

0 15 30 45 60 90 1:3,000 @ A3

# GEMPLIFE

## LOT 32

### MARANA STREET

### BILLAMBIL HEIGHTS

### PRECINCT PLAN

PLAN REF: **AU5144 – 01**  
Rev No: **C**  
DATE: 31 January 2025  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

#### Legend

- Site Boundary (Lot 32)
- Existing Contours (5m Interval)
- Application Boundary
- Precinct A - Village Centre
- Precinct B - Retirement Living
- Precinct C - Lot Density - Housing
- Spine Road

**Note:**  
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

**Source Information:**  
**Site boundaries:** Registered Survey Plans.  
**Adjoining information:** DCDB.  
**Contours:** Global Mapper Jan 2024  
**Aerial photography:** Nearmap Dec 2023  
**Environment constraints:** JWA 2024

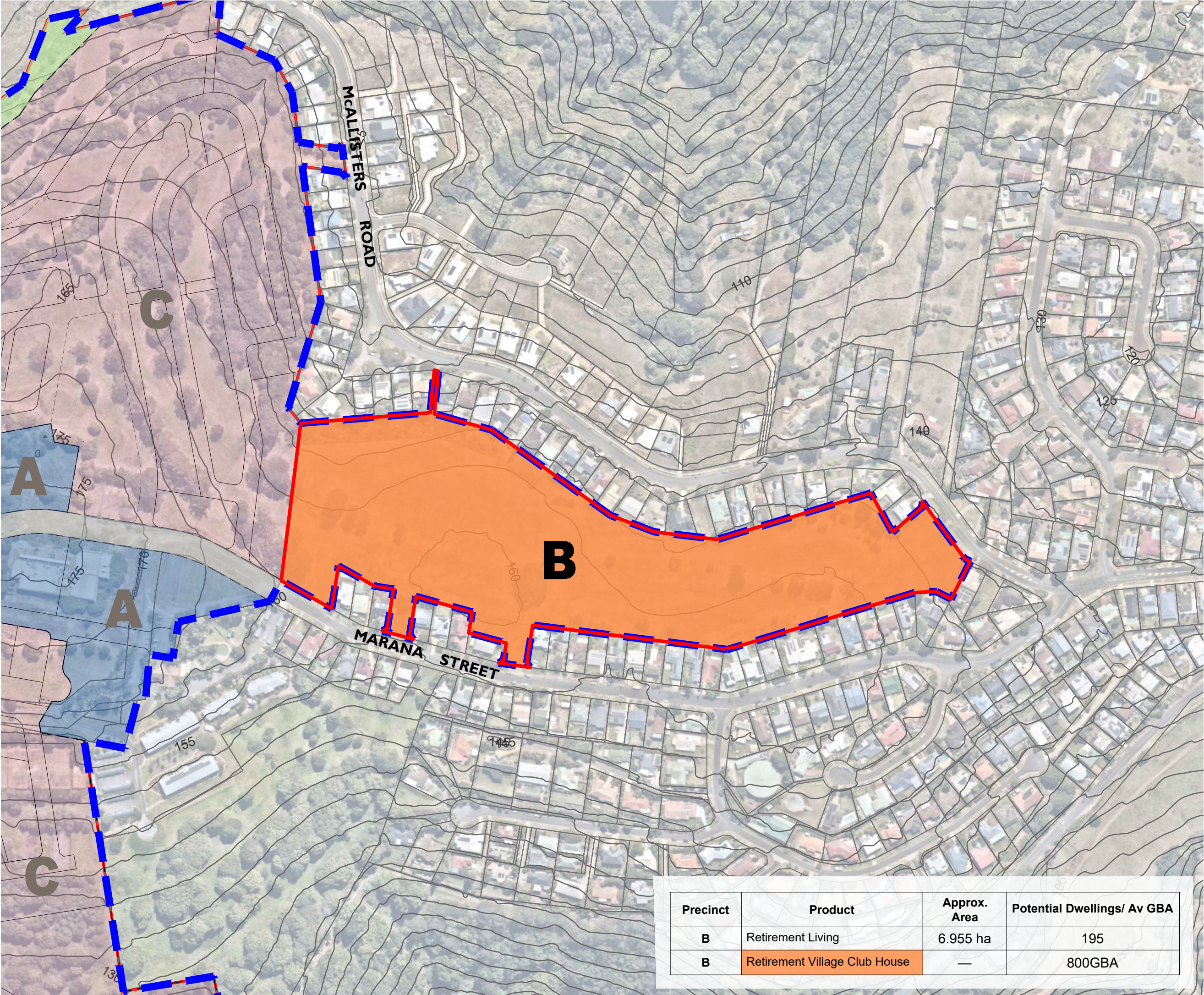


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# GEMPLIFE LOT 32 MARANA STREET BILLAMBIL HEIGHTS PRODUCT SUMMARY PLAN

PLAN REF: **AU5144 – 02**  
Rev No: **C**  
DATE: 31 January 2025  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

## Legend

- Site Boundary (Lot 32)
- Existing Contours (5m Interval)
- Approved Concept Plan Boundary
- Spine Road
- Precinct A - Village Centre
- Precinct B - Retirement Living
- Precinct C - Lot Density - Housing
- Community Facilities 800m² GBA

**Note:**  
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Areas have been rounded down to the nearest 5m².

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**Adjoining information:** DCDB.  
**Contours:** Global Mapper Jan 2024  
**Aerial photography:** Nearmap Dec 2023  
**Environment constraints:** JWA 2024



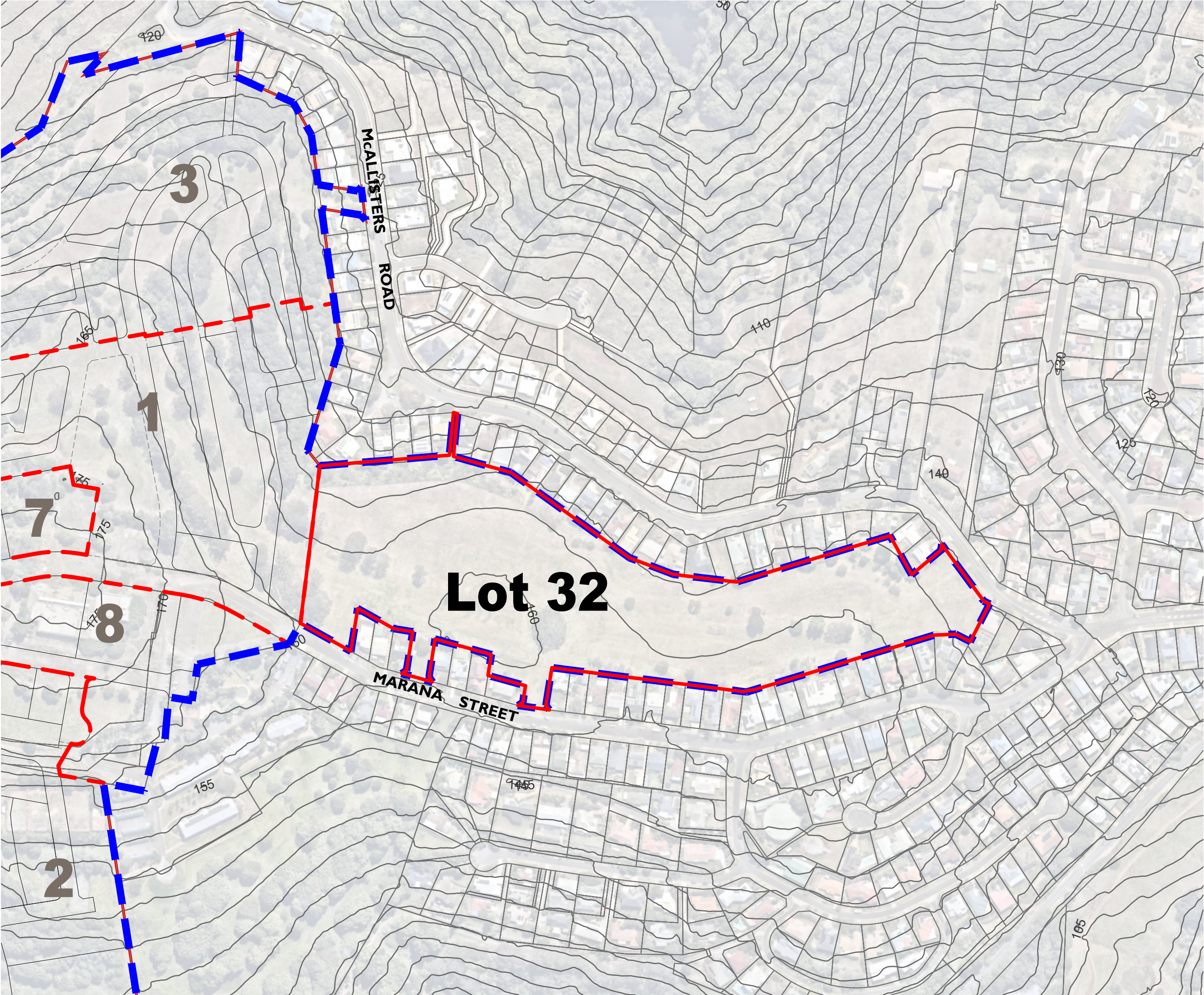
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Precinct	Product	Approx. Area	Potential Dwellings/ Av GBA
B	Retirement Living	6.955 ha	195
B	Retirement Village Club House	—	800GBA





