

LEGEND :

EW	EXISTING WINDOW	⊕	EMERGENCY LIGHTING	⊞	BINS
AL	ALUMINIUM FRAME	⊙	SMOKE DETECTOR HPM 645 I/C NOTE: ALARM FROM SMOKE DETECTOR IN STAIRWAY TO BE AUDIBLE FROM EACH UNIT.	HWS	HOT WATER SYSTEM
RP	RENDER PAINT FINISH	⊗	FLOOR WASTE REMOVABLE GRATED DRAIN	⊞	DUCTING AIRCONDITIONING
FB	FACE BRICK	⊙	AIR / VEN		
DDFS	DURACRID AND DURACOM FACADE SYSTEM	1 HR	ONE HOUR FIRE ALUMINIUM FRAME DOOR WITH AUTOMATIC CLOSURE		
TG	TRANSLUCENT GLASS	EXIT	ILLUMINATED EXIT SIGN		
GB	GLASS BALUSTRADE				



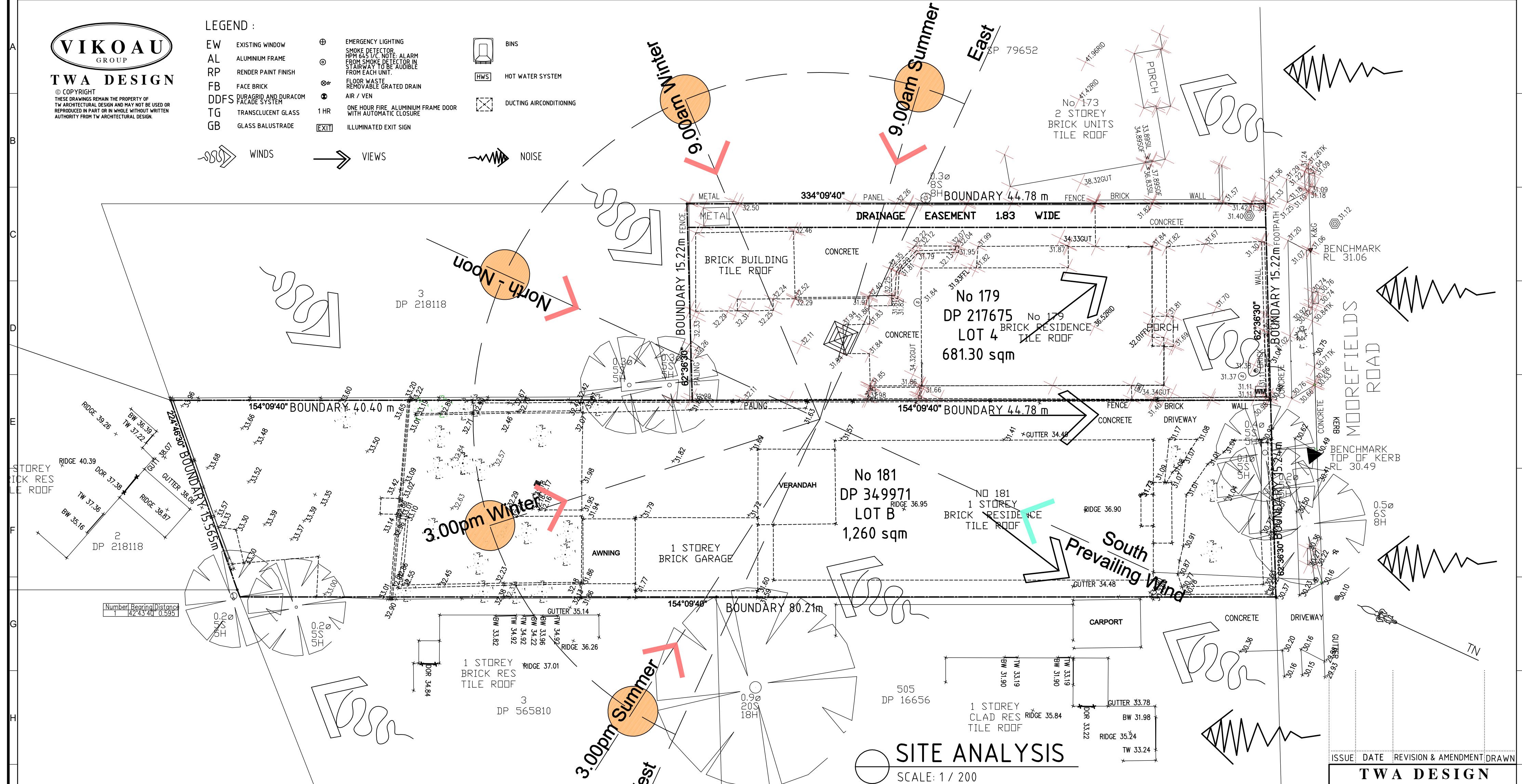
WINDS



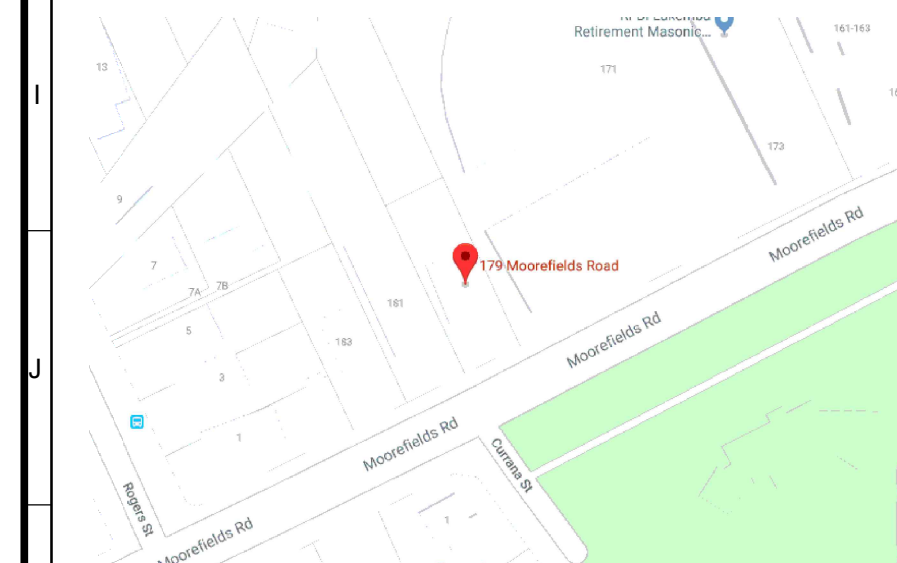
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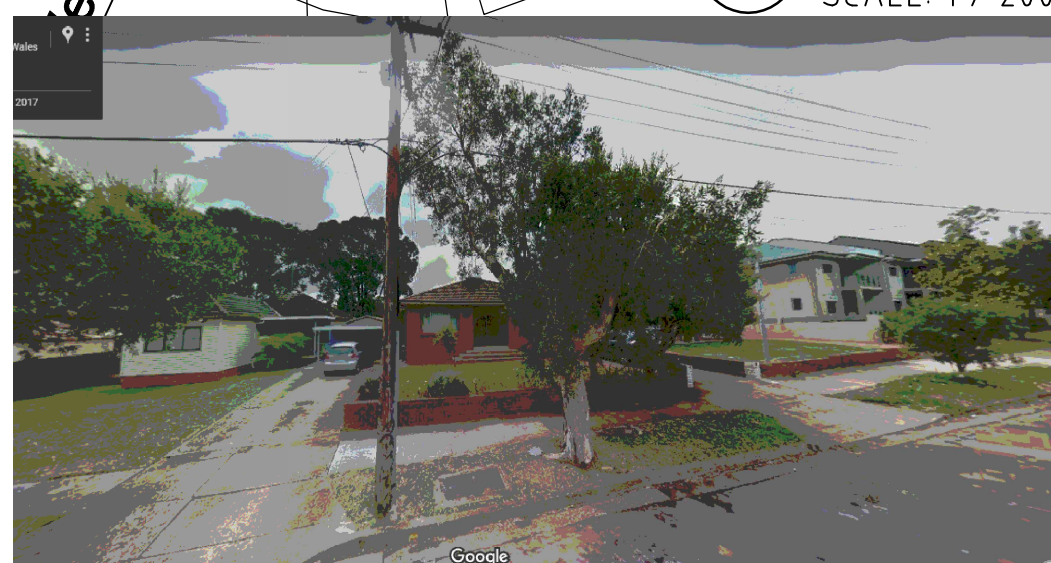
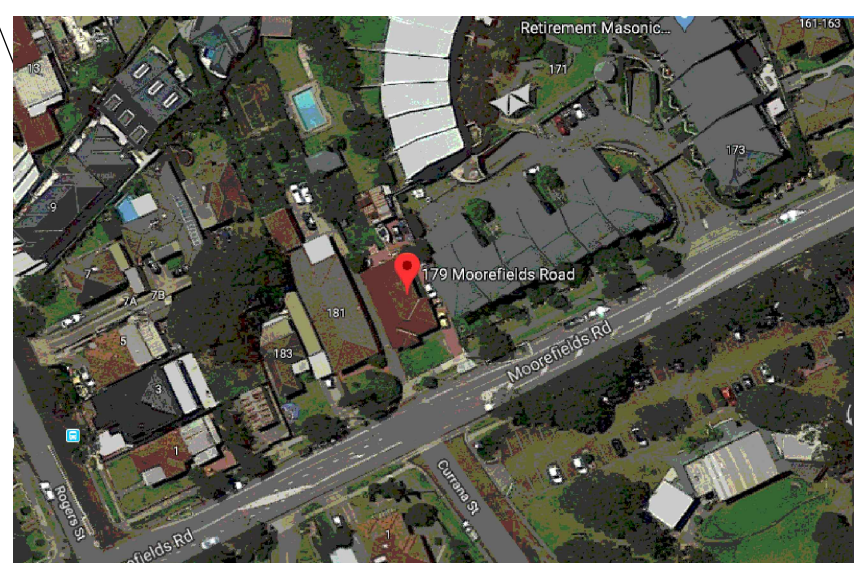
NOISE



SITE ANALYSIS  
SCALE: 1 / 200



LOCATION MAPS



1 STOREY  
CLAD RES  
TILE ROOF

NO 181  
1 STOREY  
BRICK RESIDENCE  
TILE ROOF



No 179  
BRICK RESIDENCE  
TILE ROOF

No 173  
2 STOREY  
BRICK UNITS  
TILE ROOF

ISSUE DATE REVISION & AMENDMENT DRAWN

TWA DESIGN ARCHITECTURE BUILDING + INTERIOR DESIGN + 3D IMAGE			
BASIX CERTIFICATES Ph: 0403 282 766 twadesign@hotmail.com			
PROJECT: LOT 4 & B, DP 217675 & 349971 DEMOLITION EXISTING DWELLING & PROPOSED STRATA TITLE, MULTI DWELLING HOUSING AT 179-181 MOOREFIELDS RD ROSELANDS NSW 2196			
TITLE SITE ANALYSIS DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 200 @ A2	DATE: 21 / AUG / 2021		
JOB No: 180618 Copyright © 2018	ISSUE:	SHEET No: 0	



A  
B  
C  
D  
E  
F  
G  
H  
I  
J  
K

No 179	681.30 sqm
No 181	1,260 sqm
TOTAL OF SITE AREA	1,941.30 sqm
PROPOSED SUBDIVISION STRATA TITLE	

No 173  
SP 79652

334°09'40" BOUNDARY 44.78 m

3  
DP 218118

154°09'40" BOUNDARY 40.40 m

62°36'30" BOUNDARY 15.22m

No 179-181  
DP 217675 & 349971,  
LOT 4 & B  
1,941.30 sqm

62°36'30" BOUNDARY 30.46m

MOOREFIELDS ROAD

BENCHMARK  
RL 31.06

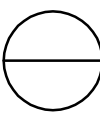
BENCHMARK  
TOP OF KERB  
RL 30.49

TN

3  
DP 565810

154°09'40" BOUNDARY 80.21m

No 183  
505  
DP 16656



SUBDIVISION CONCEPT PLAN  
SCALE: 1 / 200



TWA DESIGN

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LEGEND :

- EW EXISTING WINDOW
- AL ALUMINIUM FRAME
- RP RENDER PAINT FINISH
- FB FACE BRICK
- DDFS DURAGRID AND DURACOM FACADE SYSTEM
- TG TRANSLUCENT GLASS
- GB GLASS BALUSTRADE
- ⊕ EMERGENCY LIGHTING
- ⊙ SMOKE DETECTOR  
HPM 645 I/C NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
FROM EACH UNIT.
- ⊗dr FLOOR WASTE  
REMOVABLE GRATED DRAIN
- ⊙ AIR / VEN
- 1 HR ONE HOUR FIRE, ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- BINS
- HWS HOT WATER SYSTEM
- DUCTING AIRCONDITIONING

X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.20)	TWA
ISSUE	DATE	REVISION & AMENDMENT	DRAWN

TWA DESIGN ARCHITECTURE BUILDING + INERIOR DESIGN + 3D IMAGE BASIX CERTIFICATES Ph: 04 03 282 766 twadesign@hotmail.com			
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TITLE SUBDIVISION PLAN			
DEVELOPMENT APPLICATION			
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SCALE: 1 / 200 @ A2	DATE: 21 / AUG / 2021		
JOB No : 180618 Copyright © 2018	ISSUE: X	SHEET No: 1	

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

TOTAL OF SITE AREA	1,941.30 sqm
DWELLING-1	= 148.24 sqm
DWELLING-2	= 194.10 sqm
DWELLING-3	= 143.27 sqm
DWELLING-4	= 110.41 sqm
DWELLING-5	= 160.89 sqm
DWELLING-6	= 104.07 sqm
DWELLING-7	= 105.78 sqm
DWELLING-8	= 143.08 sqm
DWELLING-9	= 136.61 sqm
PROPOSED SUBDIVISION STRATA TITLE	



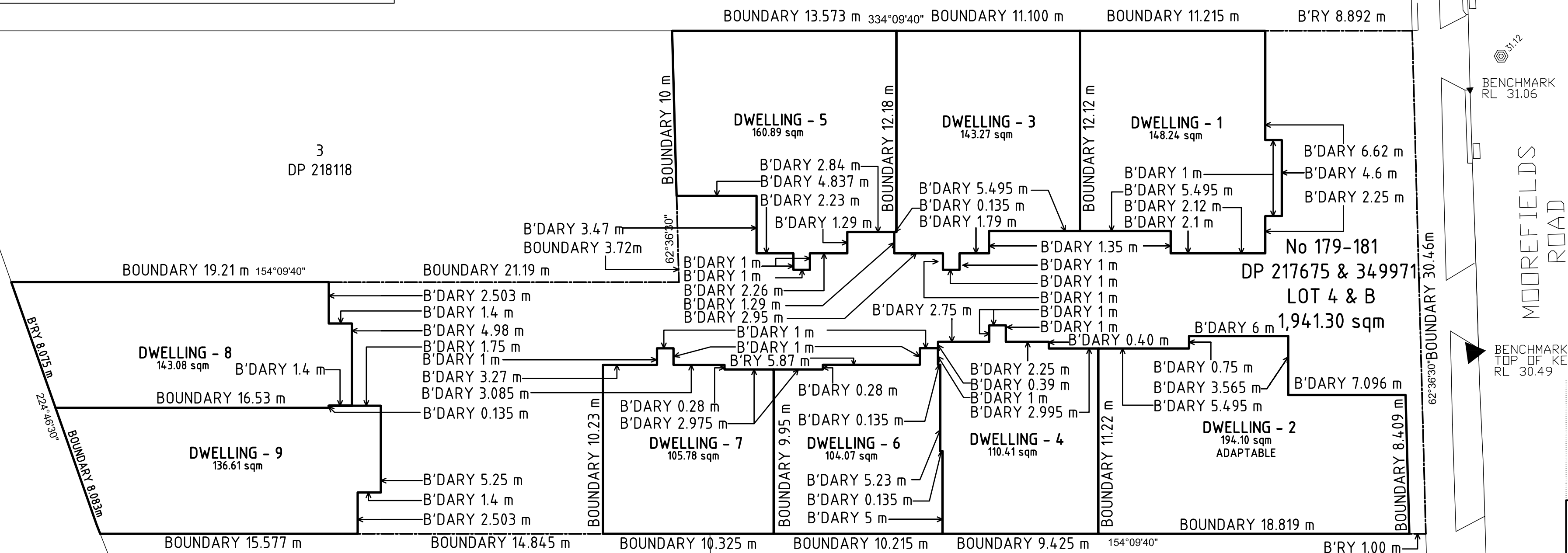
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TG	TRANSLUCENT GLASS
GB	GLASS BALUSTRADE
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⊗dr	FLOOR WASTE REMOVABLE GRATED DRAIN
⊙	AIR / VEN
1 HR	ONE HOUR FIRE, ALUMINIUM FRAME DOOR WITH AUTOMATIC CLOSURE
EXIT	ILLUMINATED EXIT SIGN
	BINS
HWS	HOT WATER SYSTEM
	DUCTING AIRCONDITIONING

No 173  
SP 79652



BENCHMARK  
RL 31.06

MOOREFIELDS ROAD

BENCHMARK  
TOP OF KERB  
RL 30.49

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ISSUE DATE REVISION & AMENDMENT DRAWN

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TITLE SUBDIVISION PLAN	
DEVELOPMENT APPLICATION	
DESIGN: ARW	CHECK BY: TWA
SCALE: 1 / 200 @ A2	DATE: 29 / SEP / 2021
JOB No : 180618 Copyright © 2018	ISSUE: X2 SHEET No: 2

SUBDIVISION CONCEPT PLAN - 1  
SCALE: 1 / 200



LEGEND :

- |      |                                       |   |   |   |                         |
|------|---------------------------------------|---|---|---|-------------------------|
| EW   | EXISTING WINDOW                       | ⊕   | EMERGENCY LIGHTING  |  | BINS                    |
| AL   | ALUMINIUM FRAME                       | ⊙   | SMOKE DETECTOR<br>HPM 645 I/C. NOTE: ALARM<br>FROM SMOKE DETECTOR IN<br>STAIRWAY TO BE AUDIBLE<br>FROM EACH UNIT. |  | HOT WATER SYSTEM        |
| RP   | RENDER PAINT FINISH                   | ⊗ <sup>dr</sup>   | FLOOR WASTE<br>REMOVABLE GRATED DRAIN   |  | AIR / VEN               |
| FB   | FACE BRICK                            | ⊗   | ONE HOUR FIRE ALUMINIUM FRAME DOOR<br>WITH AUTOMATIC CLOSURE  |  | DUCTING AIRCONDITIONING |
| DDFS | DURAGRIP AND DURACOM<br>FAÇADE SYSTEM | 1 HR  | ILLUMINATED EXIT SIGN   |   |                         |
| TG   | TRANSLUCENT GLASS                     |   |   |   |                         |
| GB   | GLASS BALUSTRADE                      |  |   |   |                         |



