoin a living area with a direct doorway and/or stair connection between living area and private open space
- Maybe be provided as an outdoor deck or rooftop space.

External living areas, landscape areas and deep planting areas are not required.

Garages and Carports

The size of garages addressing primary and secondary frontage is limited per below:

LOT TYPE	PREMIUM VILLA	COURTYARD	PREMIUM COURTYARD	TRADITIONAL	PREMIUM TRADITIONAL
FRONTAGE:	12.5m-<14m	14-15m	16-<18m	18m-<20m	20m+
MAXIMUM GARAGE/ CARPORT SIZE					
Single storey dwelling^	Double	Double	Double	Double	Double or Triple#
Two or more storey dwelling^	Double	Double	Double	Double	Double or Triple#

^ MEASURED AT THE FRONTAGE WHERE THE GARAGE IS LOCATED.
TRIPLE GARAGES MUST HAVE A SEPARATE GARAGE DOOR FOR THE THIRD BAY RECESSED 1M BEHIND THE OTHER GARAGE DOOR/S.

Garages may be wider where the door/opening is perpendicular to or faces away from the street frontage/s.

Garages including basement and semi-basement must be set back at least 1m behind the main building façade.

Carports may extend up to 1.5m into the primary and secondary street setbacks provided they remain open on 2 sides including to the street frontage/s (without the fitting of a garage door).

Driveways

Driveway widths are limited to following according to the type of garage constructed. Where a garage faces perpendicular to or away from the primary/ secondary frontage it must still comply with the maximum dimensions below where it crosses the street verge:

DRIVEWAY WIDTHS	SINGLE OR TANDEM GARAGE/ CARPORT	DOUBLE GARAGE/ CARPORT	TRIPLE GARAGES WHERE PERMITTED
Maximum Driveway Width across street verge:	3.0m	4.8m	4.8m

Combinations of garage and carport adjoining are considered equivalent to a garage/carport accommodating the same number of vehicles, unless in a tandem arrangement.

Rooftop Terraces and Rooftop Decks

Roof top terraces are permitted on all dwelling types. The requirements of the Tweed Shire Council DCP Part A 4.7 apply with the following exceptions:

Controls:

- Dwellings may have more than one rooftop terrace provided other controls are met.
- The area of rooftop terrace/s is not limited provided other controls are met.
- Enclosed rooms, including storage or toilets are permitted but are considered a storey, and must meet height limit requirements.

Screening of Building Underfloor Area

Dwellings and structures built on sloping lots frequently have suspended floors that are visible from surrounding streets, open space and nearby allotments. To reduce the visual impact of underfloor areas these areas are required to be screened from view. Examples of screening include, batten screens, lattice, return walls or lining the underfloor to screen framing and services from view. An exception is outdoor deck structures which do not require underfloor screening.

Boundary Fencing and Retaining Walls

Boundary fences and walls (excluding retaining walls) must provide adequate privacy while preserving passive overlooking of adjoining streets and open space and are limited in height:

FRONTAGE/ BOUNDARY:	PRIMARY STREET	SECONDARY STREET	SIDE AND REAR
Height above ground level/ retaining wall	1.2m unless screening the primary private open space where the fence may be 1.8m high	1.8m rear of the building line 1.2m forward of the building line	1.8m

Where a boundary wall is constructed as part retaining wall and part screening wall, the limits above apply to the screening height of the wall only.

Retaining walls at the boundary or within 1m of a boundary of a lot must be meet the requirements of the Tweed Subdivision Manual (2008).

- Retaining walls within the lot (at least 1m from a property boundary) are:
- limited to 1.5m in height unless terraced in max. 1.5m high increments (setback min. 1m apart to allow space for screen planting) or
 - screened from view from adjoining lots and public streets and open space by: planting below the wall, vertical planting on an applied trellis structure, or boundary fencing within heights permitted above.

Retaining walls within the zone of influence of a boundary retaining wall must be certified by a registered structural engineer and not surcharge or structurally compromise the boundary retaining wall.

Storage Areas for Refuse Bins

An area sufficient to accommodate Council standard domestic and recycling refuse bins must be provided behind the building line of the primary frontage and screened from view from street and open frontages.

Secondary Dwellings and Dual Occupancy:

Dual Occupancy are permitted on Hillslope Lots where indicated on an approved plan of development. Where not indicated, dual occupancies are not permitted and require a Section 88B Instrument as part of the deposited plan to effect this restriction.