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**GEMPLIFE**  
**LOT 32**  
**MARANA STREET**  
**BILLAMBIL HEIGHTS**  
**INDICATIVE STAGING**  
**& SEQUENCING PLAN**

PLAN REF: **AU5144 – 03**  
Rev No: **C**  
DATE: 31 January 2025  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

**Legend**

- Site Boundary (Lot 32)
- Existing Contours (5m Interval)
- Approved Concept Plan Boundary
- Stage Boundary
- 1 to 8 Residential/ Village Precinct Staging

**Note:**  
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**Site boundaries:** Registered Survey Plans.  
**Adjoining information:** DCDB.  
**Contours:** Global Mapper Jan 2024  
**Aerial photography:** Nearmap Dec 2023  
**Environment constraints:** JWA 2024

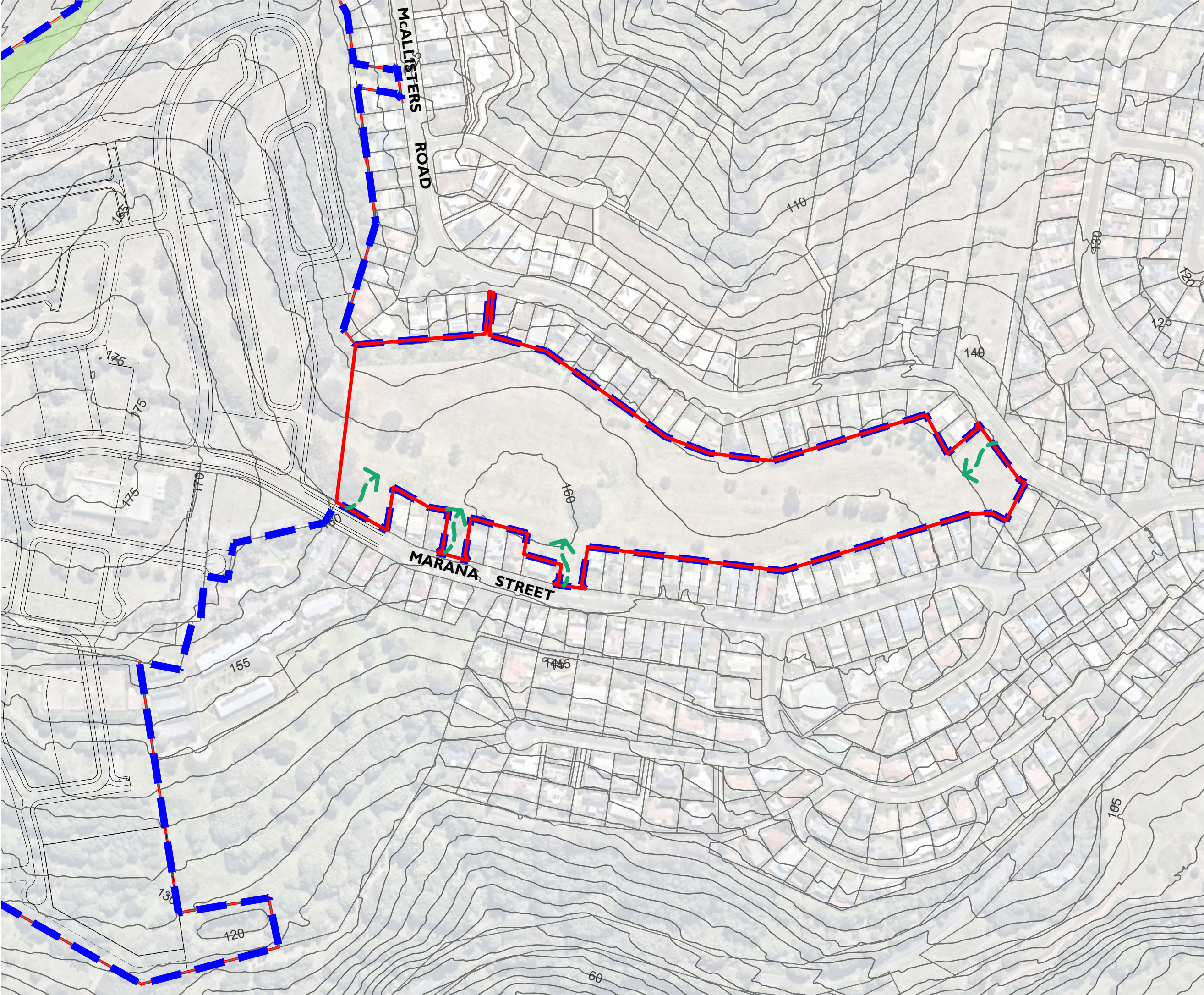


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# GEMPLIFE

## LOT 32

### MARANA STREET

### BILLAMBIL HEIGHTS

### CONNECTIVITY PLAN

PLAN REF: **AU5144 – 04**  
Rev No: **C**  
DATE: 30 January 2025  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

#### Legend

- Site Boundary (Lot 32)
- Existing Contours (5m Interval)
- Approved Concept Plan Boundary
- Potential pathway Connection into wider network

**Note:**  
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

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Areas have been rounded down to the nearest 5m².

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**Source Information:**  
**Site boundaries:** Registered Survey Plans.  
**Adjoining information:** DCDB.  
**Contours:** Global Mapper Jan 2024  
**Aerial photography:** Nearmap Dec 2023  
**Environment constraints:** JWA 2024