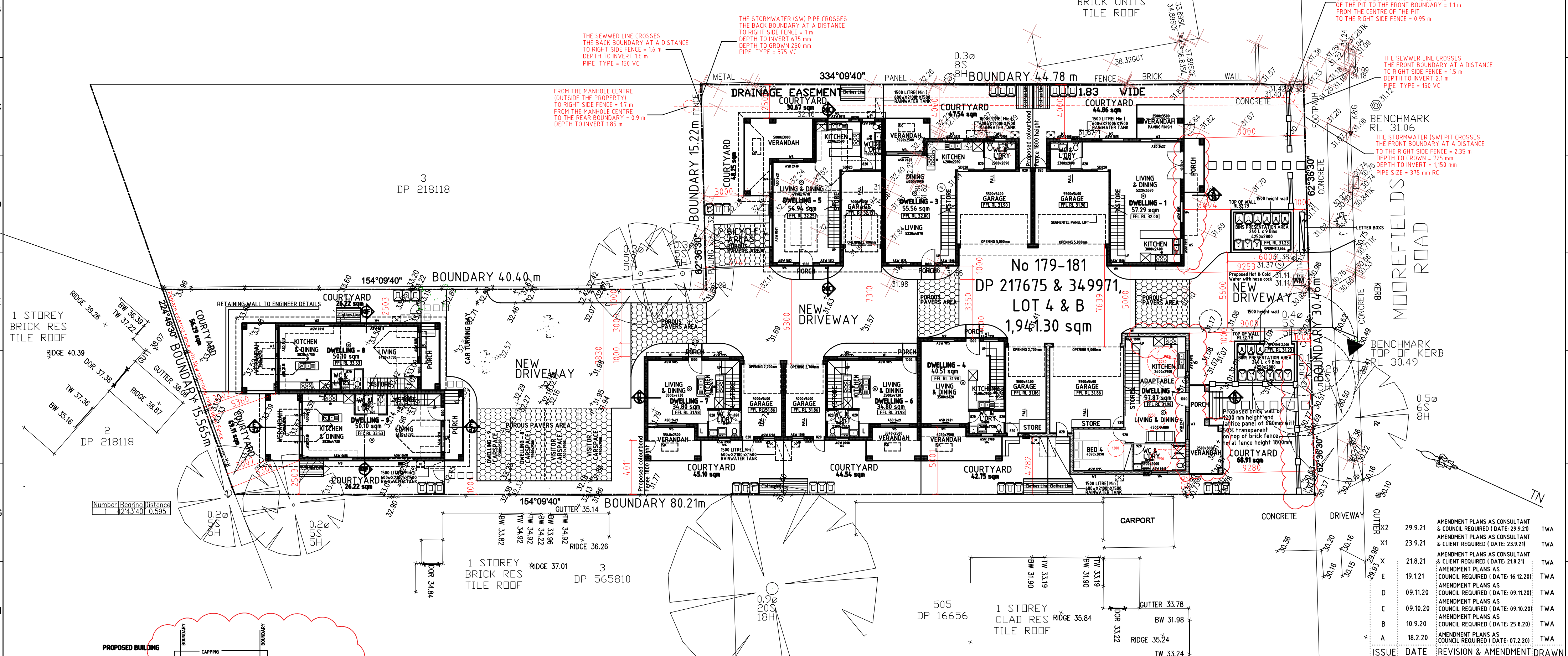
**BINS**



## HOT WATER SYSTEM

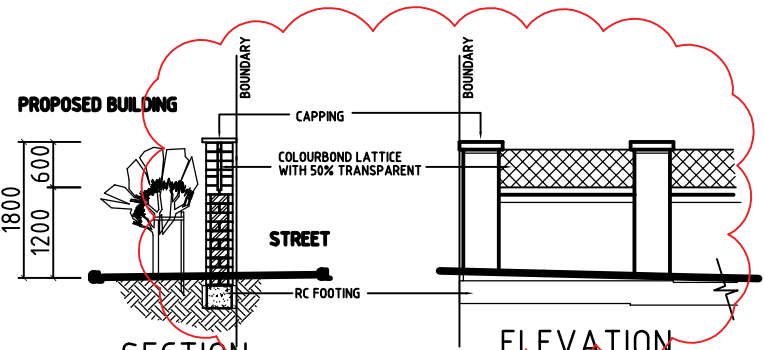


## DUCTING AIRCONDITIONING



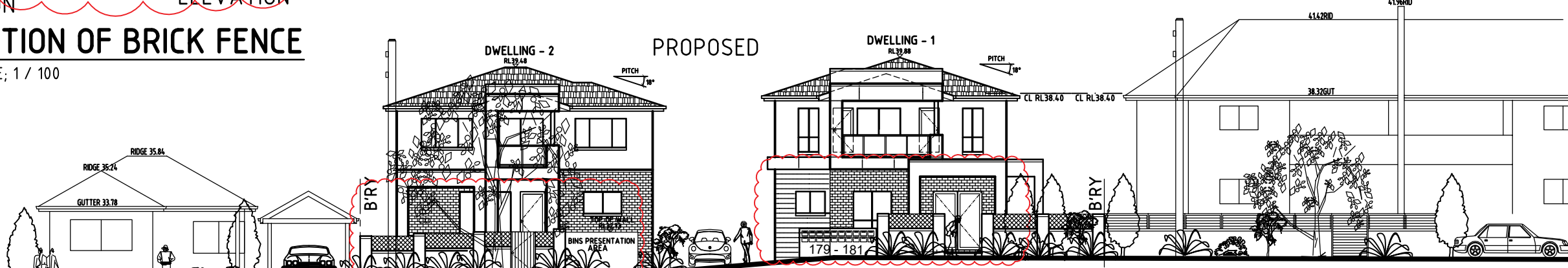
# SITE & GROUND FLOOR PLAN

SCALE: 1 / 200



## SECTION OF BRICK FENCE

SCALE; 1 / 100



# STREETS CAPE

SCALE: 1 / 200 ( AT MOORFIELDS ROAD )

1 STOREY  
CLAD RES  
TILE ROOF

No 173  
2 STOREY  
BRICK UNITS  
TILE ROOF

ITER	X2	29.9.21	AMENDMENT PLANS AS CONSULTANT & COUNCIL REQUIRED (DATE: 29.9.21)	TWA
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ISSUE	DATE	REVISION & AMENDMENT	DRAWN	

**TWA DESIGN**  
ARCHITECTURE

**BUILDING + INTERIOR DESIGN + 3D IMAGE**

## BASIX CERTIFICATES

Ph: 0403 282 766

yadesign@hotmail.com

PROJECT: LOT 4 & B, DP 217675 & 349971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

TITLE	SITE & GROUND FLOOR PLAN AND STREETScape
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DEVELOPMENT APPLICATION

DESIGN: ARW	CHECK BY: TWA
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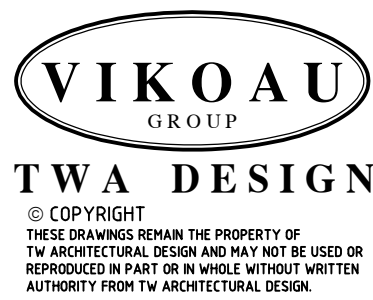
SCALE: 1 / 200 @ A2	DATE: 29 / SEP / 2021
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JOB No : 180618	ISSUE: V2	SHEET No: 3
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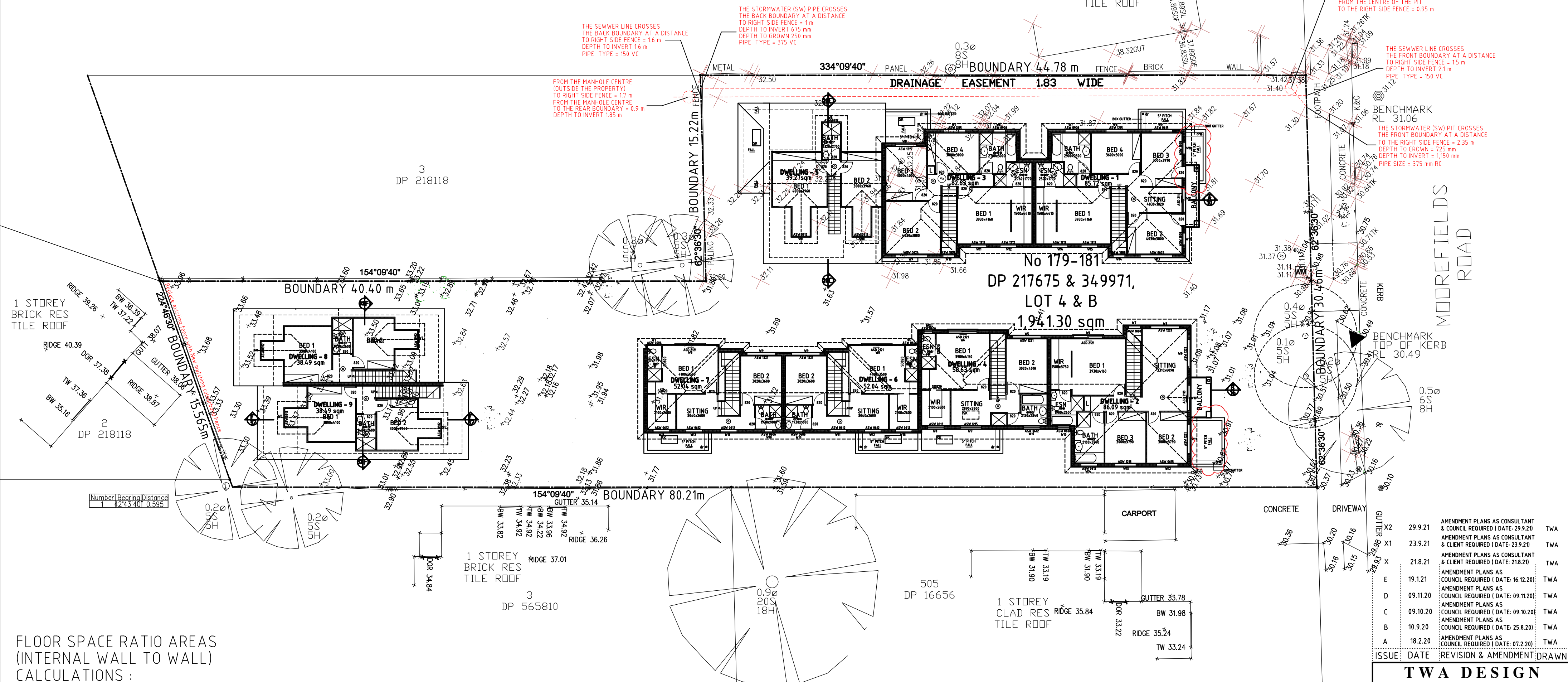
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LEGEND :

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AL	ALUMINIUM FRAME	⊙	SMOKE DETECTOR HPM 645 I/C. NOTE: ALARM FROM SMOKE DETECTOR IN STAIRWAY TO BE AUDIBLE FROM EACH UNIT.		
RP	RENDER PAINT FINISH				HOT WATER SYSTEM
FB	FACE BRICK	⊗ <sub>dr</sub>	FLOOR WASTE REMOVABLE GRATED DRAIN		
DDFS	DURAGRID AND DURACOM FACADE SYSTEM	⊗	AIR / VEN		
TG	TRANSLUCENT GLASS	1 HR	ONE HOUR FIRE ALUMINIUM FRAME DOOR WITH AUTOMATIC CLOSURE		DUCTING AIRCONDITIONING
GB	GLASS BALUSTRADE		ILLUMINATED EXIT SIGN		



FLOOR SPACE RATIO AREAS  
(INTERNAL WALL TO WALL)  
CALCULATIONS :

SITE AREA	1,941.30 ·sqm								
PROPOSED BUILDING	DWELLING 1	DWELLING 2	DWELLING 3	DWELLING 4	DWELLING 5	DWELLING 6	DWELLING 7	DWELLING 8*	DWELLING 9
GROUND FLOOR (INTERNAL WALL)	57.29 sqm	57.87 sqm	55.56 sqm	40.51 sqm	54.94 sqm	34.80 sqm	34.80 sqm	50.10 sqm	50.10 sqm
FIRST FLOOR (INTERNAL WALL)	85.72 sqm	86.09 sqm	82.63 sqm	58.63 sqm	39.27 sqm	52.04 sqm	52.04 sqm	38.49 sqm	38.49 sqm
TOTAL AREA OF PROPOSED BUILDING (INTERNAL WALL)	143.01 sqm	143.96sqm	138.19 sqm	99.14 sqm	94.21 sqm	86.84 sqm	86.84 sqm	88.59 sqm	88.59 sqm
FLOOR SPACE RATIO (INTERNAL WALL)	969.37 % 1,941.30 = 0.499 : 1								
GARAGE AREA	29.70 sqm	29.70 sqm	29.70 sqm	16.20 sqm	16.20 sqm	16.20 sqm	16.20 sqm		

$$969.37 \% 1,941.30 = 0.499 : 1$$

 SITE & FIRST FLOOR PLAN  
SCALE: 1 / 200

X2	29.9.21	AMENDMENT PLANS AS CONSULTANT & COUNCIL REQUIRED ( DATE: 29.9.21)	TWA
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ISSUE	DATE	REVISION & AMENDMENT	DRAWN

**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INTERIOR DESIGN + 3D IMAGE

**BASIX CERTIFICATES**  
**Ph: 0403 282 766**  
**twadesign@hotmail.com**  
**PROJECT: LOT 4 & B, DP 217675 & 349971**  
**DEMOLITION EXISTING DWELLING**  
**& PROPOSED STRATA TITLE,**  
**MULTI DWELLING HOUSING**  
**AT 179-181 MOORFIELDS RD**  
**ROSELANDS NSW 2196**

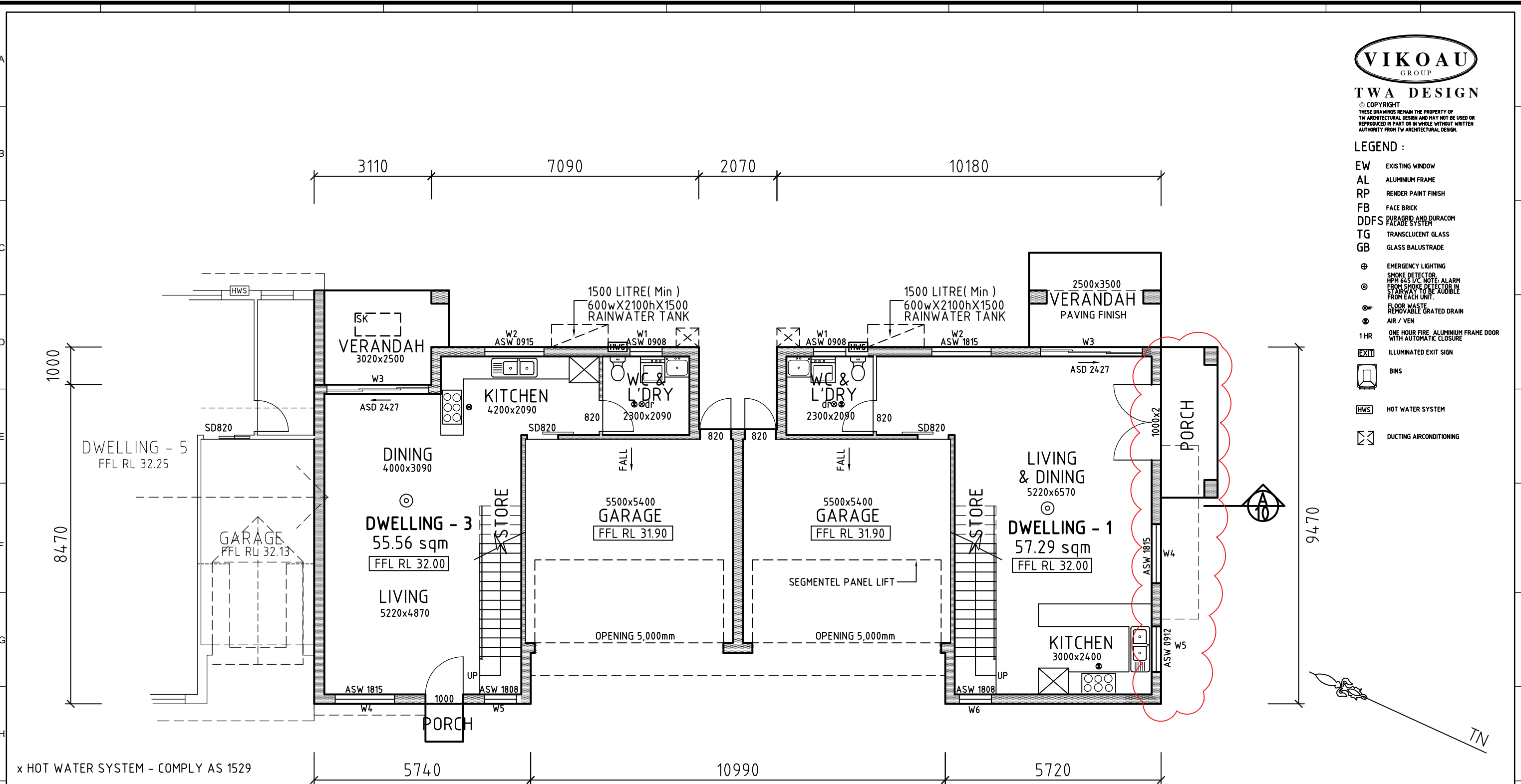
TITLE	SITE & FIRST FLOOR PLAN
	DEVELOPMENT APPLICATION

DESIGN: ARW	CHECK BY: TWA	
SCALE: 1 / 200 @ A2	DATE: 29 / SEP / 2021	
JOB No: <b>180618</b> Copyright © 2018	ISSUE: <b>X2</b>	SHEET No: <b>4</b>



**LEGEND :**

- EW EXISTING WINDOW
- AL ALUMINIUM FRAME
- RP RENDER PAINT FINISH
- FB FACE BRICK
- DDFS DURAGRID AND DURACOM FACADE SYSTEM
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- GB GLASS BALUSTRADE
- ⊕ EMERGENCY LIGHTING
- ⊙ SMOKE DETECTOR  
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- 1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- BINS
- HWS HOT WATER SYSTEM
- DUCTING AIRCONDITIONING



x HOT WATER SYSTEM - COMPLY AS 1529

x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P2.1 IN SECTION 2  
OF THE BCA

x BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL  
BE NO LESS THAN 1m HIGH AND NO GAPS ON THE BALUSTRADE  
SHALL EXCEED 125mm

x AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE  
AND SCREEN FOR PROTECTION IN ACCORDANCE WITH BCA 3.2.9.5  
AND THE OPENING BE RESTRICTED TO NO MORE THAN 125mm.

**GROUND FLOOR PLAN**  
SCALE: 1 / 100 - DWELLING 1 & 3

0 5 10

REVISION	DATE	REVISION & AMENDMENT	DRAWN
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**NOTES :**

- x USE FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWING.
- x ALL DIMENSIONS TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- x ALL R.C STRIP FOOTINGS, R.C SLABS ON GROUND, R.C SUSPENDED SLABS, R.C STAIRS, CONCRETE COLUMNS, STRUCTURAL STEEL, BRICK WORK AND TIMBER AND ALL OTHER STRUCTURAL ELEMENTS TO STRUCTURAL ENGINEERS DETAILS
- x BOUNDARY DIMENSIONS AND ALL LEVELS SUBJECT TO SURVEY.