- Secondary Dwellings:
- Are permitted on all Hillslope Lots provided other controls for dwellings on Hillslope Lots are met.
 - Are limited in internal floor area to 100m²
 - Have legible access from a primary or secondary street frontage

- Required carparking (refer Appendix B) may be separate to the secondary dwelling but with a legible access between carpark and dwelling.
- Are exempt from payment of contributions in accordance with Section 94 of the Environmental Planning and Assessment Act, 1979 and Section 64 of the Water Supply Authorities Act, 2000
- Have a separate private open space from the main dwelling’s which may be a deck, roof top terrace, or alfresco area min. 6m² and with min. dimension of 2m
- May adjoin the main dwelling
- Achieve privacy controls for dwellings on Hillslope Lots
- Have their own screened bin storage area accessible from the dwelling.

Visual and Acoustic Privacy

Dwellings (including secondary dwellings and Dual Occupancies) on Hillslope Lots must meet the following controls:

- Terraces, balconies, living room and kitchen windows are to avoid a direct view into neighbouring dwellings (including the main or secondary dwelling) or neighbouring private open space.
- Decks, verandahs, terraces, balconies and other external living areas within 4 metres from a side or rear boundary (or the main/secondary dwelling) may require a privacy screen unless it can be demonstrated that there will be negligible overlooking and/or privacy impacts, as demonstrated on a site analysis.
- Side windows are to be offset by distances sufficient to avoid visual connection between windows of the subject dwelling and those of the neighbouring dwelling. Location of existing adjoining property windows are to be documented on a site analysis where know at time of building application. Where this can’t be achieved, a visual screen is fixed to the window of the dwelling to avoid visual connection.
- The location of external living areas, swimming pools, spas and other potential sources of noise transfer shall consider the proximity to and potential impacts on habitable rooms of adjoining allotments.
- The noise of an air conditioner, pump, or other mechanical equipment must not exceed the background noise level by more than 5dB(A) when measured in or on any premises in the vicinity of the item. These items must be positioned away from neighbouring dwellings, particularly bedrooms, habitable rooms and external living spaces. These items may require a sound proofed enclosure.

Swimming Pools and Outdoor Spas

Swimming Pools must meet relevant State Government Acts and Regulations and relevant Australian Standards.

Swimming Pools and Outdoor spas must also meet the following siting requirements:

- The outer edge of the pool concourse or coping shall set back a minimum of 1 metre from the side or rear boundaries.
- Swimming pools and spas must be surrounded with a child resistant barrier in accordance with the provisions of the Swimming Pools Act and the requirements of Australian Standard 1926.
- Swimming pools and spas are to have a suitable means for drainage and disposal of overflow water.
- Filters and pumps are to be enclosed and located in a position so as not to cause a noise nuisance to adjoining properties and habitable rooms.

Out Buildings

Out Buildings must meet the following requirements:

- Outbuildings are to be single storey
- An outbuilding may include a toilet, wash basin and/or shower but may not be used as a dwelling and may not contain a kitchen
- The total area for outbuildings on a site (including carport) is: 50m² for lots up to 450m²; 60m² for lots greater than 450m² and up to 900m²; 100m² for lots greater than 900m². This size requirement does not apply to lots 2,000m² or more in area.
- Outbuildings are to have a maximum overall building height of 3.5 metres for a flat roof and 4.8 metres for a pitched roof.
- Outbuildings must be located a minimum of 1 metre behind the front primary street building alignment.
- The design and materials are to be compatible with those of the dwelling house. Reflective and high glare surface finishes are to be avoided.

Tennis Courts

Tennis Courts must meet the following requirements:

- Tennis court lighting is to comply with the provisions of Australian Standard 2560.1 (or as updated) and is to be designed and shielded to eliminate upward and minimise outward spillage of light.
- Tennis courts shall be designed to adequately accommodate drainage requirements within the site.
- Tennis courts shall be located behind the building line of the primary street frontage.
- For tennis courts or other similar areas, chain wire fences are to be of a dark colour and designed to reduce visual impact.
- Solid fences enclosing these facilities shall not be permitted over 3.6 metres, shall be offset from the side boundary by a minimum of 600m and offset any front boundary by 1 metre.