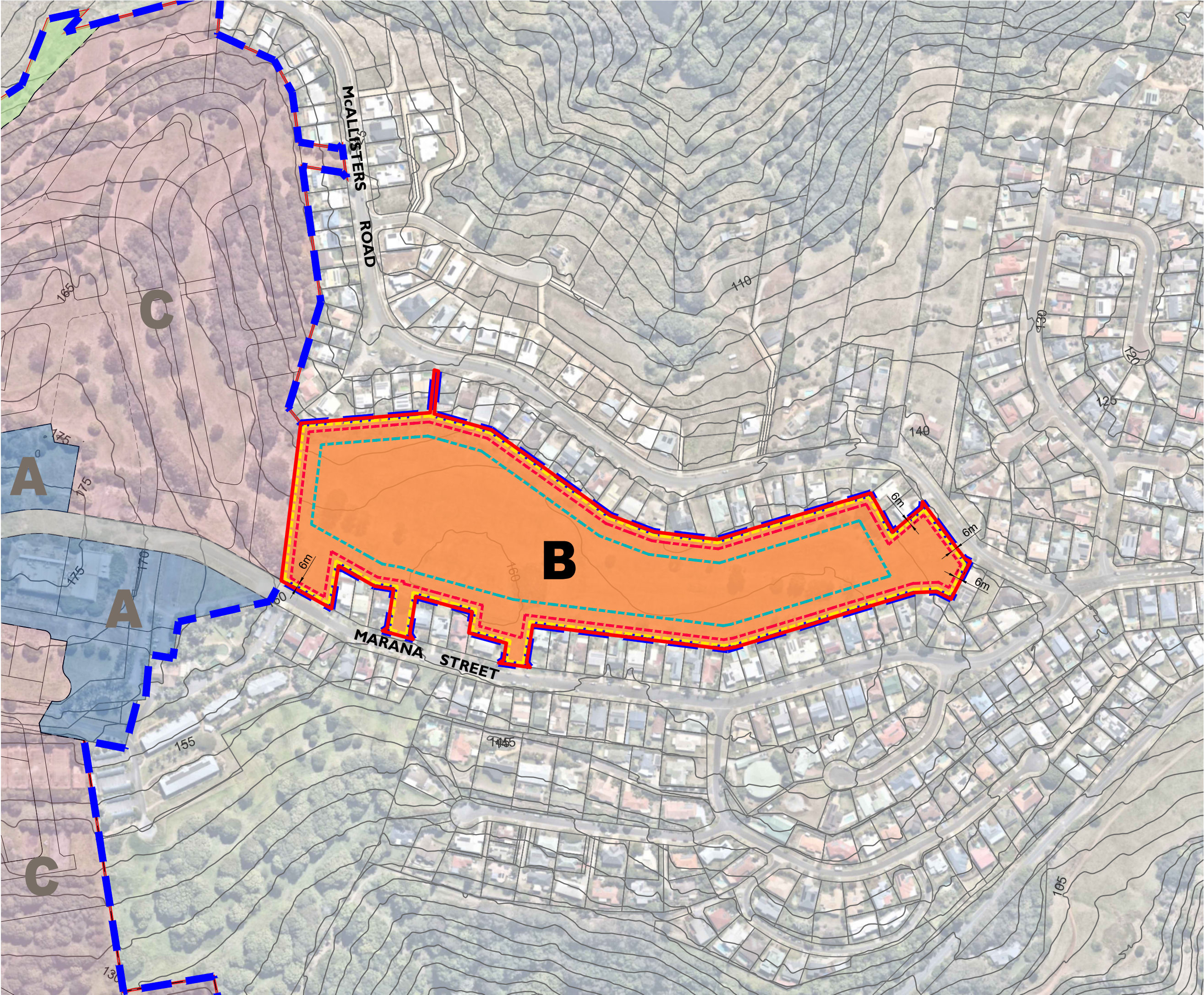


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# GEMPLIFE

## LOT 32

### MARANA STREET

### BILLAMBIL HEIGHTS

### SETBACK PLAN

PLAN REF: **AU5144 – 05**  
Rev No: **C**  
DATE: 31 January 2025  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

#### Legend

- Subject Site (Lot 32)
- Existing Contours (5m Interval)
- Approved Concept Plan Boundary
- Spine Road
- 3m Setback for 2 Storeys & 9.5m Height Limit.
- 8m Setback for 3 Storeys & 12m Height Limit (except where dimensioned otherwise on plan).
- 20 m Setback for 4 Storey & 13.6m Height Limit

**NOTE:**  
All setbacks are measured from the property boundary to outermost projection of the building. Landscape areas, private and common open space and roads may be located within boundary setbacks.

**Note:**  
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Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

#### Source Information:

**Site boundaries:** Registered Survey Plans.  
**Adjoining information:** DCDB.  
**Contours:** Global Mapper Jan 2024  
**Aerial photography:** Nearmap Dec 2023  
**Environment constraints:** JWA 2024

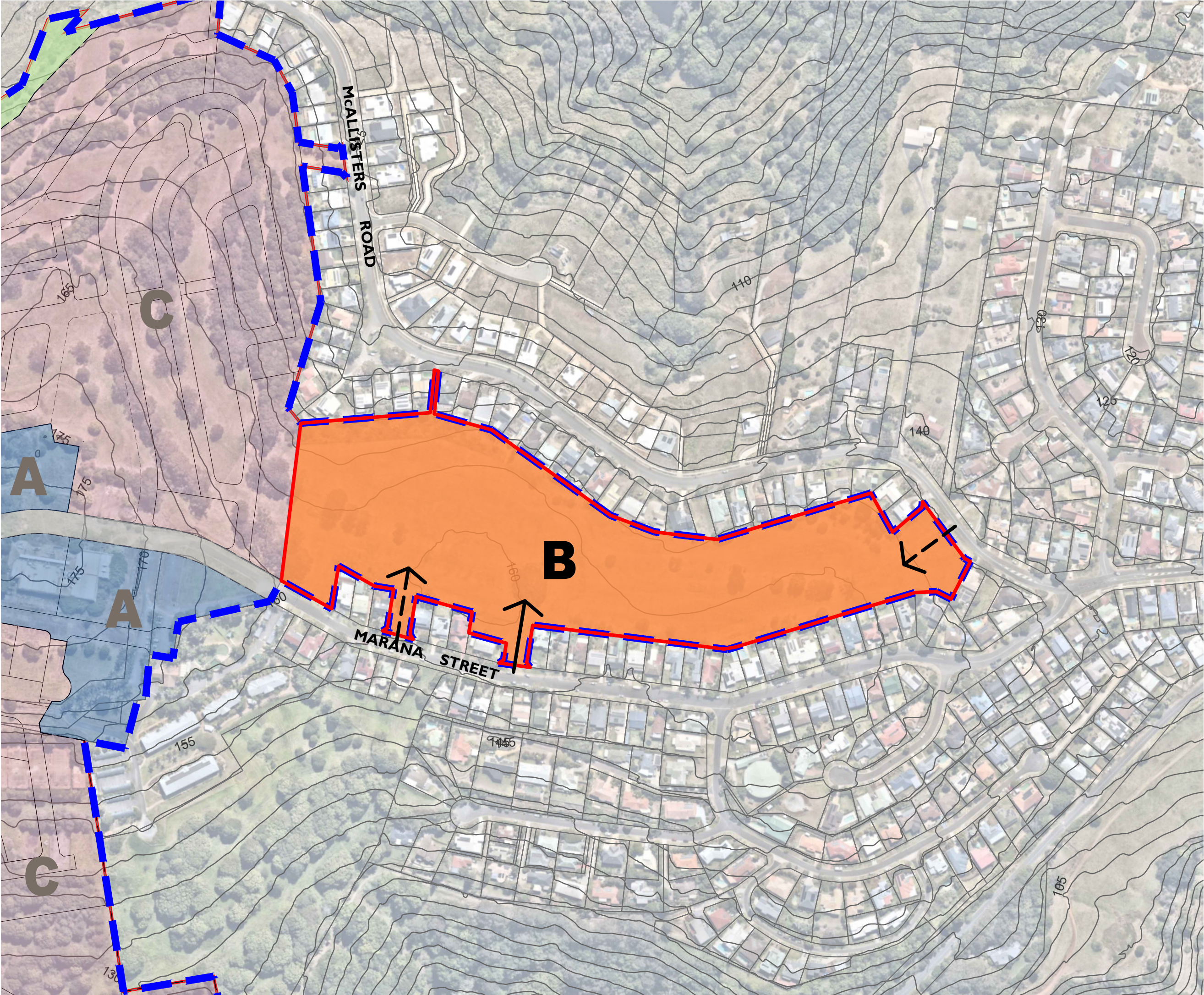


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# GEMPLIFE

## LOT 32

### MARANA STREET

### BILLAMBIL HEIGHTS

### SITE ACCESS PLAN

PLAN REF: **AU5144 – 06**  
Rev No: **C**  
DATE: 31 January 2024  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