**BCA Notes:**

- x ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK OR FABRICATION
- x ALL WORK TO BE PERFORMED IN A TRADESMAN LIKE MANNER AND SHALL BE STRICTLY IN ACCORDANCE WITH THE PROVISION OF THE AUSTRALIAN STANDARDS, CONDITION OF CONSENT BUILDING CODE OF AUSTRALIA, COMPLY WITH ANY STATUT AUTHORITY HAVING JURISDICTION OVER ANY OF THE PROPOSED WORK, AND ANY REQUIREMENTS SUPPLIERS, FABRICATORS, INSTALLERS OF ALL ITEMS REQUIRED TO COMPLETE THE WORK.
- x ALL STRUCTURAL DETAILS TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS.
- x ALL REFERENCES TO THE "BCA" SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIAN - CLASS 1 & CLASS 10 BUILDINGS ( VOLUME 2 )

**BCA Notes:**

- x ALL NEW TIMBERWORK AND FRAMING TO AS 1684 NATIONAL TIMBER FRAMING CODE / BCA PART 3.4
- x ALL NEW FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED MATERIAL OR COMPACTED STRUCTURAL FOUNDATION MATERIAL HAVING SAFE BEARING CAPACITY
- x ALL NEW FORMWORK TO AS 1509 / AS 1510
- x ALL NEW CONCRETE SLAB, FOOTING & PILES TO AS 3600 / AS 2870 / BCA 3.2
- x ALL NEW STEEL REINFORCING BARS TO AS 1302
- x ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1
- x ALL NEW WET AREA IN ACCORDANCE WITH BCA PART 3.8.1
- x MECHANICAL VENTILATION TO ALL NEW LAUNDRY & BATH AREAS IN ACCORDANCE WITH BCA PART 3.8.5
- x ALL NEW GLAZED ASSEMBLIES ( INCL WINDOW & DOORS ) IN ACCORDANCE WITH BCA PART 3.6 / AS1288 / AS2047.
- x ALL NEW ROOF / WALL CLADDING & GUTTERS / DOWNPIPES IN ACCORDANCE WITH BCA PART 3.5 / AS1562.1
- x TERMITE BARRIER, OR COMBINATION OF BARRIERS, SHALL BE IN ACCORDANCE WITH BCA PART 3.13.3 & 3.13.4 / AS3660

**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INERIOR DESIGN + 3D IMAGE  
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E: twadesign@hotmail.com

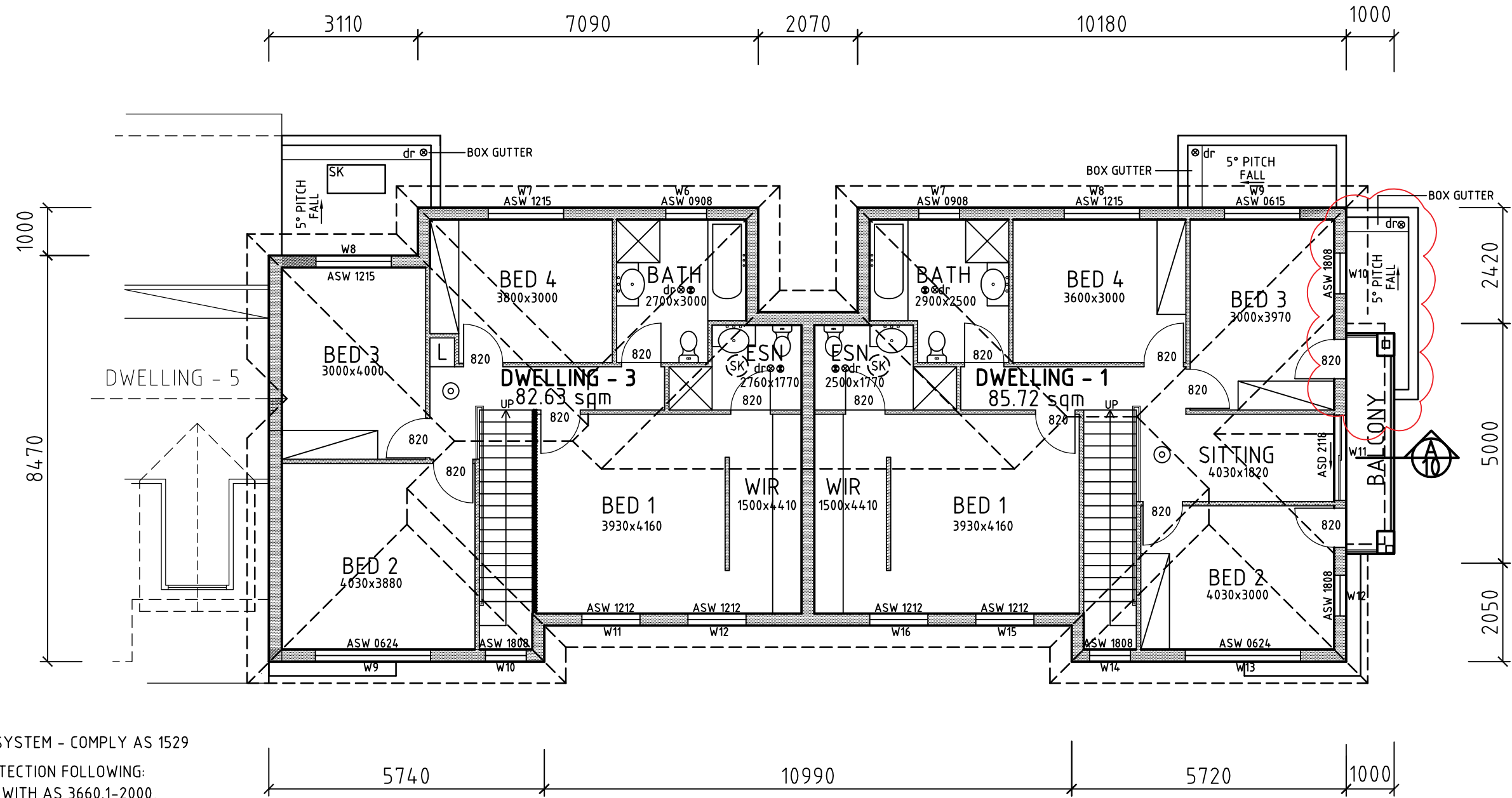
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**FLOOR PLAN**  
DEVELOPMENT APPLICATION  
DESIGN: ARW CHECK BY: TWA  
SCALE: 1 / 100 @ A3 DATE: 29 / SEP / 2021  
JOB No: 180618 ISSUE: X2 SHEET No: 5



**LEGEND :**

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- 1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- BINS
- HWS HOT WATER SYSTEM
- DUCTING AIRCONDITIONING



**FIRST FLOOR PLAN**  
SCALE: 1 / 100 - DWELLING 1 & 3

- x HOT WATER SYSTEM - COMPLY AS 1529
- x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P2.1 IN SECTION 2  
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BE NO LESS THAN 1m HIGH AND NO GAPS ON THE BALUSTRADE  
SHALL EXCEED 125mm
- x AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE  
AND SCREEN FOR PROTECTION IN ACCORDANCE WITH BCA 3.2.9.5  
AND THE OPENING BE RESTRICTED TO NO MORE THAN 125mm.

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- \* BOUNDARY DIMENSIONS AND ALL LEVELS SUBJECT TO SURVEY.
- \* STORM WATER DRAINAGE IN ACCORDANCE WITH COUNCIL STORM WATER DRAINAGE POLICY.
- \* THE WHOLE OF THE WORKS IS TO BE IN ACCORDANCE WITH THE REGULATIONS, BY LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES HAVING JURISDICTION OVER THE WORKS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT SAA CODES.
- \* PLANS ARE TO BE READ IN CONJUNCTION WITH COUNCIL APPROVALS AND THE BUILDING CODE OF AUSTRALIA.

**BCA Notes:**

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- \* ALL NEW FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED MATERIAL OR COMPACTED STRUCTURAL FOUNDATION MATERIAL HAVING SAFE BEARING CAPACITY
- \* ALL NEW FORMWORK TO AS 1509 / AS 1510
- \* ALL NEW CONCRETE SLAB, FOOTING & PILES TO AS 3600 / AS 2870 / BCA 3.2
- \* ALL NEW STEEL REINFORCING BARS TO AS 1302
- \* ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1
- \* ALL NEW WET AREA IN ACCORDANCE WITH BCA PART 3.8.1
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**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INERIOR DESIGN + 3D IMAGE  
BASIX CERTIFICATES  
Ph: 0403 282 766  
E: twadesign@hotmail.com

PROJECT: LOT 4 & B, DP 217675 & 349971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

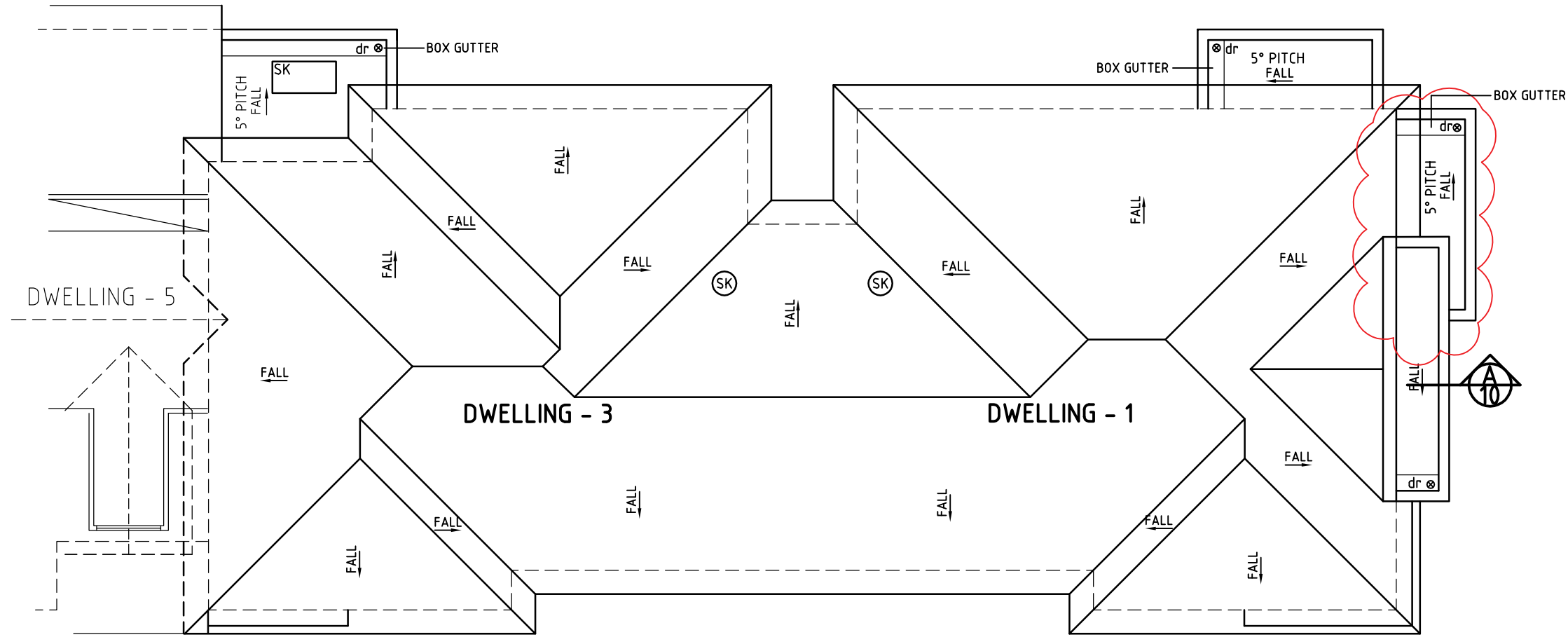
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ISSUE	DATE	REVISION & AMENDMENT	DRAWN

FLOOR PLAN			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 29 / SEP / 2021		
JOB No: 180618	ISSUE: X2	SHEET No: 6	



**LEGEND :**

- EW EXISTING WINDOW
- AL ALUMINIUM FRAME
- RP RENDER PAINT FINISH
- FB FACE BRICK
- DDFS DURAGRID AND DURACOM FACADE SYSTEM
- TG TRANSLUCENT GLASS
- GB GLASS BALUSTRADE
- ⊕ EMERGENCY LIGHTING
- ⊙ SMOKE DETECTOR  
HPM 6451/C NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
FROM EACH UNIT.
- ⊙ FLOOR WASTE  
REMOVABLE GRATED DRAIN
- ⊙ AIR / VEN
- 1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- BINS
- HWS HOT WATER SYSTEM
- DUCTING AIRCONDITIONING



**ROOF PLAN**  
SCALE: 1 / 100 - DWELLING 1 & 3

- x HOT WATER SYSTEM - COMPLY AS 1529
- x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P2.1 IN SECTION 2  
OF THE BCA
- x BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL  
BE NO LESS THAN 1m HIGH AND NO GAPS ON THE BALUSTRADE  
SHALL EXCEED 125mm
- x AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE  
AND SCREEN FOR PROTECTION IN ACCORDANCE WITH BCA 3.2.9.5  
AND THE OPENING BE RESTRICTED TO NO MORE THAN 125mm.



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PROJECT: LOT 4 & B, DP 217675 & 34,9971  
**DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196**

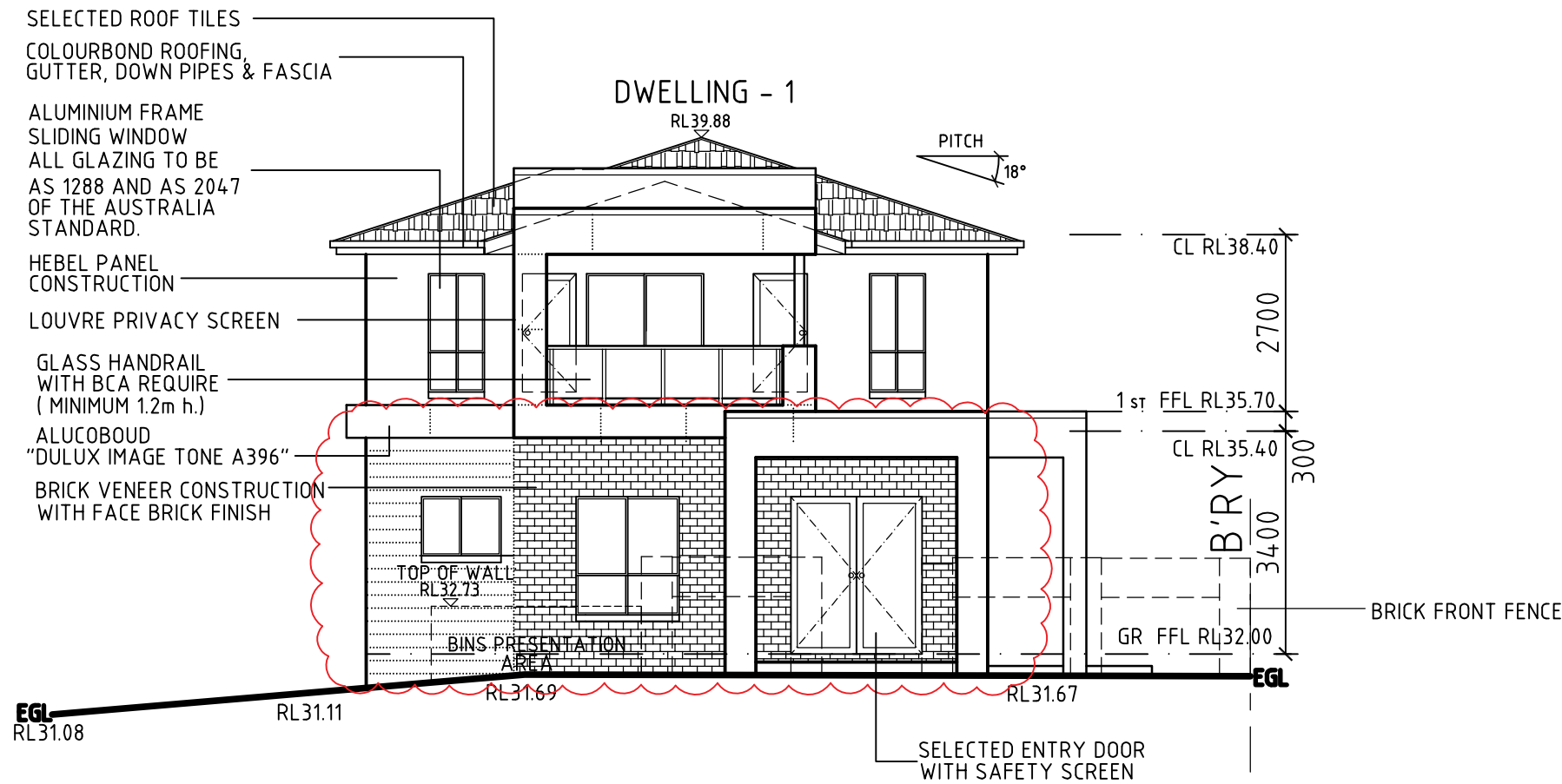
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ISSUE	DATE	REVISION	AMENDMENT	DRAWN
TITLE				
ROOF PLAN				
DEVELOPMENT APPLICATION				
DESIGN:	ARW	CHECK BY:	TWA	
SCALE:	1 / 100 @ A3	DATE:	29 / SEP / 2021	
JOB No:	180618	ISSUE:	X2	SHEET No: 7



**LEGEND :**

EW	EXISTING WINDOW
AL	ALUMINIUM FRAME
RP	RENDER PAINT FINISH
FB	FACE BRICK
DDFS	DURAGRID AND DURACOM FACADE SYSTEM
TG	TRANSLUCENT GLASS
GB	GLASS BALUSTRADE
⊕	EMERGENCY LIGHTING
⊙	SMOKE DETECTOR HPM 6451/C NOTE: ALARM FROM SMOKE DETECTOR IN STAIRWAY TO BE AUDIBLE FROM EACH UNIT.
⊗	FLOOR WASTE REMOVABLE GRATED DRAIN
⊙	AIR / VEN
1 HR	ONE HOUR FIRE ALUMINIUM FRAME DOOR WITH AUTOMATIC CLOSURE
EXIT	ILLUMINATED EXIT SIGN
⊞	BINS
HWS	HOT WATER SYSTEM
⊞	DUCTING AIRCONDITIONING



**SOUTH ELEVATION**  
SCALE: 1 / 100 ( AT MOORFIELDS ROAD )

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**TWA DESIGN**  
ARCHITECTURE

BUILDING + INERIOR DESIGN + 3D IMAGE

BASIX CERTIFICATES

Ph: 0403 282 766

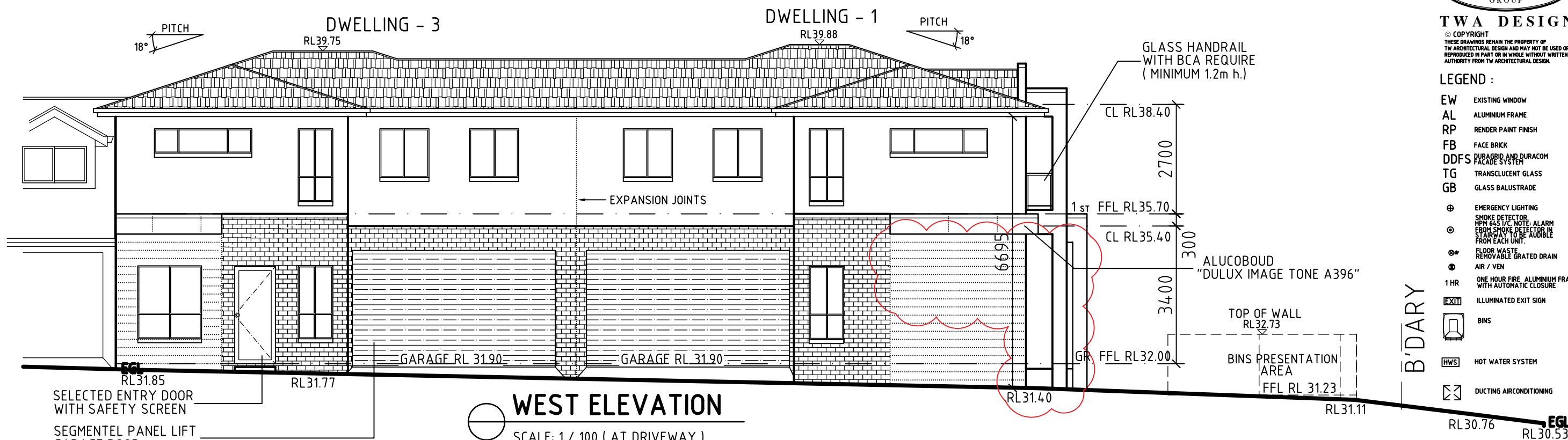
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PROJECT: LOT 4 & B, DP 217675 & 349971  
**DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196**

ELEVATIONS			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 29 / SEP / 2021		
JOB No: 180618	ISSUE: X2	SHEET No: 8	

LEGEND :