1.5 DESIGN CONTROLS FOR VILLAGE CENTRE

1.5.1 VISION

- 1) To create a vibrant village centre as the community and economic focal point of Elysian by providing a concentration and variety of retail, business office, dining, medical, community and entertainment uses combined with denser forms of residential living and short-term accommodation.
- 2) To co-ordinate the detailed design of the village centre to achieve high quality urban design and pleasant streetscapes with active frontages.
- 3) To create a walkable and accessible pedestrian-oriented centre that engages with the high-quality open space assets in the village.
- 4) To create a village destination for visitors to the region building on access to expansive scenery and walks in pristine rainforest preserved within Elysian.

1.5.2 CONTROLS FOR DEVELOPMENT IN THE VILLAGE CENTRE

Overall Plan of Development

Development on allotments in the Village Centre must be consistent with the elements identified in the Village Centre Overall Plan of Development and the controls in this section. Where a particular issue is not addressed in the controls the Tweed DCP 2008 applies.

Proposals will need to demonstrate compliance with the overall plan of development or propose alternative solutions that support the vision for the Village Centre.



Village Centre Overall Plan for Development:

LEGEND

Application Boundary

Village Centre Lot

LAND USES

Detached Residential Lots

Retirement Living

Neighbourhood Park

Significant Viewline (internal/External)

Destination Playscape

Scenic Outlook

BUILDING HEIGHTS

Maximum Number of Storeys

INTERNAL LAND USE OUTCOMES & INTERFACES

Key Corner Site

Primary Active Frontage

Secondary Active Frontage

Residential Dwellings to Front Street (front door to street frontage, garage access internal to site)

Potential Customer and/or Residential Access

Potential Customer Access

Nominal Location of Common Open Space Preferably open to north eastern aspect and breezes

Landscape Setback/Plaza to maintain view along street

STREETSCAPE

Mid Block Pedestrian Crossing

Bus Stop

Indented On-street Parrallel Parking

Informal Kerbside Parrallel Parking

Full Width Footpath with Kerbside Gardens and Street Tree Planting

Pathway along Park Frontage to Site

STREET NETWORK

Main Street

Connector Road

T intersection

Indicative Location of Connection to Adjoining Site



Building Heights

Building height in the centre is limited to that shown in the Building Height Plan.

Variation in the perceived height of buildings as seen from nearby streets and public open spaces is preferred, to reduce apparent building mass along the street edge.

This may be achieved by:

- Varying the setback of building façades along the frontage,
- Creating breaks in building form or breezeways,
- Including outdoor areas such as balconies, terraces and podium or rooftop terraces/gardens,
- Through incorporating vegetation into the façade and/or
- Varying roof forms.

Site Cover

Site cover for Village Central allotments is limited to 60%, however basement or undercroft carparking may exceed this provided interface controls for this type of parking are met.

Planting on podiums is encouraged including deep planting of trees where it suits the built form with particular focus on street frontages and corners. The two Neighbourhood Parks in the Village Centre provide significant opportunities for large tree planting and shade in the centre.

Site Access, Service Areas and Carparking Provision

Vehicle access points are minimised to avoid disruption to the streetscape and minimise potential for conflict with pedestrians and are generally located as shown in the Village Centre Overall Plan of Development. Access for service vehicles into loading docks or for refuse collection is not located on Primary Active Frontages.

Carparking and Bicycle parking and service vehicle access is provided on-site in accordance with the rates and requirements of Appendix B: Site Access and Parking or the Tweed DCP 2008. Where carparking is shared between compatible non-residential uses, rates of parking for these uses can be reduced by 20%.

Service areas including refuse storage area are screened from view from streets and public spaces.

Active Frontages

The Village Centre Overall Plan of Development identifies the preferred extent of primary and secondary active frontages.

A primary active frontage requires a shop front interface with retail or commercial premises and corresponds to the areas of highest pedestrian activity, directly addressing the adjoining street or open space.

Lengths of blank wall are minimised and the frontage at ground level is lined with glazing and customer doors for retail and commercial uses and lobbies for multiple residential units above ground floor.

Access points into carparks are minimised and are located generally as shown in the overall pod.

Awnings over the public footpath are provided to retail and commercial shopfronts to create an almost continuous cover for pedestrians along the street frontage.

A secondary active frontage does not require retail and commercial activities on the ground floor at the street interface. It does require overlooking of adjoining streets and open spaces via glazing to retail or commercial facilities or window and/or balconies for residential units.

Where residential units occupy the ground floor these units must have pedestrian access to the street.