#### Legend

- Subject Site (Lot 32)
- Existing Contours (5m Interval)
- Approved Concept Plan Boundary
- Spine Road
- Primary Access Location
- Secondary Access Locations

**Note:**  
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

#### Source Information:

**Site boundaries:** Registered Survey Plans.

**Adjoining information:** DCDB.

**Contours:** Global Mapper Jan 2024

**Aerial photography:** Nearmap Dec 2023

**Environment constraints:** JWA 2024

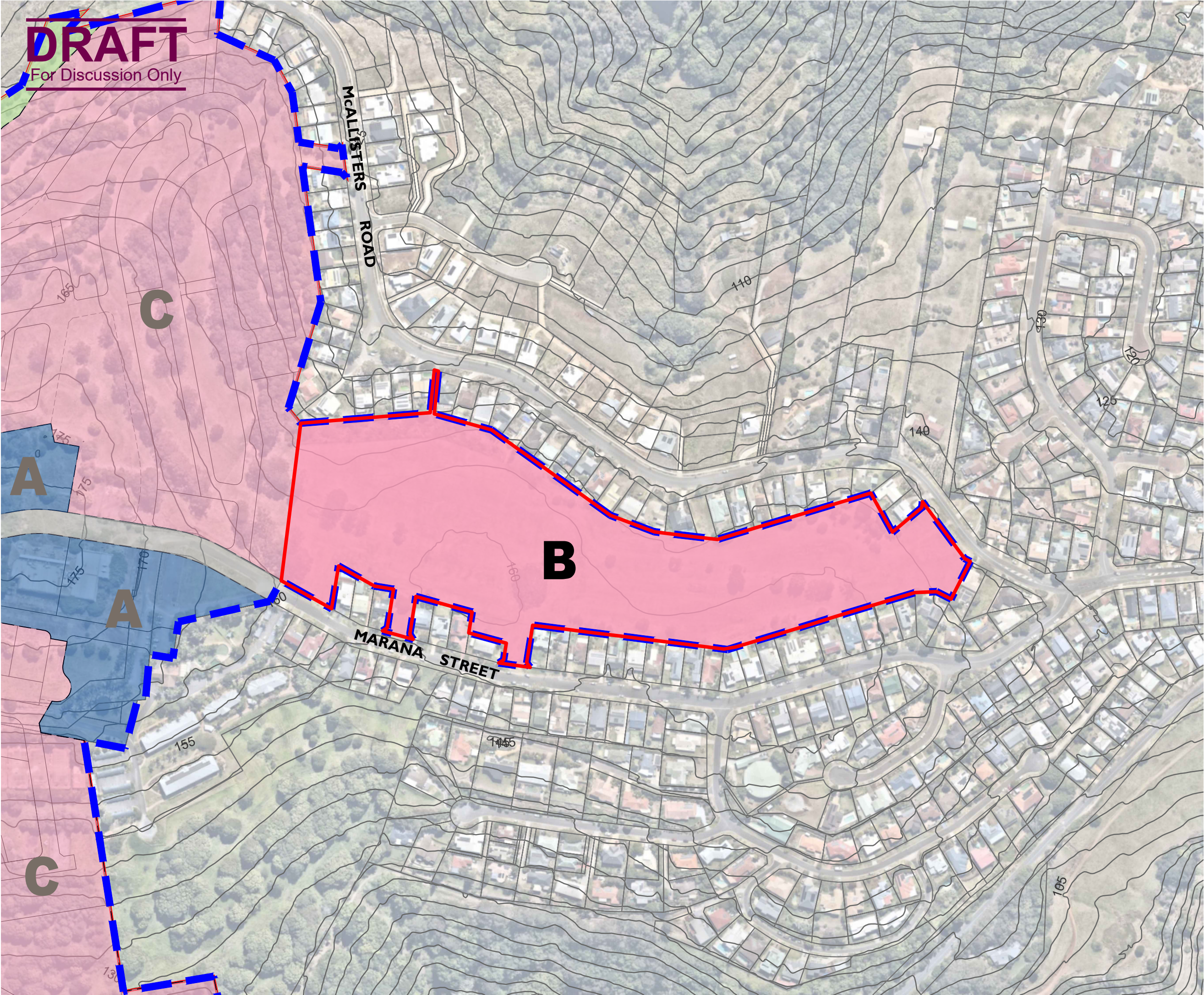


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**GEMPLIFE**  
**LOT 32**  
**MARANA STREET**  
**BILLAMBIL HEIGHTS**  
**BUILDING HEIGHTS**  
**PLAN**

PLAN REF: **AU5144 – 07**  
Rev No: **D**  
DATE: 31 January 2024  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

**Legend**

- Subject Site (Lot 32)
- Existing Contours (5m Interval)
- Approved Concept Plan Boundary
- Spine Road
- Up to 6 Storeys & 19m
- Up to 4 Storeys & 13.6m

**Note:**

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Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