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RP RENDER PAINT FINISH  
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HPM 6451/C NOTE: ALARM  
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REMOVABLE GRATED DRAIN  
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1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE  
EXIT ILLUMINATED EXIT SIGN  
BINS  
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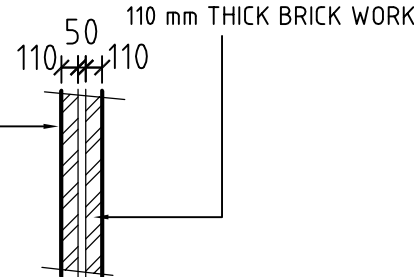
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**LEGEND :**

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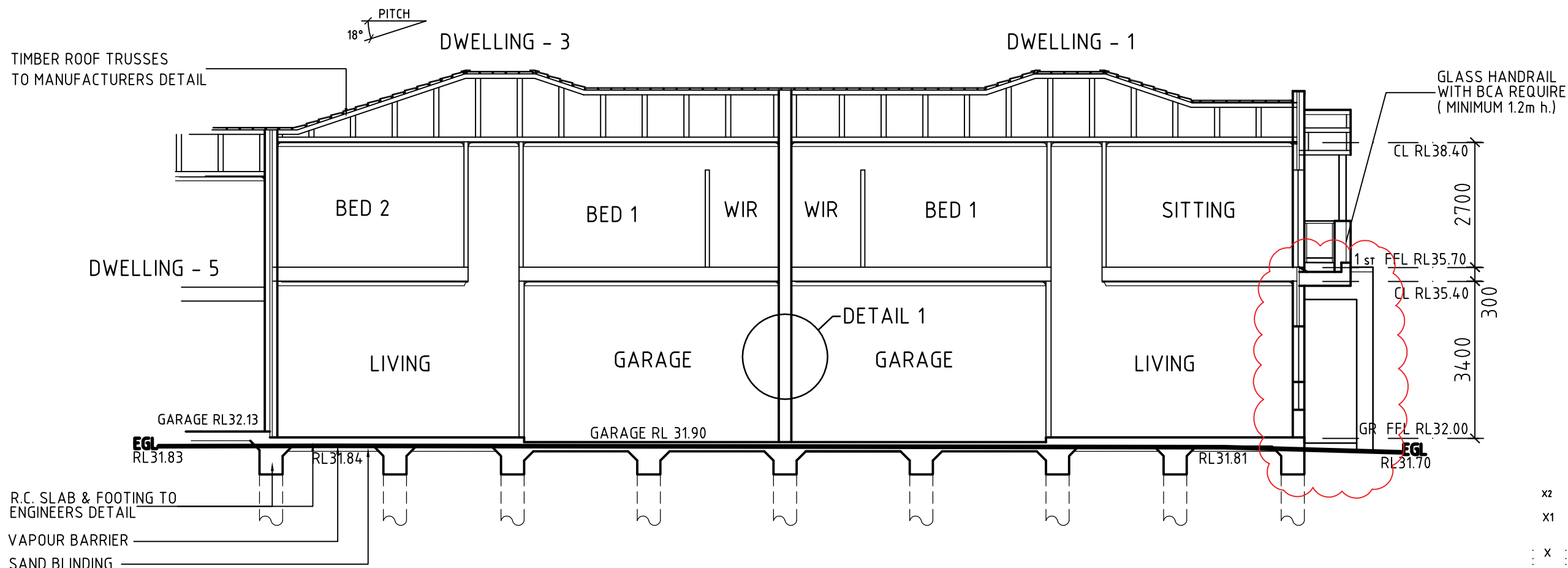
CEMENT RENDER FINISH



COMMENT WALL TO BE SOUND INSULATION (min) Rw 50  
OF SERVICE TO COMPLY WITH 3.8.6 OF THE BCA  
AND WALL TIE SPACING DETAILS AS SET OUT  
IN PART 3.3 OF THE BCA

**DETAIL 1**  
SCALE: 1 / 50

COMMENT WALL TO BE SOUND INSULATION (min) Rw 50  
OF SERVICE TO COMPLY WITH 3.8.6 OF THE BCA



**SECTION A - A**  
SCALE: 1 / 100

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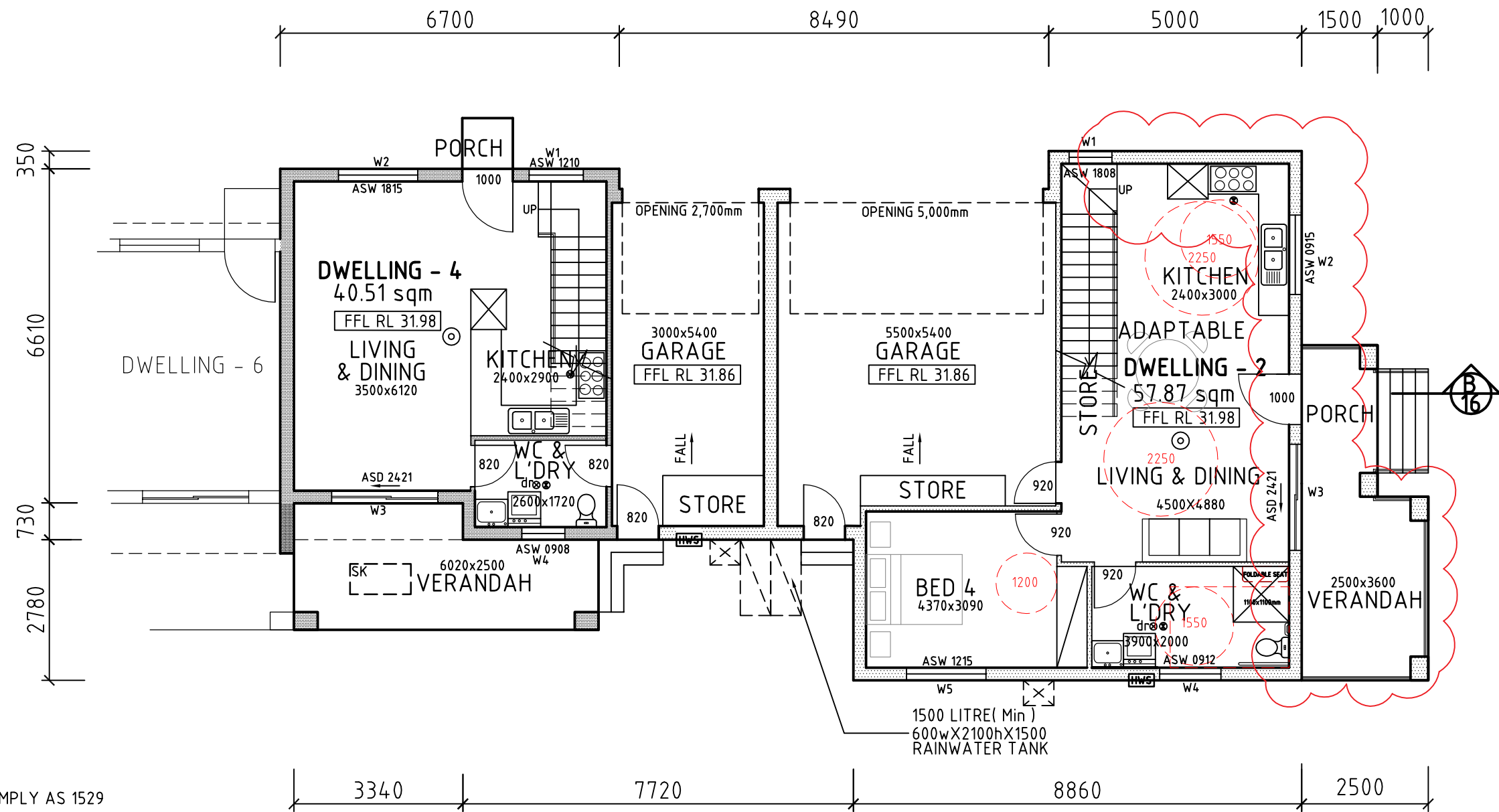
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ISSUE	DATE	REVISION & AMENDMENT	DRAWN

TITLE <b>SECTION A - A</b>			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 29 / SEP / 2021		
JOB No: 180618	ISSUE: X2	SHEET No: 10	

**LEGEND :**

- EW EXISTING WINDOW
- AL ALUMINIUM FRAME
- RP RENDER PAINT FINISH
- FB FACE BRICK
- DDFS DURAGRID AND DURACOM FACADE SYSTEM
- TG TRANSLUCENT GLASS
- GB GLASS BALUSTRADE
- ⊕ EMERGENCY LIGHTING
- ⊙ SMOKE DETECTOR  
HPM 645 I/C NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
FROM EACH UNIT.
- ⊙ FLOOR WASTE  
REMOVABLE GRATED DRAIN
- ⊙ AIR / VEN
- 1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- BINS
- HWS HOT WATER SYSTEM
- DUCTING AIRCONDITIONING



**GROUND FLOOR PLAN**  
SCALE: 1 / 100 - DWELLING 2 & 4

- x HOT WATER SYSTEM - COMPLY AS 1529
- x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P2.1 IN SECTION 2  
OF THE BCA
- x BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL  
BE NO LESS THAN 1m HIGH AND NO GAPS ON THE BALUSTRADE  
SHALL EXCEED 125mm
- x AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE  
AND SCREEN FOR PROTECTION IN ACCORDANCE WITH BCA 3.2.9.5  
AND THE OPENING BE RESTRICTED TO NO MORE THAN 125mm.

**NOTES :**

- \* USE FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWING.
- \* ALL DIMENSIONS TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- \* ALL R.C STRIP FOOTINGS, R.C SLABS ON GROUND, R.C SUSPENDED SLABS, R.C STAIRS, CONCRETE COLUMNS, STRUCTURAL STEEL, BRICK WORK AND TIMBER AND ALL OTHER STRUCTURAL ELEMENTS TO STRUCTURAL ENGINEERS DETAILS
- \* BOUNDARY DIMENSIONS AND ALL LEVELS SUBJECT TO SURVEY.
- \* STORM WATER DRAINAGE IN ACCORDANCE WITH COUNCIL STORM WATER DRAINAGE POLICY.
- \* THE WHOLE OF THE WORKS IS TO BE IN ACCORDANCE WITH THE REGULATIONS, BY LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES HAVING JURISDICTION OVER THE WORKS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT SAA CODES.
- \* PLANS ARE TO BE READ IN CONJUNCTION WITH COUNCIL APPROVALS AND THE BUILDING CODE OF AUSTRALIA.

**BCA Notes:**

- \* ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK OR FABRICATION
- \* ALL WORK TO BE PERFORMED IN A TRADESMAN LIKE MANNER AND SHALL BE STRICTLY IN ACCORDANCE WITH THE PROVISION OF THE AUSTRALIAN STANDARDS, CONDITION OF CONSENT BUILDING CODE OF AUSTRALIA, COMPLY WITH ANY STATUT AUTHORITY HAVING JURISDICTION OVER ANY OF THE PROPOSED WORK, AND ANY REQUIREMENTS SUPPLIERS, FABRICATORS, INSTALLERS OF ALL ITEMS REQUIRED TO COMPLETE THE WORK.
- \* ALL STRUCTURAL DETAILS TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS.
- \* ALL REFERENCES TO THE "BCA" SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIAN - CLASS 1 & CLASS 10 BUILDINGS ( VOLUME 2 )

- \* ALL NEW TIMBERWORK AND FRAMING TO AS 1684 NATIONAL TIMBER FRAMING CODE / BCA PART 3.4
- \* ALL NEW FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED MATERIAL OR COMPACTED STRUCTURAL FOUNDATION MATERIAL HAVING SAFE BEARING CAPACITY
- \* ALL NEW FORMWORK TO AS 1509 / AS 1510
- \* ALL NEW CONCRETE SLAB, FOOTING & PILES TO AS 3600 / AS 2870 / BCA 3.2
- \* ALL NEW STEEL REINFORCING BARS TO AS 1302
- \* ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1
- \* ALL NEW WET AREA IN ACCORDANCE WITH BCA PART 3.8.1
- \* MECHANICAL VENTILATION TO ALL NEW LAUNDRY & BATH AREAS IN ACCORDANCE WITH BCA PART 3.8.5
- \* ALL NEW GLAZED ASSEMBLIES ( INCL WINDOW & DOORS ) IN ACCORDANCE WITH BCA PART 3.6 / AS1288 / AS2047.
- \* ALL NEW ROOF / WALL CLADDING & GUTTERS / DOWNPIPES IN ACCORDANCE WITH BCA PART 3.5 / AS1562.1
- \* TERMITE BARRIER OR COMBINATION OF BARRIERS, SHALL BE IN ACCORDANCE WITH BCA PART 3.13.3 & 3.13.4 / AS3660

**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INERIOR DESIGN + 3D IMAGE  
BASIX CERTIFICATES  
Ph: 0403 282 766  
E: twadesign@hotmail.com



PROJECT: LOT 4 & B, DP 217675 & 349971  
**DEMOLITION EXISTING DWELLING & PROPOSED STRATA TITLE, MULTI DWELLING HOUSING AT 179-181 MOORFIELDS RD ROSELANDS NSW 2196**

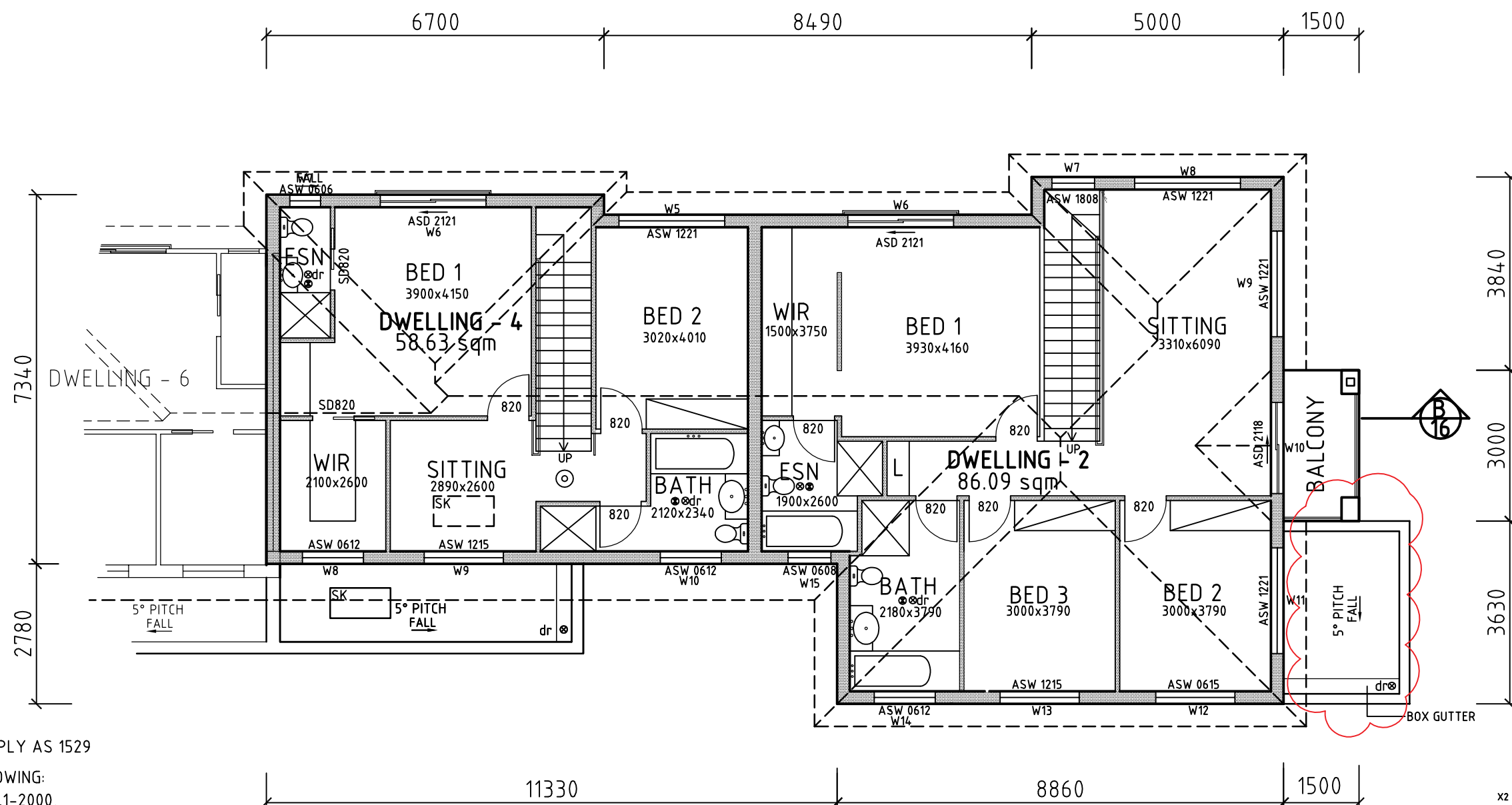
X2	29.9.21	AMENDMENT PLANS AS CONSULTANT & COUNCIL REQUIRED ( DATE: 29.9.21 )	TWA
X1	23.9.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 23.9.21 )	TWA
X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.21 )	TWA
D	19.1.21	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 16.12.20 )	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20 )	TWA
B	10.9.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 25.8.20 )	TWA
A	18.2.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 07.2.20 )	TWA
ISSUE	DATE	REVISION & AMENDMENT	DRAWN

FLOOR PLAN			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 29 / SEP / 2021		
JOB No: 180618	ISSUE: X2		
		SHEET No: 11	

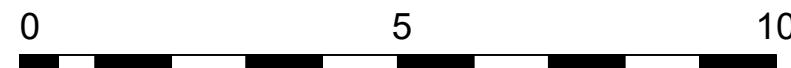


LEGEND :

EW	EXISTING WINDOW
AL	ALUMINIUM FRAME
RP	RENDER PAINT FINISH
FB	FACE BRICK
DDFS	DURAGRAD AND DURACOM FACADE SYSTEM
TG	TRANSLUCENT GLASS
GB	GLASS BALUSTRADE
⊕	EMERGENCY LIGHTING
⊙	SMOKE DETECTOR HFM 643 I/C NOTE: ALARM FROM SMOKE DETECTOR IN STAIRWAY TO BE AUDIBLE FROM EACH UNIT.
⊗	FLOOR WASTE REMOVABLE GRATED DRAIN
⊙	AIR / VEN
1 HR	ONE HOUR FIRE ALUMINIUM FRAME DOOR WITH AUTOMATIC CLOSURE
EXIT	ILLUMINATED EXIT SIGN
	BINS
HWS	HOT WATER SYSTEM
	DUCTING AIRCONDITIONING



**FIRST FLOOR PLAN**  
SCALE: 1 / 100 - DWELLING 2 & 4



- x HOT WATER SYSTEM - COMPLY AS 1529

- x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P2.1 IN SECTION 2  
OF THE BCA

- × BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL BE NO LESS THAN 1m HIGH AND NO GAPS ON THE BALUSTRADE SHALL EXCEED 125mm

- × AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE AND SCREEN FOR PROTECTION IN ACCORDANCE WITH BCA 3.2.9.5 AND THE OPENING BE RESTRICTED TO NO MORE THAN 125mm.