Boundary Setbacks

Boundary setbacks for Village Centre lots are defined below:

FRONTAGE/ BOUNDARY:	PRIMARY ACTIVE FRONTAGES	SECONDARY ACTIVE FRONTAGES	OTHER STREET FRONTAGES	OTHER OPEN SPACE FRONTAGES	SIDE AND REAR BOUNDARIES
Ground Level	0m – 1m	2m	3m	2m	5m
Upper Levels	0m – 4m	2m	3m	2m	5m

ALL SETBACKS ARE A MINIMUM UNLESS A RANGE IS SHOWN. ALL SETBACKS ARE MEASURED TO THE WALL AND SUPPORTING STRUCTURE OF THE BUILDING. EAVES, SUNSCREENS AND SHADES, ARCHITECTURAL SCREENING AND AWNINGS AND ENTRY PORCHES MAYBE EXTEND UP TO 1M INTO THE MINIMUM BOUNDARY SETBACK.

Basement. Podium and Undercroft Parking Structures

Basement, semi basement and/ or under-croft or podium parking is preferred where land use intensity requires. Semi basement and under-croft parking is not permitted adjacent to Primary Active Frontages.

Under-croft and podium level parking must be screened from view from adjoining street and open space frontages by:

- A landscape buffer between the carpark and the frontage (except Primary Active Frontages), and
- Architectural screens and/or vertical planting that is integrated with and complements the façade design of the building.

Exposed walls of semi basement carparks must be integrated into the design of the building façade.

At-grade Carparking

At-grade parking is permitted provided it does not occupy Primary Active Frontages and is set back from street and open space boundaries either behind built form or a 3m deep landscape buffer containing tree planting.

Where not covered, at grade parking must contain trees planted in a perimeter landscape buffer or consolidated areas within the carpark to achieve a rate of 1 tree per 6 car spaces.

Building Orientation and Breeze Circulation

Buildings are orientated to address primary frontages both at ground and upper levels. Dwellings are oriented to maximise access to scenic views and open space to northern and eastern aspects particularly for outdoor living areas.

Breaks in building form are required to facilitate access of morning sunlight and north-easterly breezes into internal courtyards and common open space. Dwellings are designed to facilitate access to morning sunlight and cross ventilation for natural cooling, including in shared hallways.

Building Articulation

Facades to street and open space boundaries are to include articulation to break up building mass and create architecturally interesting forms that are permeable and allow internal spaces to open outwards. This may include:

- Breaks in built form
- Steeping of the façade or variation in building alignment
- Variation in height and roof forms
- Balconies, and terraces and clearly expressed building entrances
- Glazing and applied architectural screens and shades.

Unbroken building length (without breaks, stepping or variation in alignment) along a street or open space edge is not to exceed 60m.

Boundary Fences

Boundary fencing is not permitted to Primary Active Frontages.

Boundary fencing on other frontages should allow for overlooking of the adjoining street and open space from the lower levels of the building. Here the use of low of semitransparent boundary fencing is encouraged.

Fencing to side and rear boundaries is limited to 1.8m high including above boundary retaining walls.

Streetscapes

Development in the village centre must ensure high quality streetscapes that offer amenity for pedestrians and cyclists and an appealing environment for retail and on-street dining.

The level of treatment required for each active street frontage type is:

Primary Active Frontages:

Full width footpath broken by kerb side planting of street trees and low foliage planting. Street furniture including bins, seating and bicycle racks. Outdoor dining is encouraged, particularly adjoining open space.

Secondary Active Frontages:

Full width footpath with kerb side planting of street trees and low foliage planting near street corners.

1.6 APPENDIX A: DEFINITIONS

Text from RPS planners

1.7 APPENDIX B: SITE ACCESS AND PARKING

Carparking is required on site according to the Table below. Where a use is not listed the Car parking and Access requirements in the Tweed DCP Part A2 apply.:

LAND USE	CAR SPACES	SERVICE VEHICLE SPACES	CYCLE SPACES
RESIDENTIAL ACCOMMODATION GROUP			
Dwelling House	2 spaces (1 covered)		
Secondary Dwelling	1 space		
Dual Occupancy	1 space covered + 1 space in driveway per dwelling		
Multiple Dwelling Housing	1 per each 1bedroom unit, 1.5 per 2 bedroom unit, and 2 spaces for 3 or more bedroom units. Plus 1 space per 4 units for visitor parking.		Residents: 1 per unit (Class B). Visitors: 1 per 8 units (Class C).
Shop Top Housing (residential component)	1 per each 1bedroom unit, 1.5 per 2 bedroom unit, and 2 spaces for 3 or more bedroom units. Plus 1 space per 4 units for visitor parking.		Residents: 1 per unit (Class B). Visitors: 1 per 8 units (Class C).
Retirement Living	As per SEPP (Housing for Seniors or People with Disability) 2004.	-	-
TOURIST AND SHORT-TERM ACCOMMODATION GROUP			
Hotel or Motel Accommodation	1 space per unit + 1 space per staff	1 HRV	Visitors: 1 per 10 units (Class C) Staff: 1 per 4 staff (Class B).
Bed and Breakfast.	1 space per unit + 1 space per staff		1 per guest bedroom (Class B).
Serviced Apartments	1 space per unit + 1 space per staff	1 HRV	Visitors: 1 per 10 units (Class C) Staff: 1 per 4 staff (Class B).
COMMERCIAL GROUP			
Note where uses are compatible in a mixed-use development carparking rates can be reduced by 20%			
Shop	3.5 per 100m² + 1 per 100m² for staff	1 per 1,500 GFA, min 1. Min 2 for supermarkets (HRV)	2 per 100m² GFA up to 100m² GFA and thereafter at 1 per 200m² GFA (Class C)
Neighbourhood Shops (up to 300m² GFA)	1.6 per 100m²		Visitors: 1 per 50m² (Class C) Staff: 1 per 100m² (Class B)
Office	1 per 50m² GFA		Visitors: 1 per 750m² over 1,000m² (Class C).
Staff: 1 per 200m² (Class B).	0.3 spaces per seat + 0.5 per staff	1 HRV	1 per 20 seats up to max. 10 spaces

LAND USE	CAR SPACES	SERVICE VEHICLE SPACES	CYCLE SPACES
Food and Drink Premises	3.5 per 100m² GFA + 1 per staff	1 SRV	Visitors: 1 per 50m² (Class C).
Staff: 1 per 100m² (Class B).	Greater of 0.25 spaces to each seat or to each m² of net floor area + 0.5 staff	1 SRV	1 per 20m² floor area up to a maximum of 10 spaces (Class B)
Take Away Food and Drink Premises (exc. Drive thru)	3.5 per 100m² GFA + 1 per staff	1 SRV	Visitors: 1 per 50m² GFA (Class C), Staff: 1 per 100m² GFA (Class B)
Exhibition Homes	3 Customer + 1 Staff	1 HRV	
Kiosks (up to 20m² GFA)	1 space		1 space (Class C)
Real Estate Agency	1 per 50m² GFA	1 per 200m² GFA SRV	1 per 200m² GFA (Class C)
Home Based Business	1 space in addition to parking for dwelling		
Restaurant/ Cafe	3.5 per 100m² GFA + 1 per staff at peak operating time	1 HRV	Visitors: 2 (Class C)
Staff: 1 per 50m² GFA (Class B).	1 per 10m² licensed floor area + ancillary areas + reservoir for 6 cars for drive in bottle shop + 0.5 per staff	1 HRV	Visitors: 1 per 25m² bar + 1 per 100m² lounge/beer garden (Class C)
Staff: 1 per 25m² bar + 1 per 100m² lounge/beer garden (Class B).			
Child Care Centre	1 space per 7.5 child + 1 per staff	1 SRV	Staff: 1 per 4 (Class B)
HEALTH SERVICES FACILITY GROUP Note where uses are compatible in a mixed-use development carparking rates can be reduced by 20%			
Medical Centre	3.2 per consulting room (GP), 1.6 per consulting room (specialists) + 1.6 per consulting room for staff	1 per 10 consulting rooms HRV	Visitors: 1 per 4 practitioners (Class C). Staff: 1 per 8 practitioners (Class B)
Health Consulting Rooms	1.6 per consulting room + 1.2 per consulting room for staff		Visitors: 1 per 4 practitioners (Class C). Staff: 1 per 8 practitioners (Class B)
Respite Day Care Centre	1 per 6 beds + 0.5 per for staff	1 ambulance (SRV) + 1 HRV	Residents: 1 per 60 beds (Class B). Staff: 1 per 7 beds (Class C)
Veterinary Hospital	2.4 per consulting room + 1.6 per consulting room for staff		Visitors: 2 (Class C). Staff: 1 per consulting room (Class B)