**Source Information:**

**Site boundaries:** Registered Survey Plans.

**Adjoining information:** DCDB.

**Contours:** Global Mapper Jan 2024

**Aerial photography:** Nearmap Dec 2023

**Environment constraints:** JWA 2024

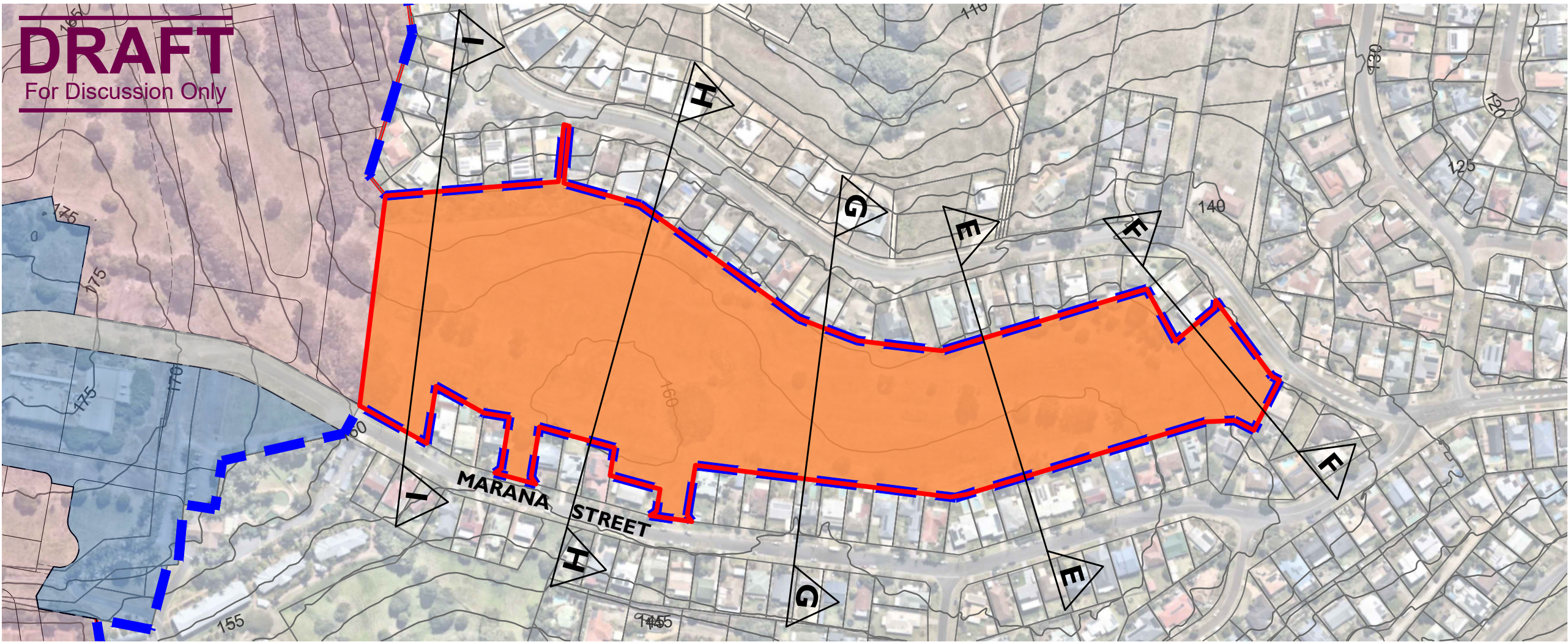


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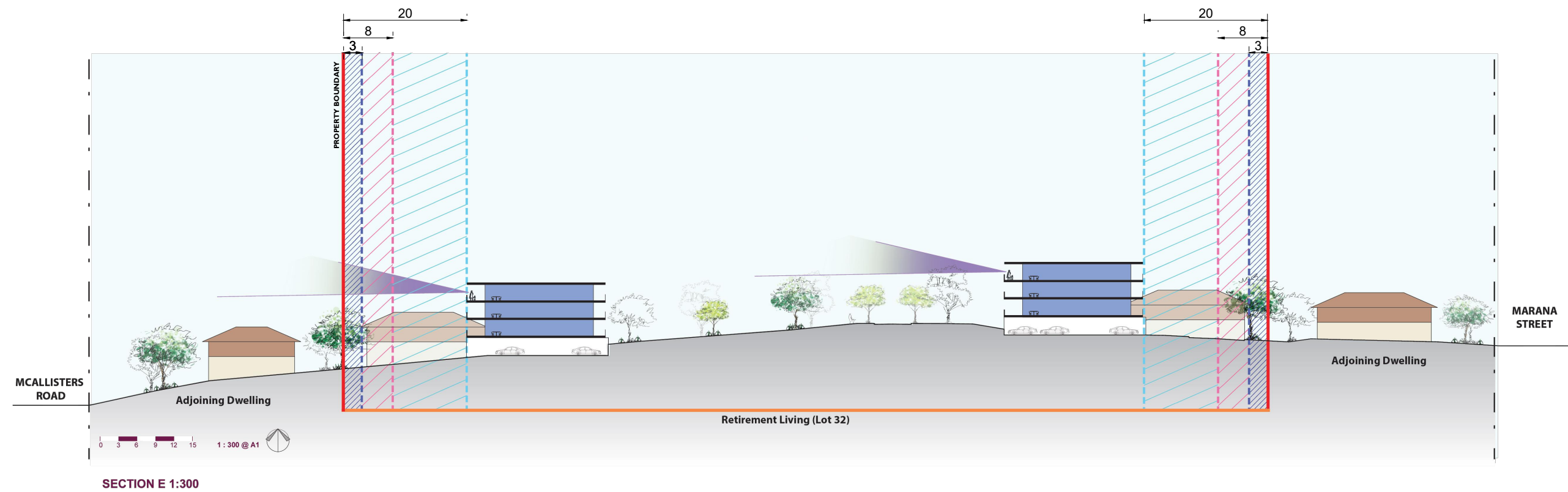
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Section Location Plan



Crosssection E-E 1:750 at A3

0 15 30 45 60 90 1:3,000 @ A3

**GEMPLIFE**  
**LOT 32**  
**MARANA STREET**  
**BILLAMBIL HEIGHTS**  
**SITE CROSS-SECTION**  
**E-E**

PLAN REF: **AU5144 – 08**  
Rev No: **C**  
DATE: 31 January 2024  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

**Legend**

- Subject Site (Lot 32)
- Existing Contours (5m Interval)
- Approved Concept Plan Boundary
- Spine Road
- Cross-section Location
- 3m Setback for 2 Storeys & 9.5m Height Limit.
- 8m Setback for 3 Storeys & 12m Height Limit (except where dimensioned otherwise on plan).
- 20m Setback for 4 Storey & 13.6m Height Limit (6m where dimensioned on plan)

**Note:**  
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Areas have been rounded down to the nearest 5m².

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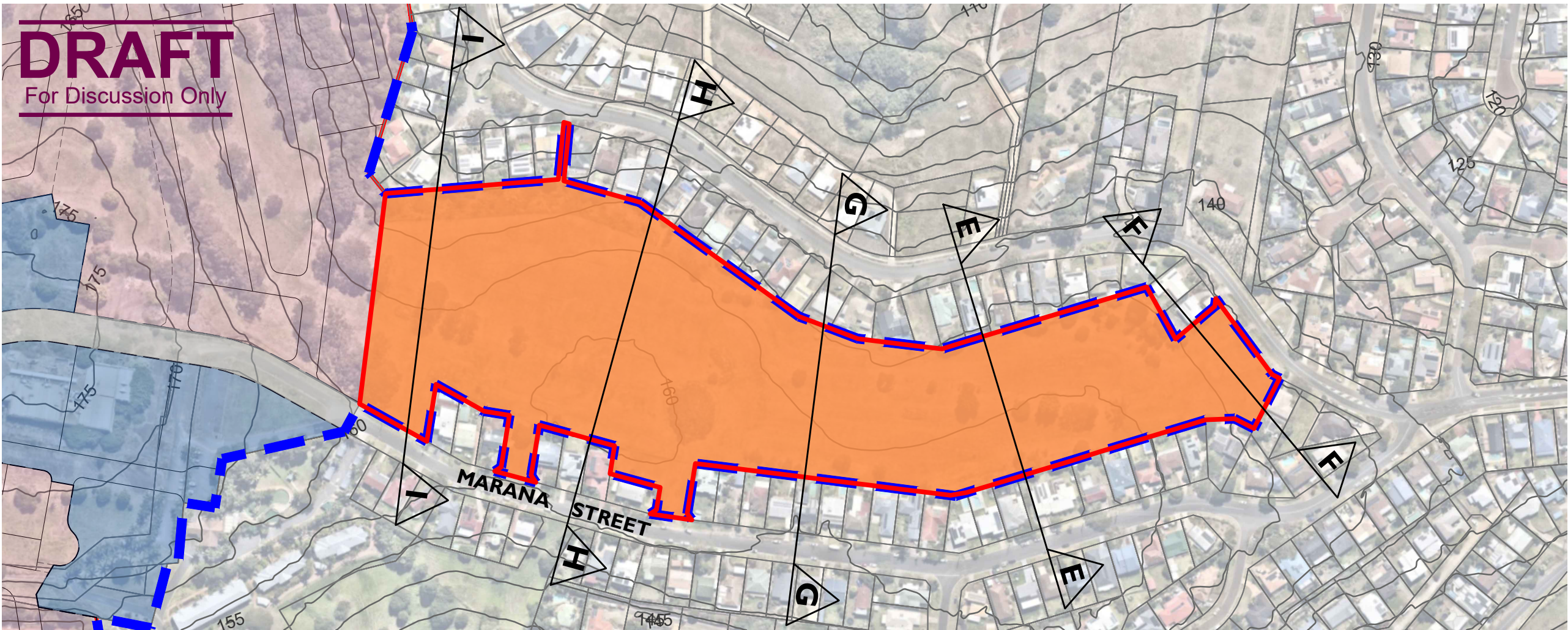
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**Adjoining information:** DCDB.  
**Contours:** Global Mapper Jan 2024  
**Aerial photography:** Nearmap Dec 2023  
**Environment constraints:** JWA 2024