## BCA Notes:

- ✧ ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK OR FABRICATION
- ✧ ALL WORK TO BE PERFORMED IN A TRADESMAN LIKE MANNER AND SHALL BE STRICTLY IN ACCORDANCE WITH THE PROVISIONS OF THE AUSTRALIAN STANDARDS, CONDITION OF CONSENT BUILDING CODE OF AUSTRALIA, COMPLY WITH ANY STATUT AUTHORITY
- ✧ THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, NOTICES AND REQUIREMENTS FROM SUPPLIERS, FABRICATORS, INSTALLERS OF ALL ITEMS REQUIRED TO COMPLETE THE WORK.
- ✧ ALL STRUCTURAL DETAILS TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS.
- ✧ ALL REFERENCES TO THE "BCA" SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA CLASS 10, CLASS 10 BUILDINGS ( VOLUME 2 )

- ✶ ALL NEW TIMBERWORK AND FRAMING TO AS 1684 NATIONAL TIMBER FRAMING CODE / BCA PART 3.4
- ✶ ALL NEW FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED MATERIAL OR COMPACTED STRUCTURAL FOUNDATION MATERIAL HAVING SAFE BEARING CAPACITY
- ✶ ALL NEW FORMWORK TO AS 1509 / AS 1510
- ✶ ALL NEW CONCRETE SLAB, FOOTING & PILES TO AS 3600 / AS 2870 / BCA 3.2
- ✶ ALL NEW STEEL REINFORCING BARS TO AS 1302
- ✶ ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.12.11
- ✶ ALL NEW WET AREA IN ACCORDANCE WITH BCA PART 3.8.1
- ✶ MECHANICAL VENTILATION TO ALL NEW LAUNDRY & BATH AREAS IN ACCORDANCE WITH BCA PART 3.8.5
- ✶ ALL NEW GLAZED ASSEMBLIES (INCL. WINDOW & DOORS) IN ACCORDANCE WITH BCA PART 3.6 / AS1288 / AS2047.
- ✶ ALL NEW ROOF / WALL CLADDING & GUTTERS / DOWNPIPES IN ACCORDANCE WITH BCA PART 3.5 / AS15621
- ✶ TERMITE BARRIER, OR COMBINATION OF BARRIERS, SHALL BE IN ACCORDANCE WITH BCA PART 3.13.3 & 3.13.4 / AS3660

TWA DESIGN  
ARCHITECTURE

**BASIX CERTIFICATES**  
Ph: 0403 282 766  
twadesign@hotmail.com

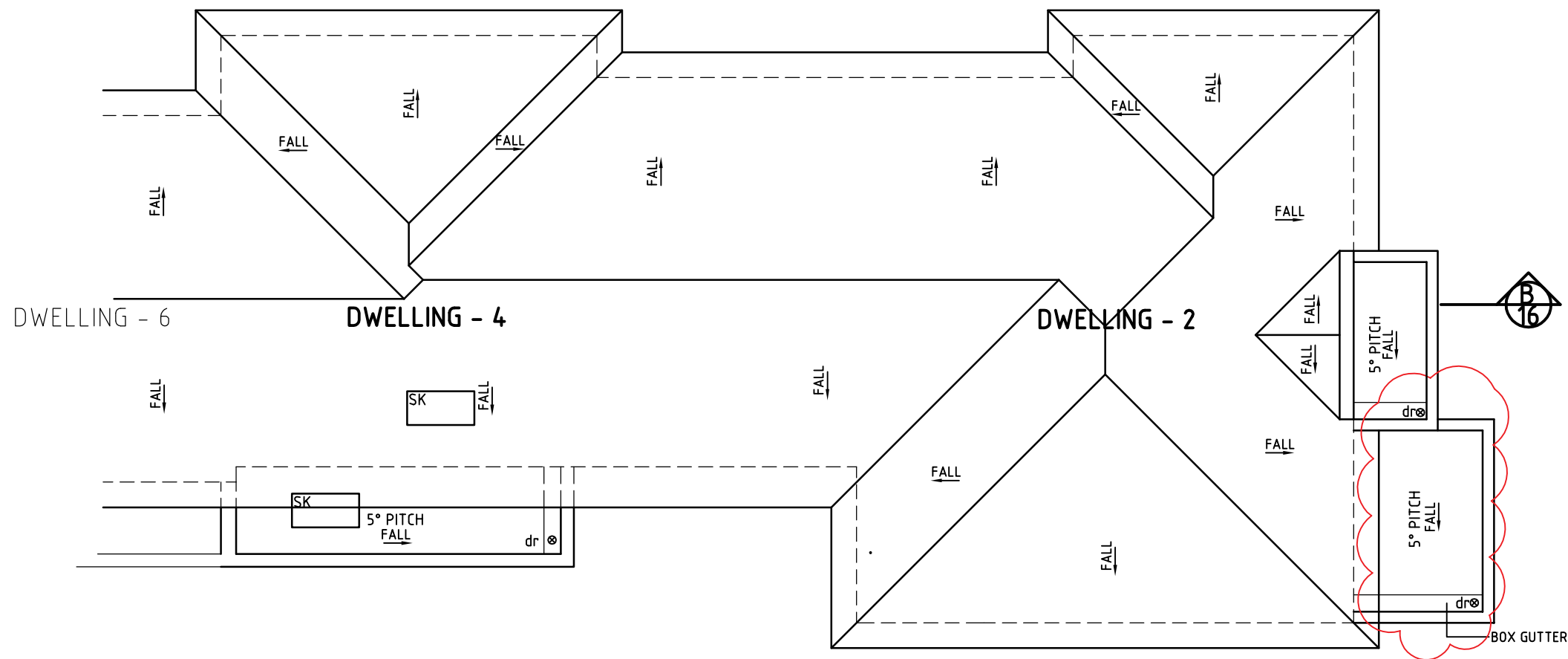
PROJECT: LOT 4 & B, DP 217675 & 349971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

X2	29.9.21	AMENDMENT PLANS AS CONSULTANT & COUNCIL REQUIRED ( DATE: 29.9.21)	TWA
X1	23.9.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 23.9.21)	TWA
X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.21)	TWA
D	19.1.21	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 16.12.20)	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20)	TWA
B	10.9.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 25.8.20)	TWA
A	18.2.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 07.2.20)	TWA
ISSUE	DATE	REVISION & AMENDMENT	DRAWN

TITLE		FLOOR PLAN	
DEVELOPMENT APPLICATION			
DESIGN: ARW		CHECK BY: TWA	
SCALE: 1 / 100 @ A3		DATE: 29 / SEP / 2021	
JOB No.: 180618 (crusible) 311		ISSUE: X2	
		SHEET No: 12	

**LEGEND :**

EW	EXISTING WINDOW
AL	ALUMINIUM FRAME
RP	RENDER PAINT FINISH
FB	FACE BRICK
DDFS	DURAGRID AND DURACOM FACADE SYSTEM
TG	TRANSLUCENT GLASS
GB	GLASS BALUSTRADE
⊕	EMERGENCY LIGHTING
⊙	SMOKE DETECTOR HPM 645 I/C NOTE: ALARM FROM SMOKE DETECTOR IN STAIRWAY TO BE AUDIBLE FROM EACH UNIT.
⊗	FLOOR WASTE REMOVABLE GRATED DRAIN
⊙	AIR / VEN
1 HR	ONE HOUR FIRE ALUMINIUM FRAME DOOR WITH AUTOMATIC CLOSURE
EXIT	ILLUMINATED EXIT SIGN
⊞	BINS
HWS	HOT WATER SYSTEM
⊞	DUCTING AIRCONDITIONING



**ROOF PLAN**  
SCALE: 1 / 100 - DWELLING 2 & 4

x HOT WATER SYSTEM - COMPLY AS 1529

x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P2.1 IN SECTION 2  
OF THE BCA

x BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL  
BE NO LESS THAN 1m HIGH AND NO GAPS ON THE BALUSTRADE  
SHALL EXCEED 125mm

x AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE  
AND SCREEN FOR PROTECTION IN ACCORDANCE WITH BCA 3.2.9.5  
AND THE OPENING BE RESTRICTED TO NO MORE THAN 125mm.

**NOTES :**

x USE FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWING. x STORM WATER DRAINAGE IN ACCORDANCE WITH  
COUNCIL STORM WATER DRAINAGE POLICY.  
x ALL DIMENSIONS TO BE VERIFIED PRIOR TO  
COMMENCEMENT OF CONSTRUCTION.  
x ALL R.C STRIP FOOTINGS, R.C SLABS ON GROUND,  
R.C SUSPENDED SLABS, R.C STAIRS, CONCRETE COLUMNS,  
STRUCTURAL STEEL, BRICK WORK AND TIMBER  
AND ALL OTHER STRUCTURAL ELEMENTS TO  
STRUCTURAL ENGINEERS DETAILS  
x BOUNDARY DIMENSIONS AND ALL LEVELS  
SUBJECT TO SURVEY.

**BCA Notes:**

x ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK OR FABRICATION  
x ALL WORK TO BE PERFORMED IN A TRADESMAN LIKE MANNER AND SHALL BE STRICTLY  
IN ACCORDANCE WITH THE PROVISION OF THE AUSTRALIAN STANDARDS, CONDITION OF  
CONSENT BUILDING CODE OF AUSTRALIA, COMPLY WITH ANY STATUT AUTHORITY  
HAVING JURISDICTION OVER ANY OF THE PROPOSED WORK, AND ANY REQUIREMENTS SUPPLIERS,  
FABRICATORS, INSTALLERS OF ALL ITEMS REQUIRED TO COMPLETE THE WORK.  
x ALL STRUCTURAL DETAILS TO BE IN ACCORDANCE WITH  
STRUCTURAL ENGINEERS SPECIFICATIONS.  
x ALL REFERENCES TO THE "BCA" SHALL BE IN ACCORDANCE WITH  
THE BUILDING CODE OF AUSTRALIAN - CLASS 1 & CLASS 10 BUILDINGS ( VOLUME 2 )

x ALL NEW TIMBERWORK AND FRAMING TO AS 1684 NATIONAL TIMBER FRAMING CODE / BCA PART 3.4  
x ALL NEW FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED MATERIAL OR COMPACTED  
STRUCTURAL FOUNDATION MATERIAL HAVING SAFE BEARING CAPACITY  
x ALL NEW FORMWORK TO AS 1509 / AS 1510  
x ALL NEW CONCRETE SLAB, FOOTING & PILES TO AS 3600 / AS 2870 / BCA 3.2  
x ALL NEW STEEL REINFORCING BARS TO AS 1302  
x ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1  
x ALL NEW WET AREA IN ACCORDANCE WITH BCA PART 3.8.1  
x MECHANICAL VENTILATION TO ALL NEW LAUNDRY & BATH AREAS IN ACCORDANCE WITH BCA PART 3.8.5  
x ALL NEW GLAZED ASSEMBLIES ( INCL WINDOW & DOORS ) IN ACCORDANCE WITH BCA PART 3.6 / AS1288 / AS2047.  
x ALL NEW ROOF / WALL CLADDING & GUTTERS / DOWNPIPES IN ACCORDANCE WITH BCA PART 3.5 / AS1562.1  
x TERMITE BARRIER OR COMBINATION OF BARRIERS, SHALL BE IN ACCORDANCE WITH BCA PART 3.13.3 & 3.13.4 / AS3660

**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INERIOR DESIGN + 3D IMAGE  
BASIX CERTIFICATES  
Ph: 0403 282 766  
E: twadesign@hotmail.com

PROJECT: LOT 4 & B, DP 217675 & 349971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

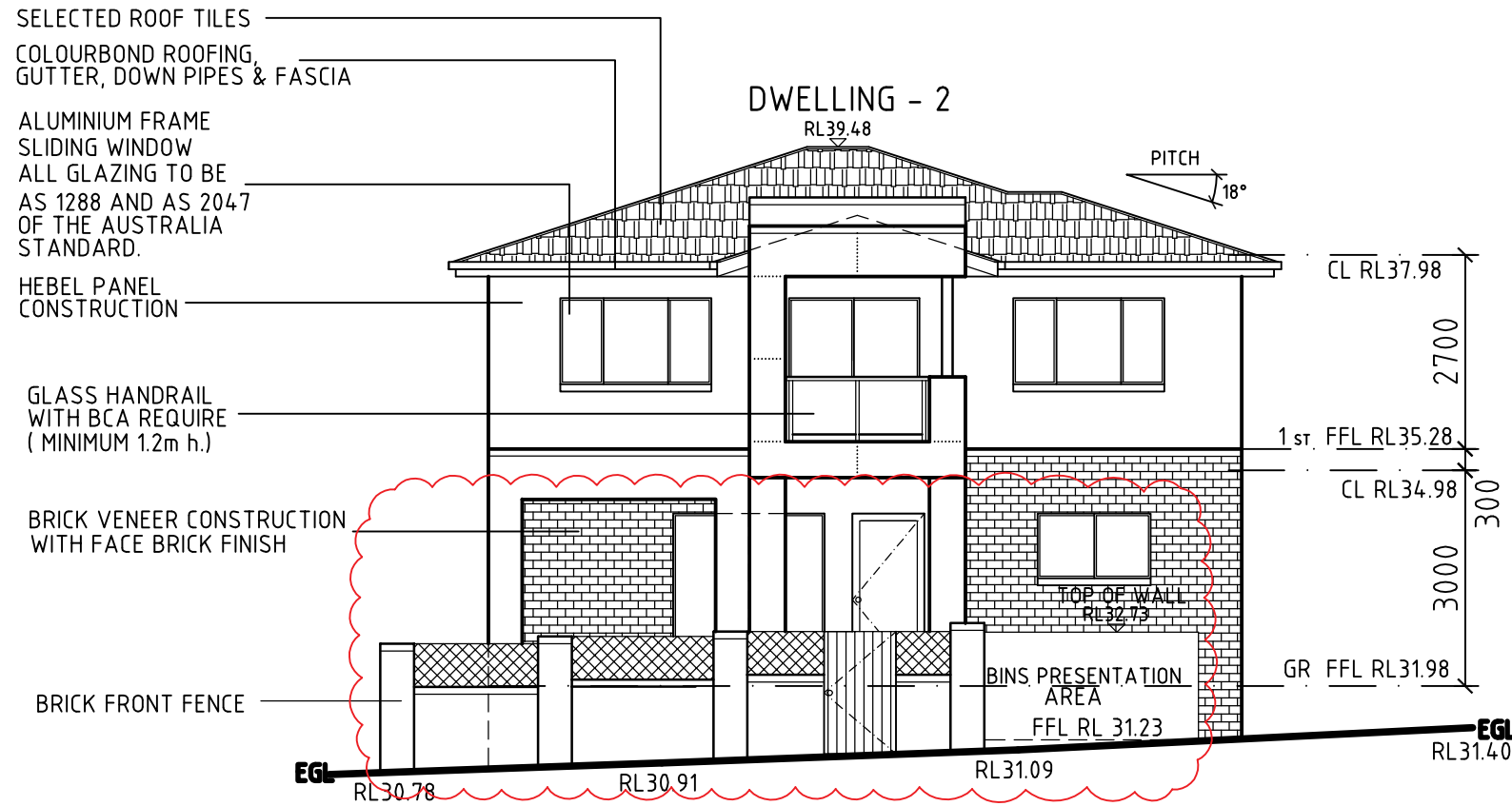
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X1	23.9.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 23.9.21 )	TWA
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A	18.2.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 07.2.20 )	TWA

ISSUE	DATE	REVISION & AMENDMENT	DRAWN
TITLE ROOF PLAN			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 29 / SEP / 2021		
JOB No: 180618	ISSUE: X2	SHEET No: 13	



LEGEND :

EW	EXISTING WINDOW
AL	ALUMINIUM FRAME
RP	RENDER PAINT FINISH
FB	FACE BRICK
DDFS	DURAGRID AND DURACOM FACADE SYSTEM
TG	TRANSLUCENT GLASS
GB	GLASS BALUSTRADE
⊕	EMERGENCY LIGHTING
⊙	SMOKE DETECTOR HPM 6451/C, NOTE: ALARM FROM SMOKE DETECTOR IN STAIRWAY TO BE AUDIBLE FROM EACH UNIT.
⊗	FLOOR WASTE REMOVABLE GRATED DRAIN
⊙	AIR / VEN
1 HR	ONE HOUR FIRE, ALUMINIUM FRAME DOOR WITH AUTOMATIC CLOSURE
EXIT	ILLUMINATED EXIT SIGN
⊞	BINS
HWS	HOT WATER SYSTEM
⊞	DUCTING AIRCONDITIONING



SOUTH ELEVATION

SCALE: 1 / 100 ( AT MOORFIELDS ROAD )

NOTES :

\* USE FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWING. \* STORM WATER DRAINAGE IN ACCORDANCE WITH COUNCIL STORM WATER DRAINAGE POLICY.

\* ALL DIMENSIONS TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

\* ALL R.C STRIP FOOTINGS, R.C SLABS ON GROUND, R.C SUSPENDED SLABS, R.C STAIRS, CONCRETE COLUMNS, STRUCTURAL STEEL, BRICK WORK AND TIMBER AND ALL OTHER STRUCTURAL ELEMENTS TO STRUCTURAL ENGINEERS DETAILS

\* BOUNDARY DIMENSIONS AND ALL LEVELS SUBJECT TO SURVEY.

\* THE WHOLE OF THE WORKS IS TO BE IN ACCORDANCE WITH THE REGULATIONS, BY LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES HAVING JURISDICTION OVER THE WORKS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT SAA CODES.

\* PLANS ARE TO BE READ IN CONJUNCTION WITH COUNCIL APPROVALS AND THE BUILDING CODE OF AUSTRALIA.

BCA Notes:

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\* ALL REFERENCES TO THE "BCA" SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIAN - CLASS 1 & CLASS 10 BUILDINGS ( VOLUME 2 )

\* ALL NEW TIMBERWORK AND FRAMING TO AS 1684 NATIONAL TIMBER FRAMING CODE / BCA PART 3.4

\* ALL NEW FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED MATERIAL OR COMPACTED STRUCTURAL FOUNDATION MATERIAL HAVING SAFE BEARING CAPACITY

\* ALL NEW FORMWORK TO AS 1509 / AS 1510

\* ALL NEW CONCRETE SLAB, FOOTING & PILES TO AS 3600 / AS 2870 / BCA 3.2

\* ALL NEW STEEL REINFORCING BARS TO AS 1302

\* ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1

\* ALL NEW WET AREA IN ACCORDANCE WITH BCA PART 3.8.1

\* MECHANICAL VENTILATION TO ALL NEW LAUNDRY & BATH AREAS IN ACCORDANCE WITH BCA PART 3.8.5

\* ALL NEW GLAZED ASSEMBLIES ( INCL WINDOW & DOORS ) IN ACCORDANCE WITH BCA PART 3.6 / AS1288 / AS2047.

\* ALL NEW ROOF / WALL CLADDING & GUTTERS / DOWNPIPES IN ACCORDANCE WITH BCA PART 3.5 / AS1562.1

\* TERMITE BARRIER, OR COMBINATION OF BARRIERS, SHALL BE IN ACCORDANCE WITH BCA PART 3.13.3 & 3.13.4 / AS3660

TWA DESIGN  
ARCHITECTURE

BUILDING + INERIOR DESIGN + 3D IMAGE

BASIX CERTIFICATES

Ph: 0403 282 766

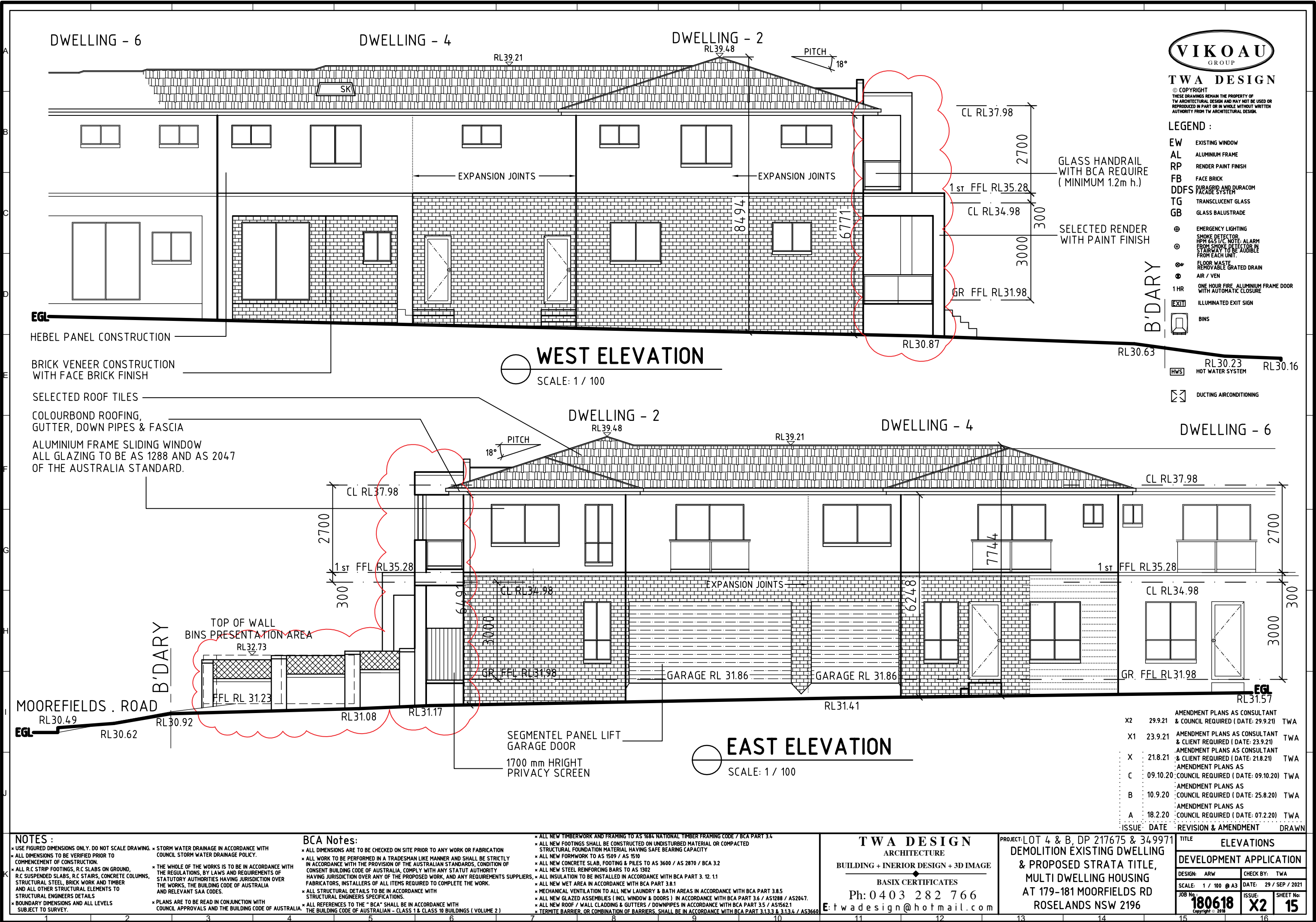
E: twadesign@hotmail.com

PROJECT: LOT 4 & B, DP 217675 & 349971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

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ISSUE	DATE	REVISION & AMENDMENT	DRAWN

ELEVATIONS			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 29 / SEP / 2021		
JOB No: 180618	ISSUE: X2	SHEET No: 14	

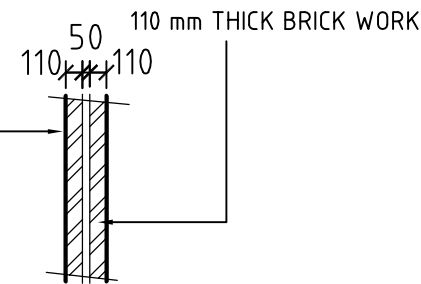




**LEGEND :**

- EW EXISTING WINDOW
- AL ALUMINIUM FRAME
- RP RENDER PAINT FINISH
- FB FACE BRICK
- DDFS DURAGRID AND DURACOM FACADE SYSTEM
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- GB GLASS BALUSTRADE
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- ⊙ SMOKE DETECTOR  
HPM 6451/C NOTE: ALARM  
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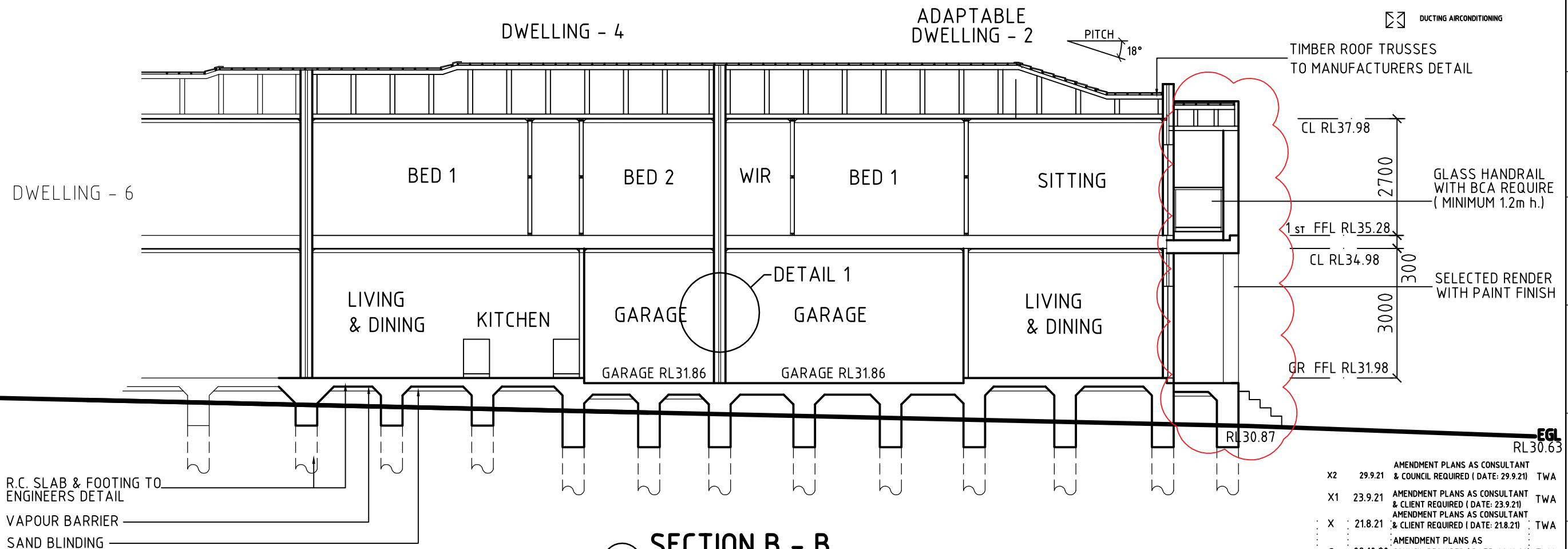
CEMENT RENDER FINISH



COMMENT WALL TO BE SOUND INSULATION (min) Rw 50  
OF SERVICE TO COMPLY WITH 3.8.6 OF THE BCA  
AND WALL TIE SPACING DETAILS AS SET OUT  
IN PART 3.3 OF THE BCA

**DETAIL 1**  
SCALE: 1 / 50

COMMENT WALL TO BE SOUND INSULATION (min) Rw 50  
OF SERVICE TO COMPLY WITH 3.8.6 OF THE BCA



**SECTION B - B**  
SCALE: 1 / 100

**NOTES :**

- \* USE FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWING.
- \* STORM WATER DRAINAGE IN ACCORDANCE WITH COUNCIL STORM WATER DRAINAGE POLICY.
- \* ALL DIMENSIONS TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- \* ALL R.C STRIP FOOTINGS, R.C SLABS ON GROUND, R.C SUSPENDED SLABS, R.C STAIRS, CONCRETE COLUMNS, STRUCTURAL STEEL, BRICK WORK AND TIMBER AND ALL OTHER STRUCTURAL ELEMENTS TO STRUCTURAL ENGINEERS DETAILS
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- \* ALL NEW CONCRETE SLAB, FOOTING & PILES TO AS 3600 / AS 2870 / BCA 3.2
- \* ALL NEW STEEL REINFORCING BARS TO AS 1302
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- \* TERMITE BARRIER OR COMBINATION OF BARRIERS, SHALL BE IN ACCORDANCE WITH BCA PART 3.13.3 & 3.13.4 / AS3660

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BASIX CERTIFICATES  
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E: twadesign@hotmail.com

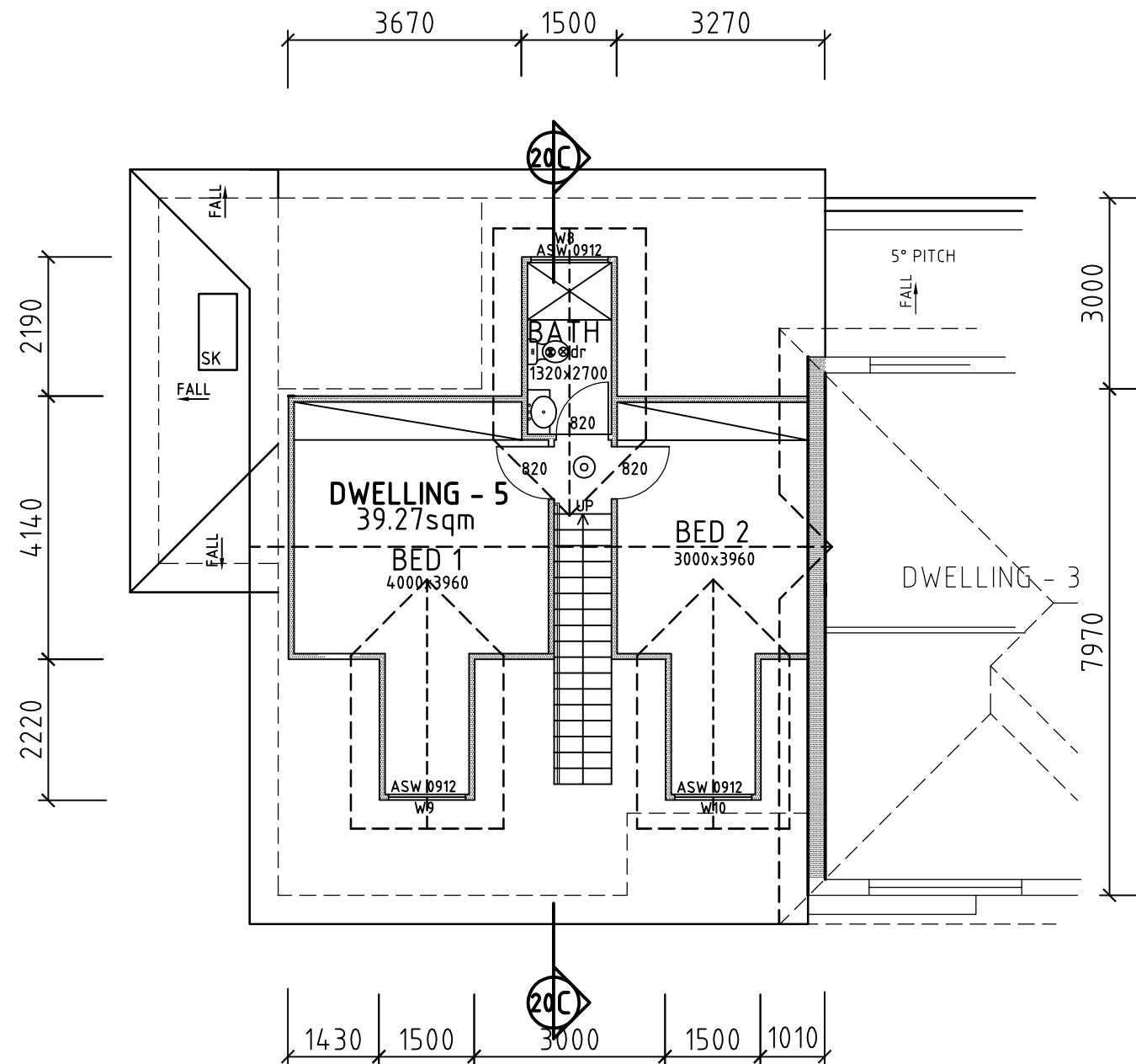
PROJECT: LOT 4 & B, DP 217675 & 349971  
**DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196**

X2	29.9.21	AMENDMENT PLANS AS CONSULTANT & COUNCIL REQUIRED ( DATE: 29.9.21 )	TWA
X1	23.9.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 23.9.21 )	TWA
X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.21 )	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20 )	TWA
B	10.9.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 25.8.20 )	TWA
A	18.2.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 07.2.20 )	TWA
ISSUE	DATE	REVISION & AMENDMENT	DRAWN

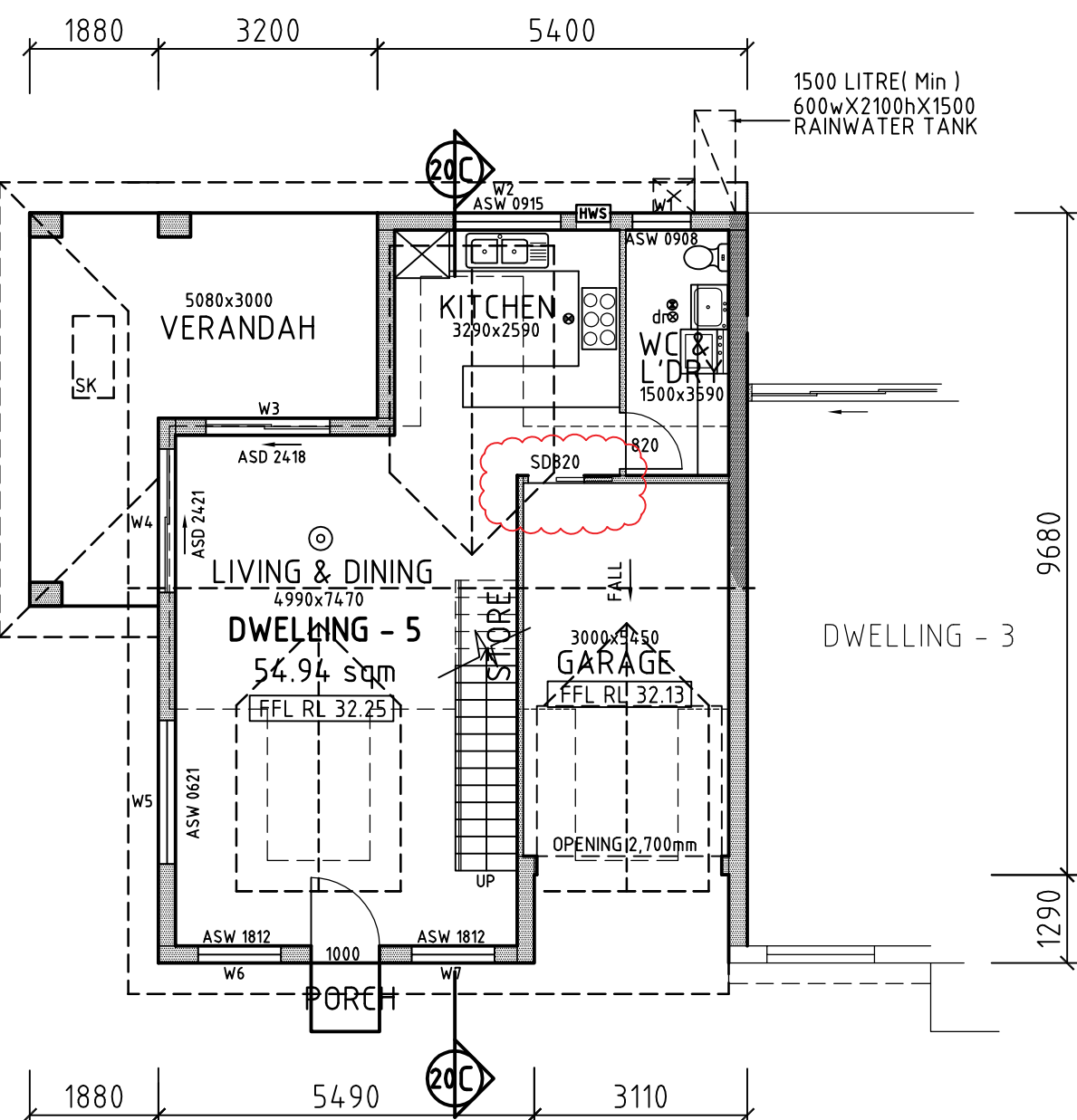
TITLE <b>SECTION B - B</b>			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 29 / SEP / 2021		
JOB No: 180618	ISSUE: X2	SHEET No: 16	

**LEGEND :**

- EW EXISTING WINDOW
- AL ALUMINIUM FRAME
- RP RENDER PAINT FINISH
- FB FACE BRICK
- DDFS DURAGRID AND DURACOM FACADE SYSTEM
- TG TRANSLUCENT GLASS
- GB GLASS BALUSTRADE
- ⊕ EMERGENCY LIGHTING
- SMOKE DETECTOR  
HPM 645 I/C NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
FROM EACH UNIT.
- ⊕ FLOOR WASTE  
REMOVABLE GRATED DRAIN
- ⊕ AIR / VEN
- 1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- BINS
- HOT WATER SYSTEM
- DUCTING AIRCONDITIONING



**FIRST FLOOR PLAN**  
SCALE: 1 / 100 - DWELLING 5



**GROUND FLOOR PLAN**  
SCALE: 1 / 100 - DWELLING 5

x HOT WATER SYSTEM - COMPLY AS 1529

x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P.2.1 IN SECTION 2  
OF THE BCA

x BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL  
BE NO LESS THAN 1m HIGH AND NO GAPS ON THE BALUSTRADE  
SHALL EXCEED 125mm

x AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE  
AND SCREEN FOR PROTECTION IN ACCORDANCE WITH BCA 3.2.9.5  
AND THE OPENING BE RESTRICTED TO NO MORE THAN 125mm.