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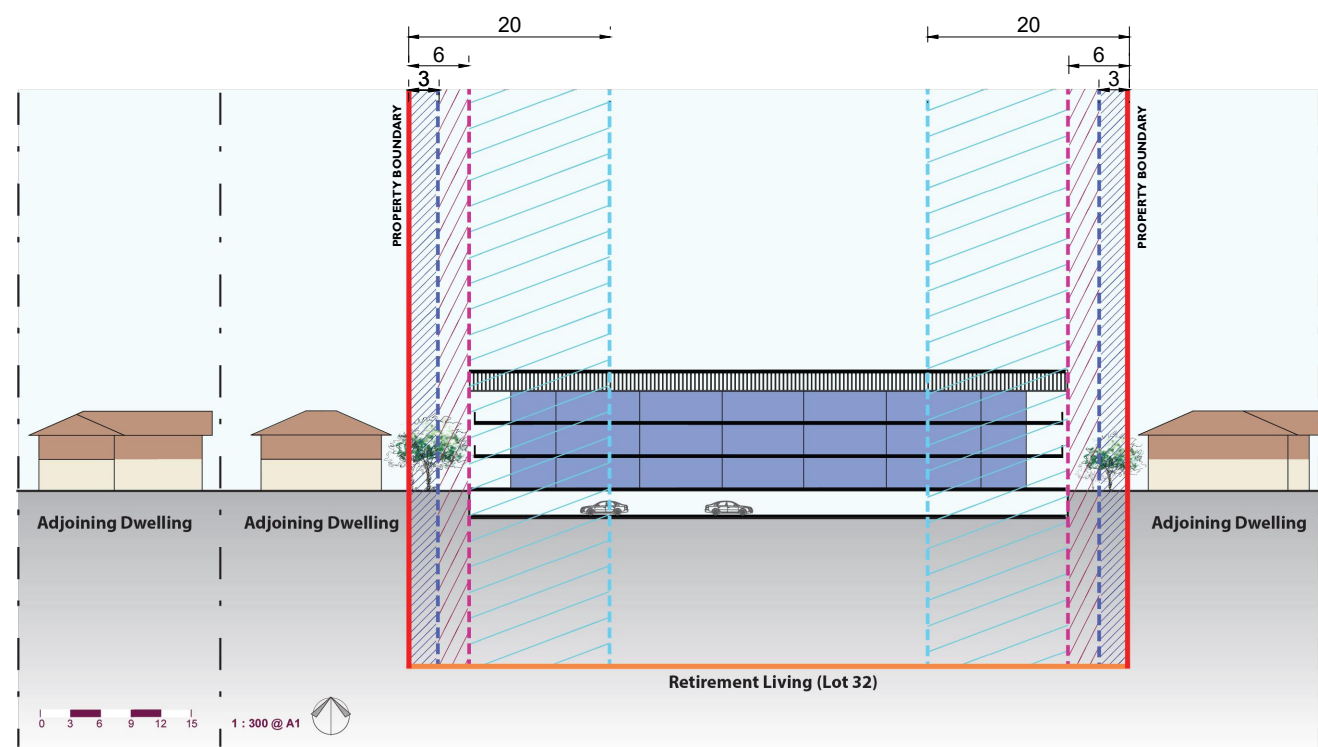
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Section Location Plan



SECTION F 1:300

Crosssection F-F 1:750 at A3

0 15 30 45 60 90 1:3,000 @ A3

**GEMPLIFE**  
**LOT 32**  
**MARANA STREET**  
**BILLAMBIL HEIGHTS**  
**SITE CROSS-SECTION**  
**F-F**

PLAN REF: **AU5144 – 09**  
Rev No: **C**  
DATE: 31 January 2024  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

**Legend**

- Subject Site (Lot 32)
- Existing Contours (5m Interval)
- Approved Concept Plan Boundary
- Spine Road
- Cross-section Location
- 3m Setback for 2 Storeys & 9.5m Height Limit.
- 6m Setback for 3 Storeys & 12m Height Limit fronting street.

**Note:**  
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Areas have been rounded down to the nearest 5m<sup>2</sup>.

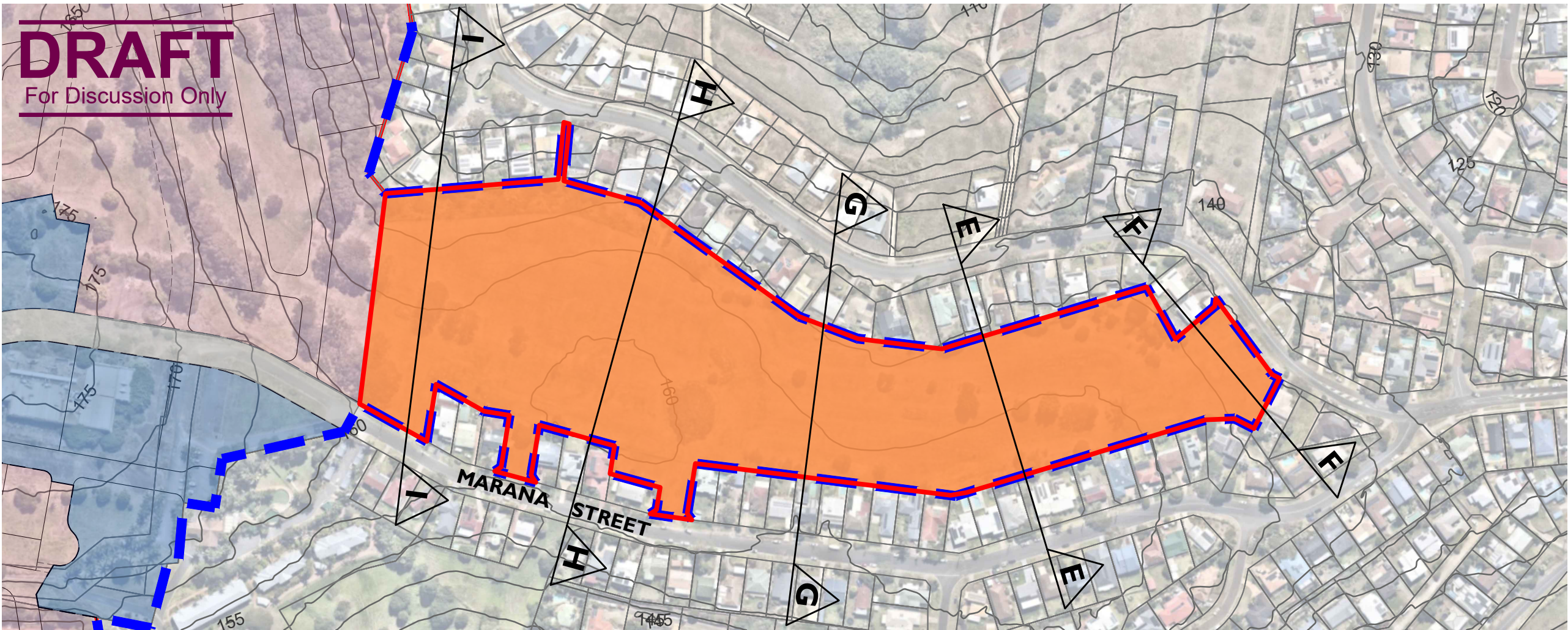
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**Adjoining information:** DCDB.  
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**Aerial photography:** Nearmap Dec 2023  
**Environment constraints:** JWA 2024