**NOTES :**

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- \* BOUNDARY DIMENSIONS AND ALL LEVELS SUBJECT TO SURVEY.
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ARCHITECTURE  
BUILDING + INERIOR DESIGN + 3D IMAGE  
BASIX CERTIFICATES  
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ISSUE	DATE	REVISION & AMENDMENT	DRAWN

FLOOR PLAN			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 23 / SEP / 2021		
JOB No: 180618	ISSUE: X1	SHEET No: 17	



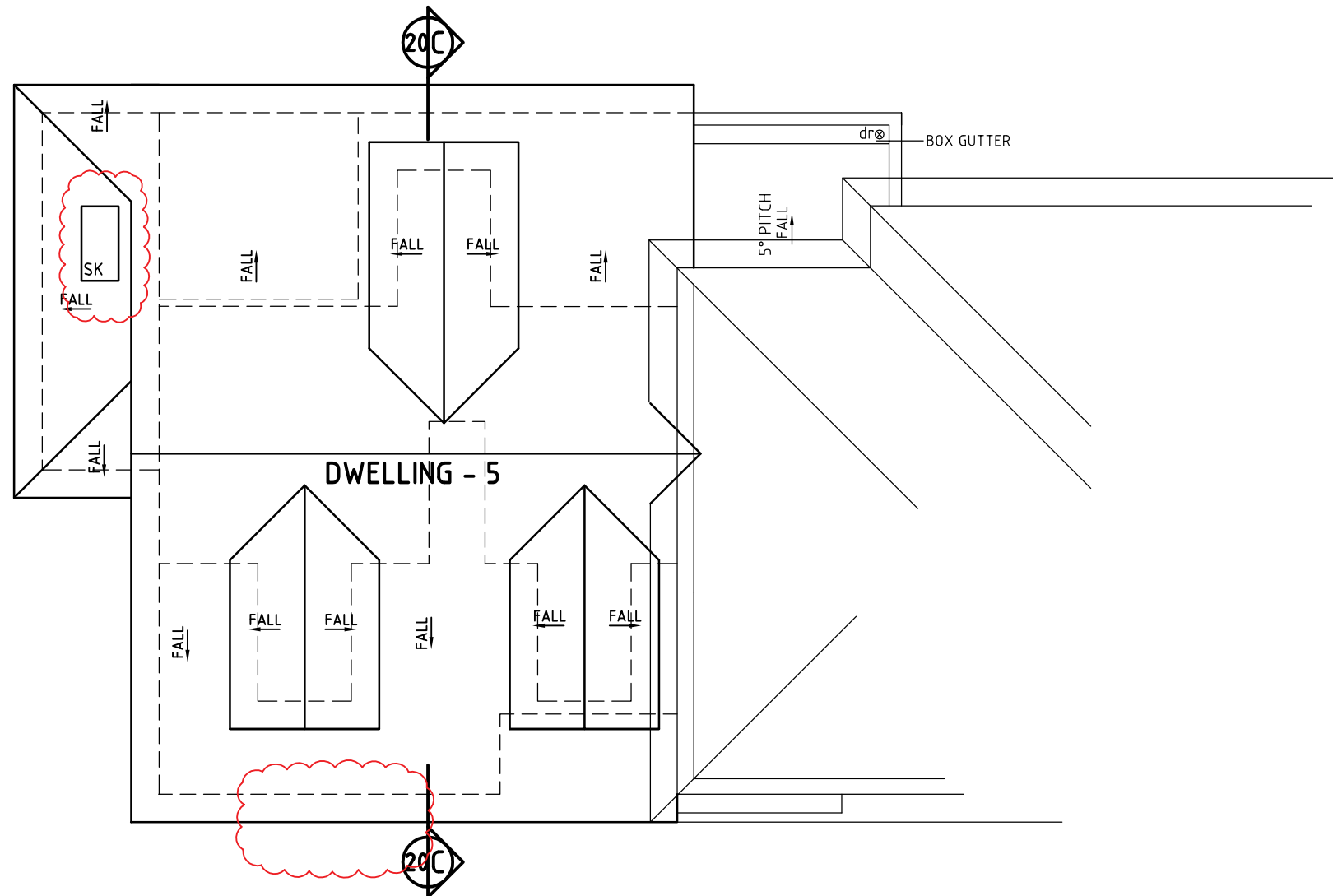


TWA DESIGN

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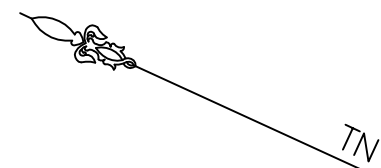
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- EXIT ILLUMINATED EXIT SIGN
- BINS
- HWS HOT WATER SYSTEM
- DUCTING AIRCONDITIONING



ROOF PLAN  
SCALE: 1 / 100 - DWELLING 5

- x HOT WATER SYSTEM - COMPLY AS 1529
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CLAUSE 3.1.3 & P.2.1 IN SECTION 2  
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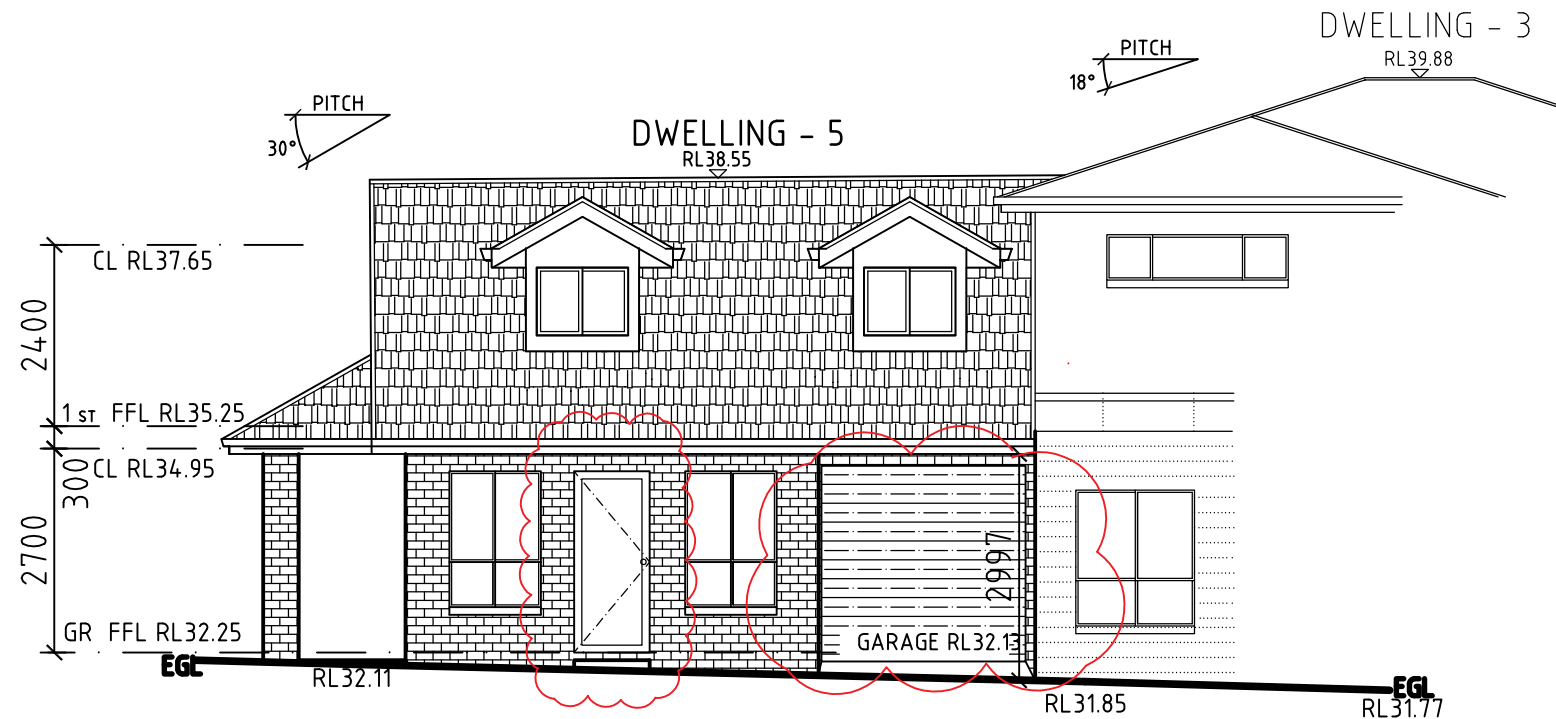
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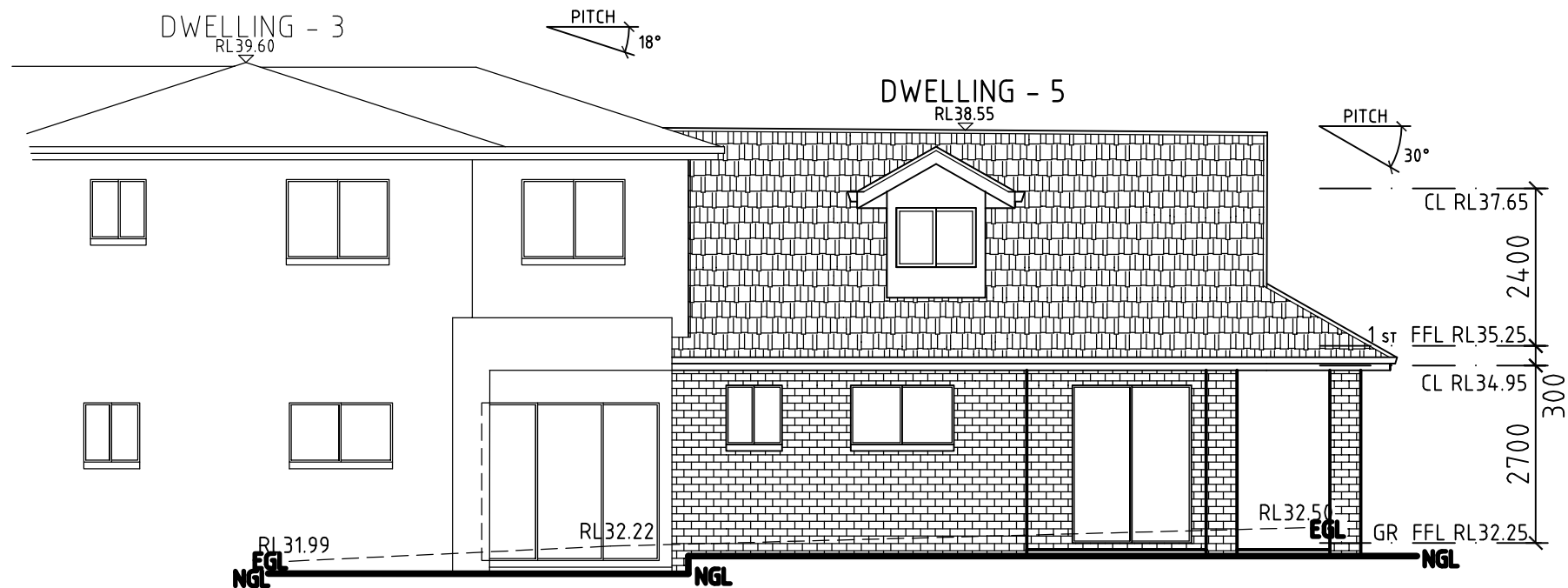
ROOF PLAN			
DEVELOPMENT APPLICATION			
DESIGN:	ARW	CHECK BY:	TWA
SCALE:	1 / 100 @ A3	DATE:	21 / AUG / 2021
JOB No:	180618	ISSUE:	X
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LEGEND :

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RP RENDER PAINT FINISH  
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BINS  
HWS HOT WATER SYSTEM  
DUCTING AIRCONDITIONING



WEST ELEVATION  
SCALE: 1 / 100 ( AT DRIVEWAY )



EAST ELEVATION  
SCALE: 1 / 100

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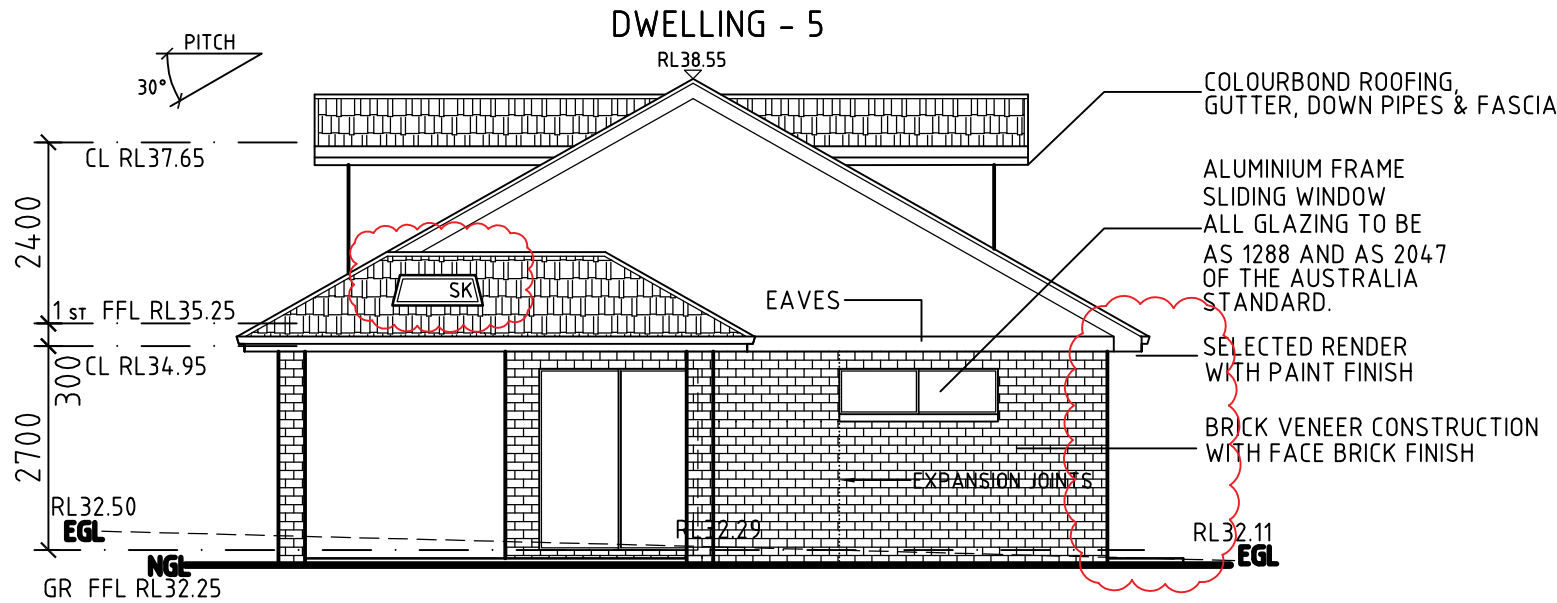
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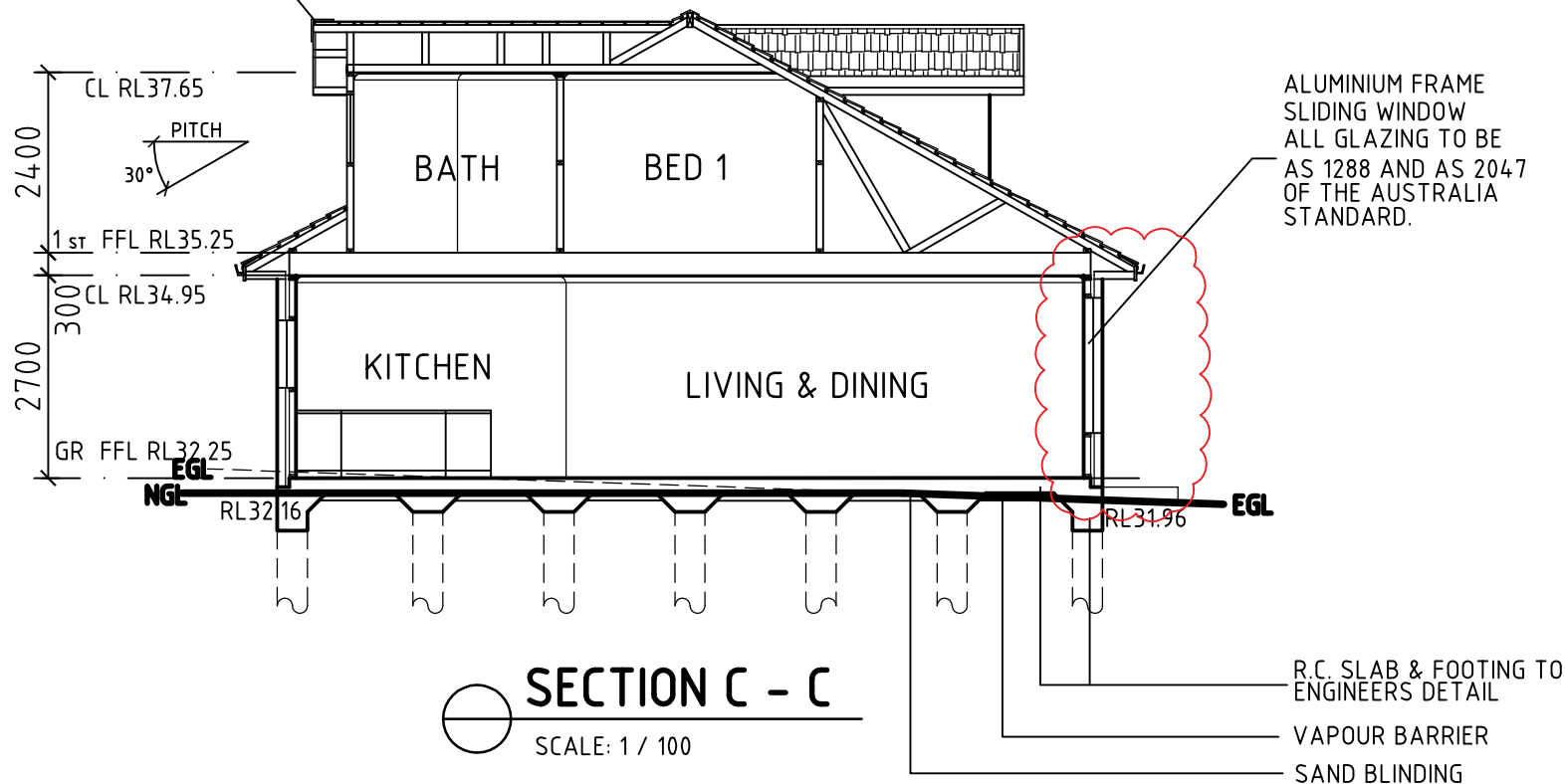
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NORTH ELEVATION  
SCALE: 1 / 100

TIMBER ROOF TRUSSES  
TO MANUFACTURERS DETAIL



SECTION C - C  
SCALE: 1 / 100

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TWA DESIGN  
ARCHITECTURE

BUILDING + INERIOR DESIGN + 3D IMAGE

BASIX CERTIFICATES

Ph: 0403 282 766

E: twadesign@hotmail.com

PROJECT: LOT 4 & B, DP 217675 & 349971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

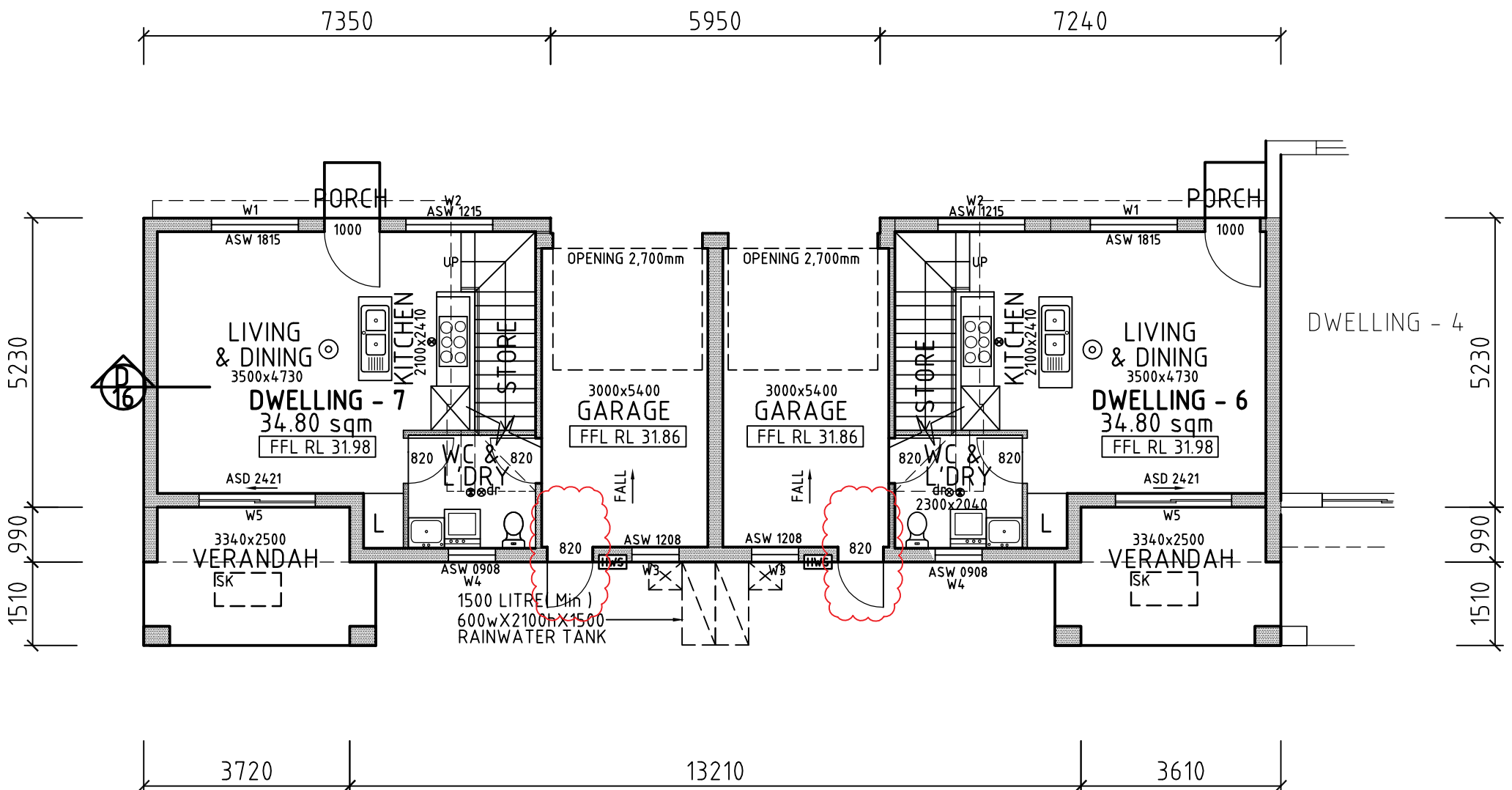
D	09.11.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.11.20 )	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20 )	TWA
B	10.9.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 25.8.20 )	TWA
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ISSUE DATE REVISION & AMENDMENT DRAWN

ELEVATION & SECTION			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 21 / AUG / 2021		
JOB No: 180618	ISSUE: X	SHEET No: 20	

**LEGEND :**

- EW EXISTING WINDOW
- AL ALUMINIUM FRAME
- RP RENDER PAINT FINISH
- FB FACE BRICK
- DDFS DURAGRID AND DURACOM FACADE SYSTEM
- TG TRANSLUCENT GLASS
- GB GLASS BALUSTRADE
- ⊕ EMERGENCY LIGHTING
- ⊙ SMOKE DETECTOR  
HPM 645 I/C. NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
FROM EACH UNIT.
- ⊙ FLOOR WASTE  
REMOVABLE GRATED DRAIN
- ⊙ AIR / VEN
- 1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- BINS
- HWS HOT WATER SYSTEM
- DUCTING AIRCONDITIONING



**GROUND FLOOR PLAN**  
SCALE: 1 / 100 - DWELLING 6 & 7

x HOT WATER SYSTEM - COMPLY AS 1529

x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P.2.1 IN SECTION 2  
OF THE BCA

x BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL  
BE NO LESS THAN 1m HIGH AND NO GAPS ON THE BALUSTRADE  
SHALL EXCEED 125mm

x AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE  
AND SCREEN FOR PROTECTION IN ACCORDANCE WITH BCA 3.2.9.5  
AND THE OPENING BE RESTRICTED TO NO MORE THAN 125mm.