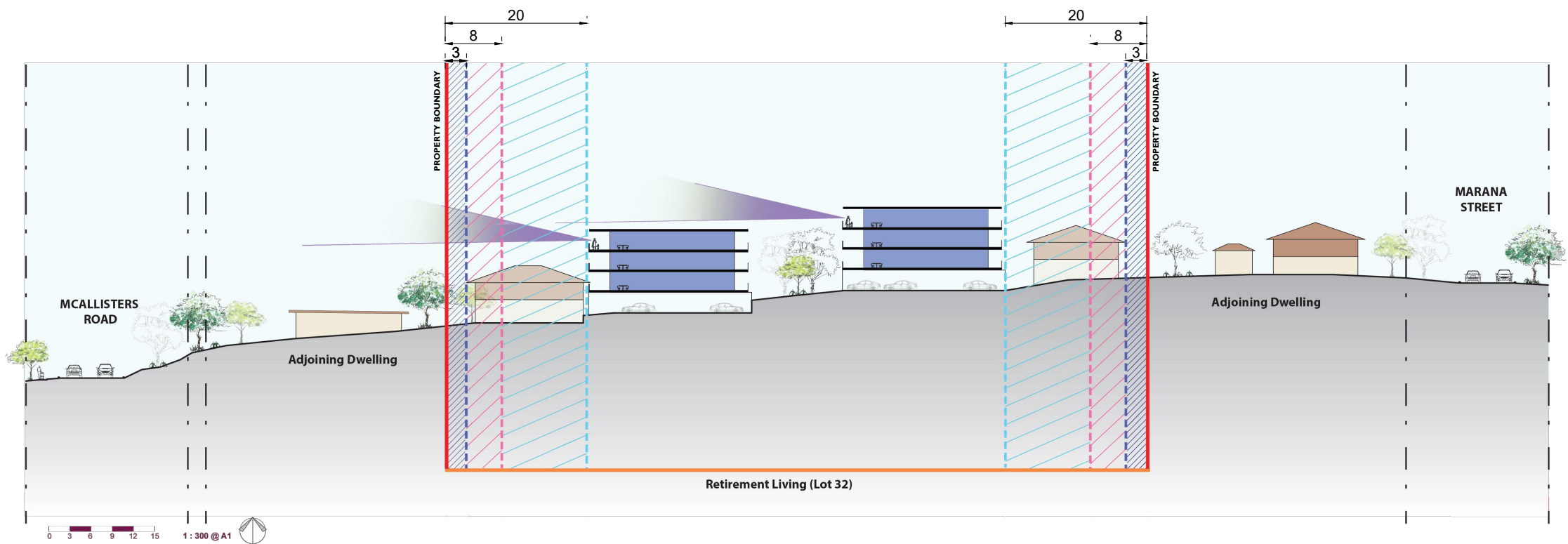
  
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**Section Location Plan**



**SECTION G 1:300**

**Crosssection G-G 1:750 at A3**

0 15 30 45 60 90 1:3,000 @ A3

**GEMPLIFE**  
**LOT 32**  
**MARANA STREET**  
**BILLAMBIL HEIGHTS**  
**SITE CROSS-SECTION**  
**G-G**

PLAN REF: **AU5144 – 10**  
 Rev No: **C**  
 DATE: 31 January 2025  
 CLIENT: GEMPLIFE  
 DRAWN BY: GM  
 CHECKED BY: CC

**Legend**

- Subject Site (Lot 32)
- Existing Contours (5m Interval)
- Approved Concept Plan Boundary
- Spine Road
- Cross-section Location
- 3m Setback for 2 Storeys & 9.5m Height Limit.
- 8m Setback for 3 Storeys & 12m Height Limit (except where dimensioned otherwise on plan).
- 20m Setback for 4 Storey & 13.6m Height Limit (6m where dimensioned on plan)

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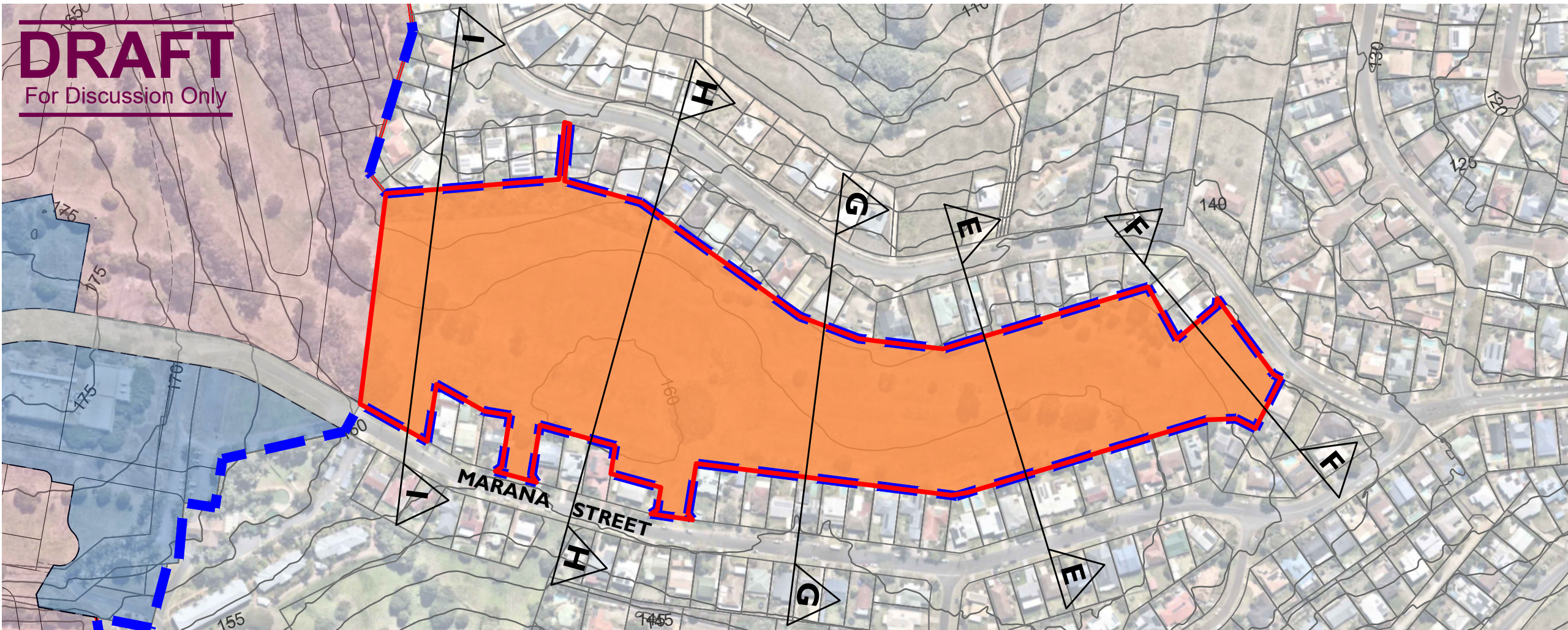
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**Environment constraints:** JWA 2024

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Section Location Plan

0 15 30 45 60 90 1:3,000 @ A3

**GEMPLIFE**  
**LOT 32**  
**MARANA STREET**  
**BILLAMBIL HEIGHTS**  
**SITE CROSS-SECTION**  
**H-H**

PLAN REF: **AU5144 – 11**  
Rev No: **C**  
DATE: 31 January 2025  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

**Legend**

- Subject Site (Lot 32)
- Existing Contours (5m Interval)
- Approved Concept Plan Boundary
- Spine Road
- Cross-section Location
- 3m Setback for 2 Storeys & 9.5m Height Limit.
- 8m Setback for 3 Storeys & 12m Height Limit (except where dimensioned otherwise on plan).
- 20m Setback for 4 Storey & 13.6m Height Limit (6m where dimensioned on plan)

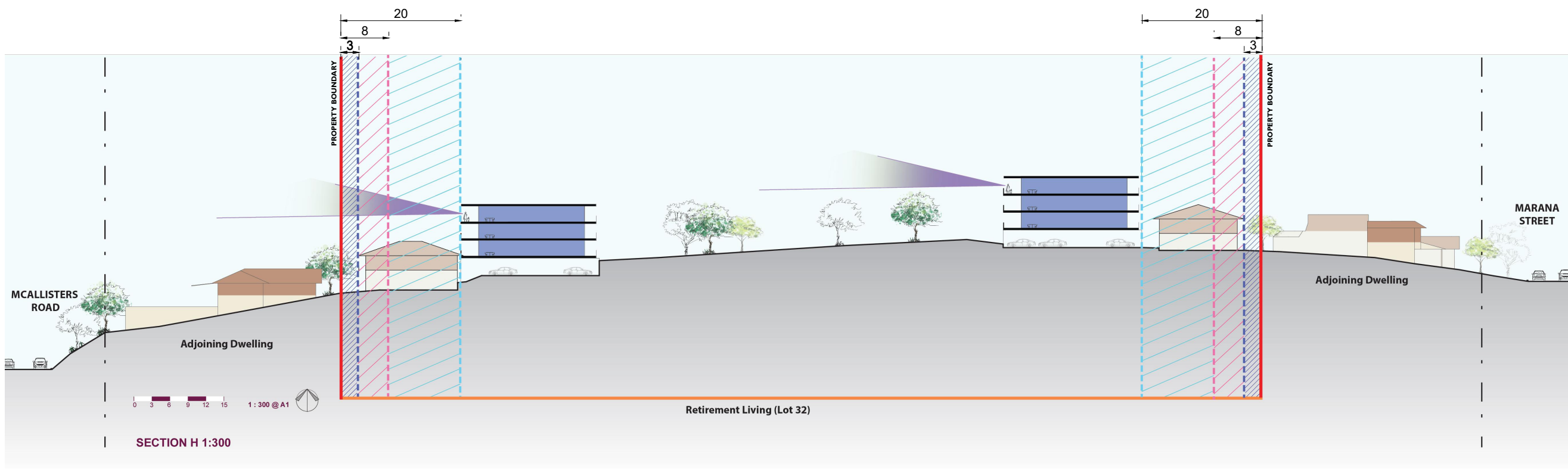
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**Aerial photography:** Nearmap Dec 2023  
**Environment constraints:** JWA 2024



Crosssection H-H 1:750 at A3

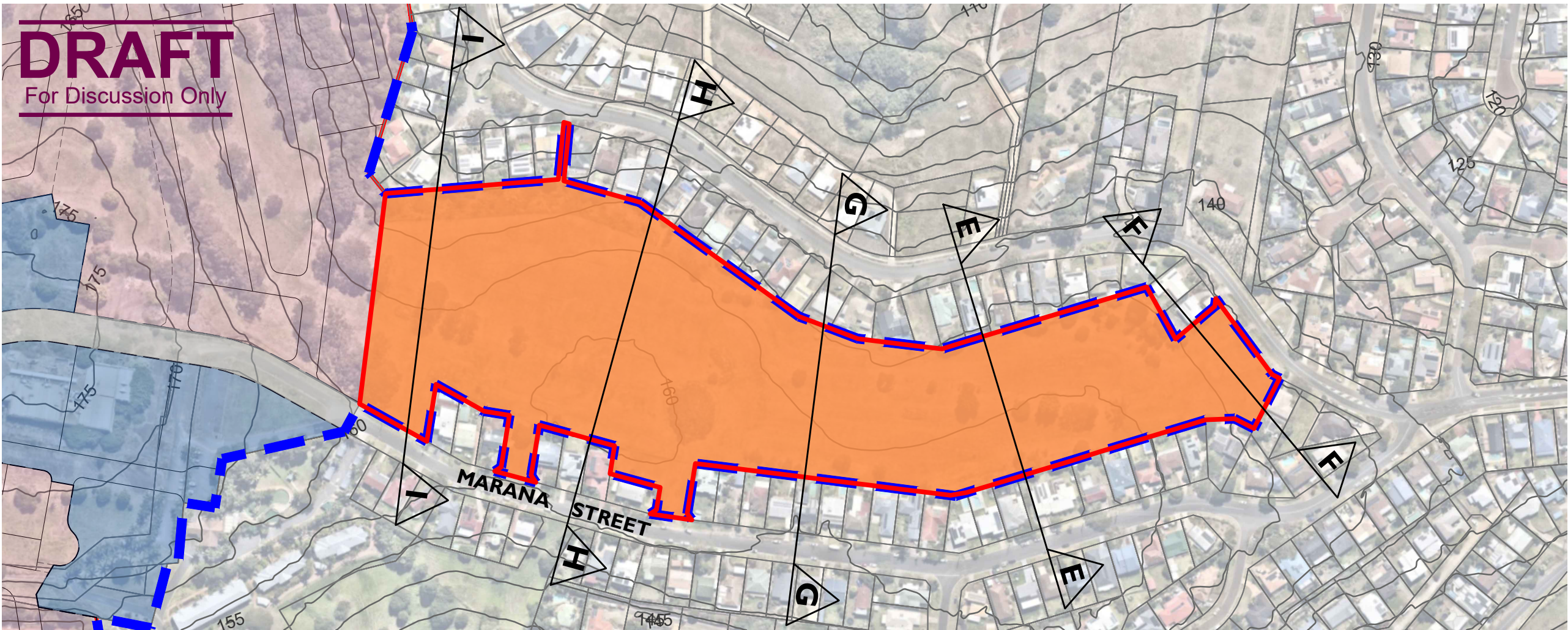


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Section Location Plan

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GEMPLIFE  
LOT 32  
MARANA STREET  
BILLAMBIL HEIGHTS  
SITE CROSS-SECTION  
I-I

PLAN REF: AU5144 – 12  
Rev No: C  
DATE: 31 January 2025  
CLIENT: GEMPLIFE  
DRAWN BY: GM  
CHECKED BY: CC

Legend

Subject Site (Lot 32)

Existing Contours (5m Interval)

Approved Concept Plan Boundary

Spine Road

Cross-section Location

3m Setback for 2 Storeys & 9.5m Height Limit.

6m Setback for 3 Storeys & 12m Height Limit fronting street.

8m Setback for 3 Storeys & 12m Height Limit (except where dimensioned otherwise on plan).

20m Setback for 4 Storey & 13.6m Height Limit (6m where dimensioned on plan)

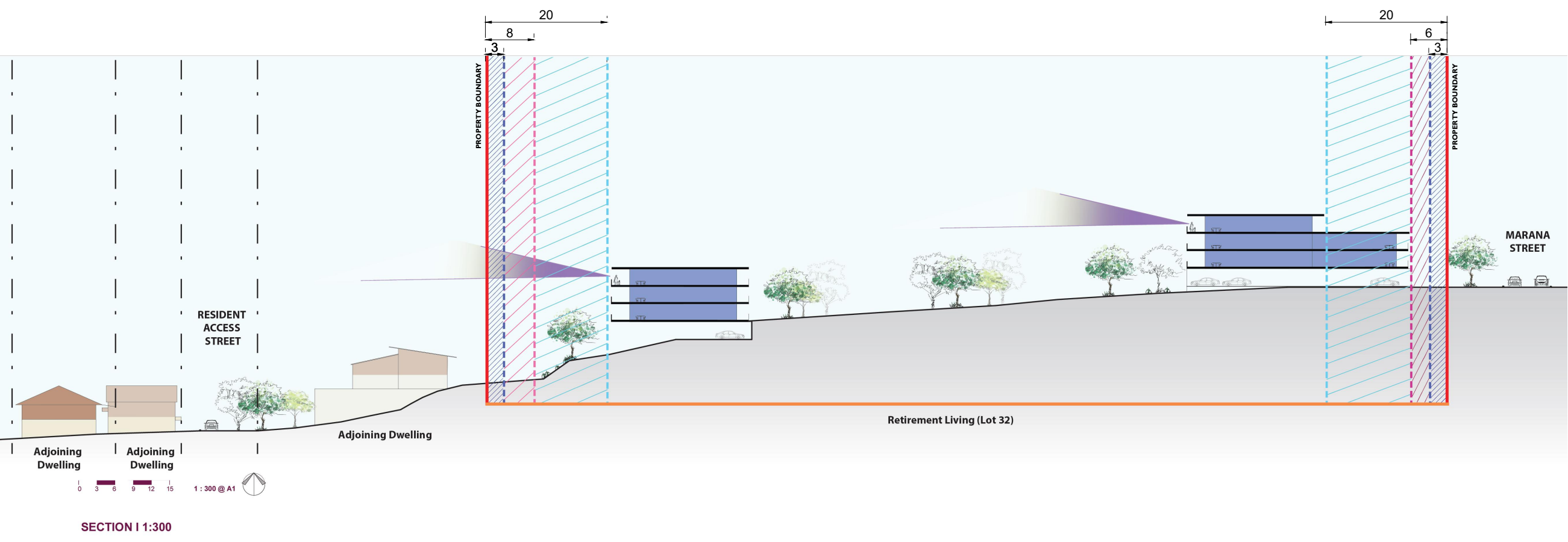
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**Adjoining information:** DCDB.  
**Contours:** Global Mapper Jan 2024  
**Aerial photography:** Nearmap Dec 2023  
**Environment constraints:** JWA 2024



Crosssection I-I 1:750 at A3

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