**NOTES :**

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- \* BOUNDARY DIMENSIONS AND ALL LEVELS SUBJECT TO SURVEY.
- \* THE WHOLE OF THE WORKS IS TO BE IN ACCORDANCE WITH THE REGULATIONS, BY LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES HAVING JURISDICTION OVER THE WORKS, THE BUILDING CODE OF AUSTRALIA AND RELEVANT SAA CODES.
- \* PLANS ARE TO BE READ IN CONJUNCTION WITH COUNCIL APPROVALS AND THE BUILDING CODE OF AUSTRALIA.

**BCA Notes:**

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- \* ALL NEW FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED MATERIAL OR COMPACTED STRUCTURAL FOUNDATION MATERIAL HAVING SAFE BEARING CAPACITY
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- \* ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1
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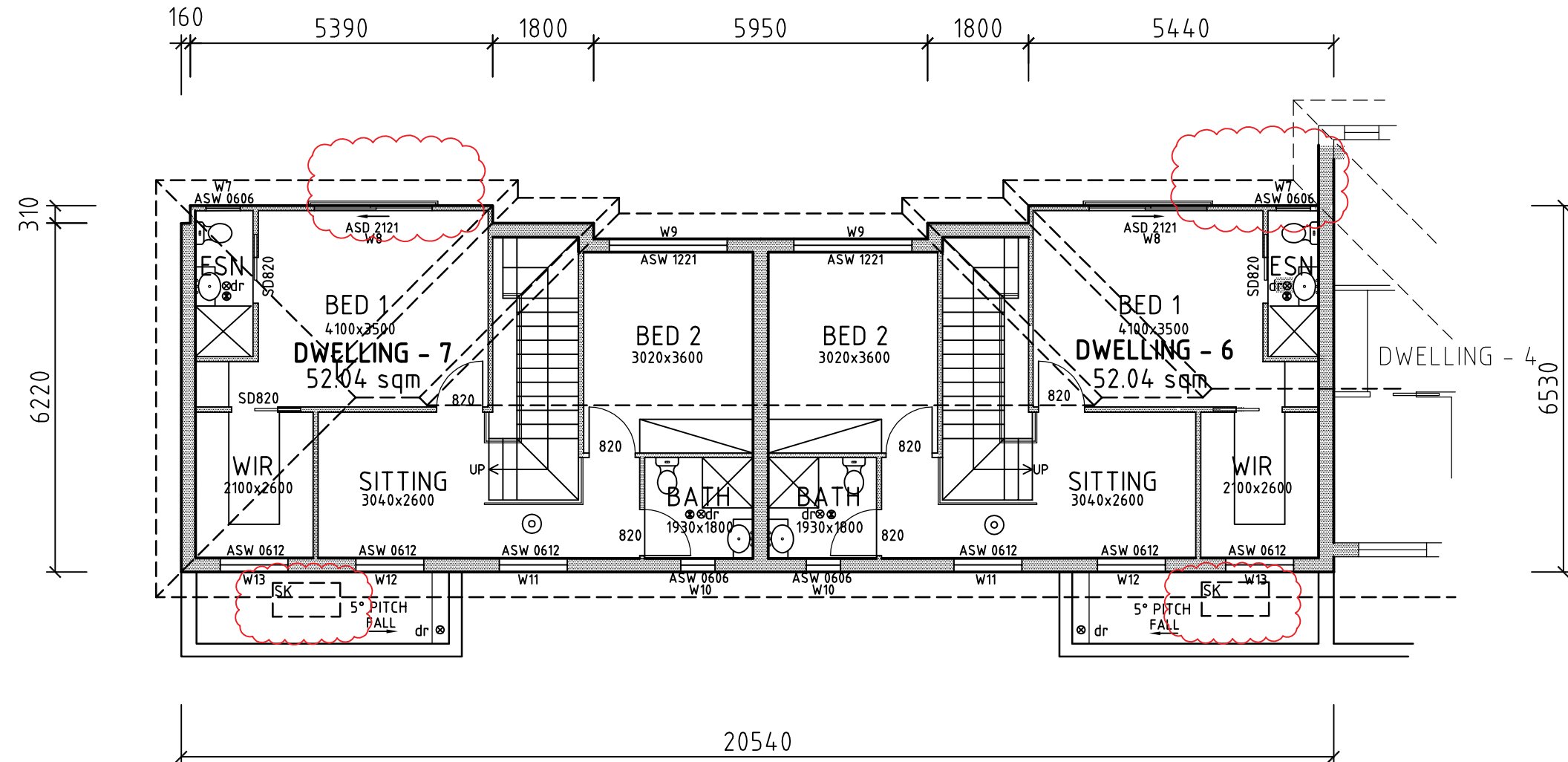
X1	23.9.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 23.9.21 )	TWA
X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.21 )	TWA
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ISSUE	DATE	REVISION & AMENDMENT	DRAWN

FLOOR PLAN			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 23 / SEP / 2021		
JOB No: 180618	ISSUE: X1		
	SHEET No: 21		



**LEGEND :**

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- ⊙ SMOKE DETECTOR  
HPM 645 I/C NOTE: ALARM FROM SMOKE DETECTOR IN STAIRWAY TO BE AUDIBLE FROM EACH UNIT.
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- EXIT ILLUMINATED EXIT SIGN
- BINS
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- DUCTING AIRCONDITIONING



**FIRST FLOOR PLAN**  
SCALE: 1 / 100 - DWELLING 6 & 7

- x HOT WATER SYSTEM - COMPLY AS 1529
- x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P2.1 IN SECTION 2  
OF THE BCA
- x BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL  
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SHALL EXCEED 125mm
- x AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE  
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**NOTES :**

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BASIX CERTIFICATES  
Ph: 0403 282 766  
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PROJECT: LOT 4 & B, DP 217675 & 349971  
**DEMOLITION EXISTING DWELLING & PROPOSED STRATA TITLE, MULTI DWELLING HOUSING AT 179-181 MOORFIELDS RD ROSELANDS NSW 2196**

X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.20 )	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20 )	TWA
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ISSUE	DATE	REVISION & AMENDMENT	DRAWN

FLOOR PLAN			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 21 / AUG / 2021		
JOB No: 180618	ISSUE: X		
		SHEET No: 22	

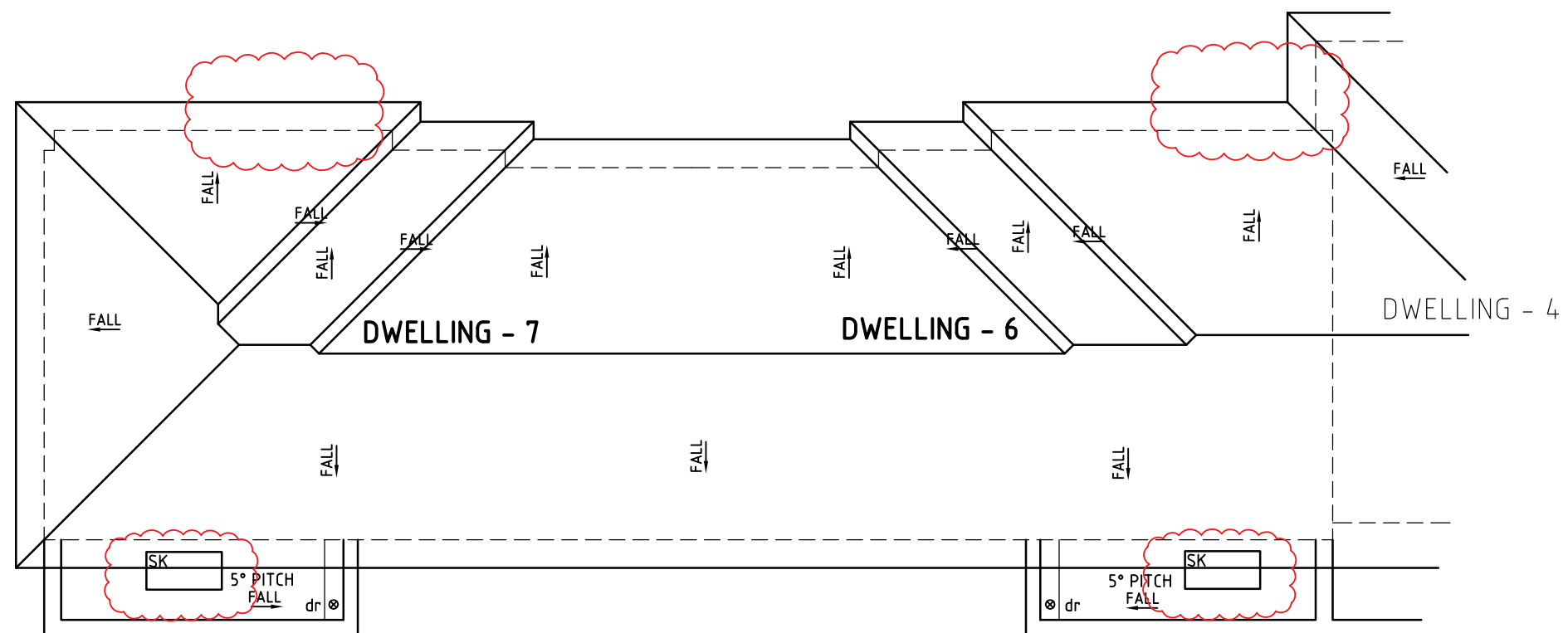


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DUCTING AIRCONDITIONING



ROOF PLAN  
SCALE: 1 / 100 - DWELLING 6 & 7

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ROOF PLAN			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 21 / AUG / 2021		
JOB No: 180618	ISSUE: X	SHEET No: 23	



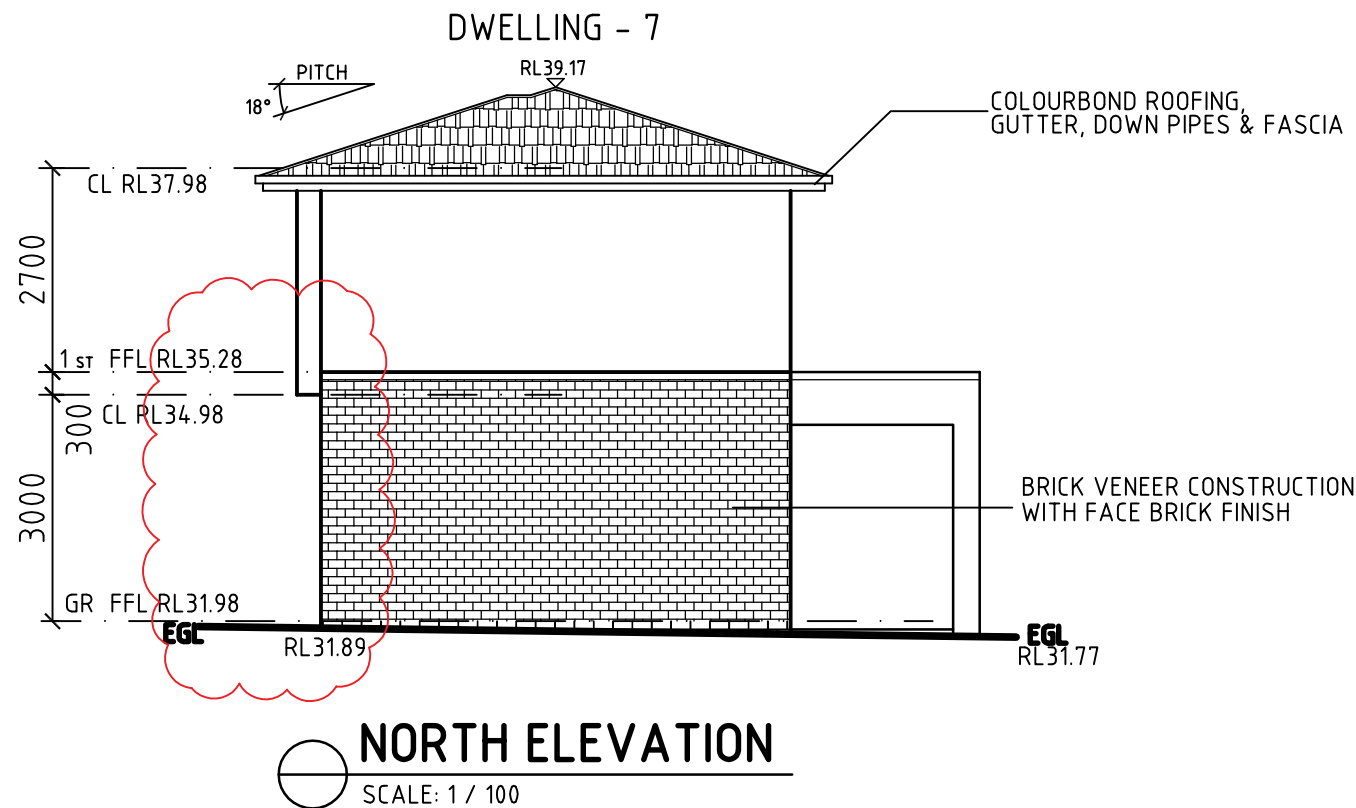


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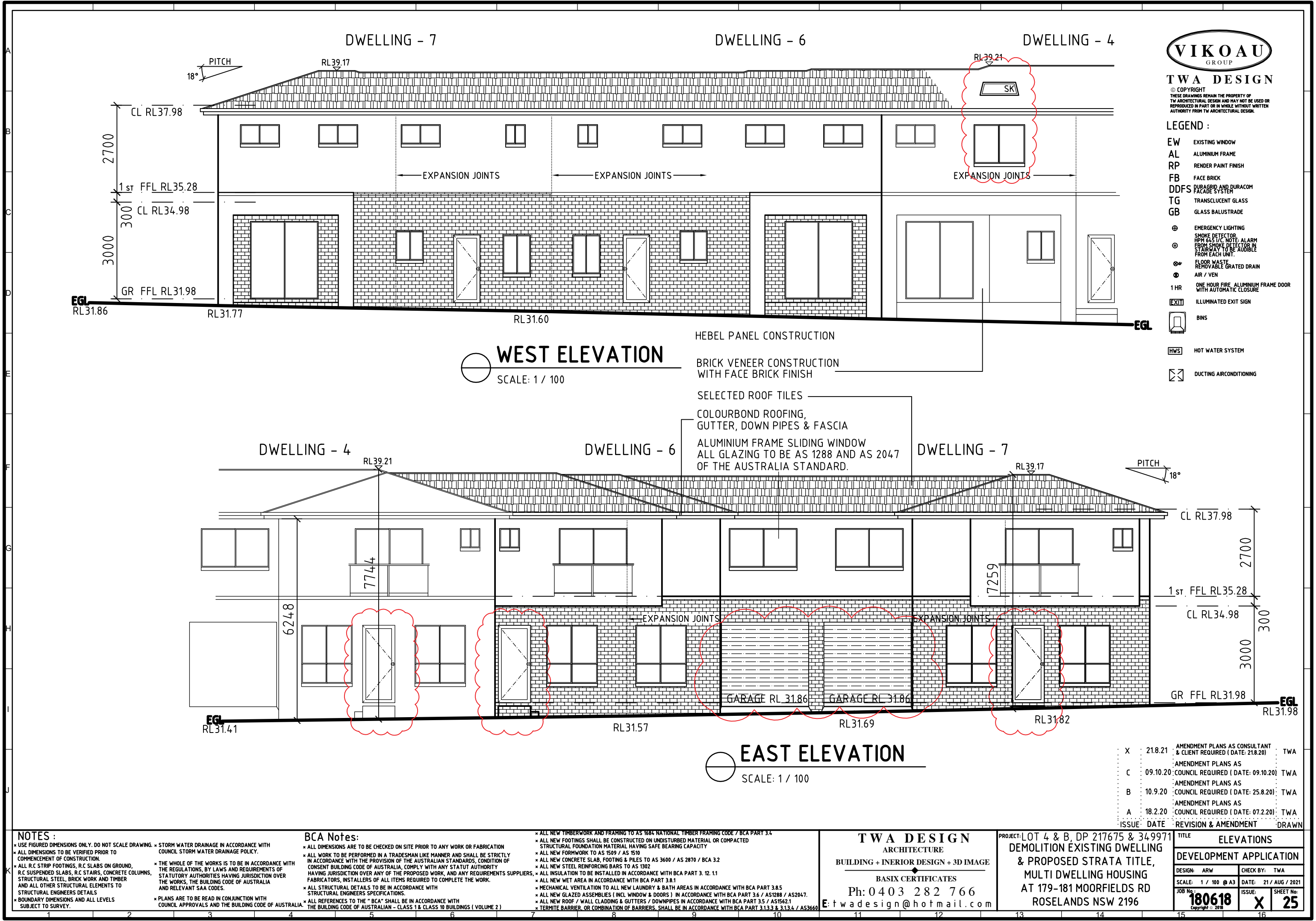
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- \* THE WHOLE OF THE WORKS IS TO BE IN ACCORDANCE WITH THE REGULATIONS, BY LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES HAVING JURISDICTION OVER THE WORKS. THE BUILDING CODE OF AUSTRALIA AND RELEVANT SAA CODES.
- \* PLANS ARE TO BE READ IN CONJUNCTION WITH COUNCIL APPROVALS AND THE BUILDING CODE OF AUSTRALIA.

**BCA Notes:**

- \* ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK OR FABRICATION
- \* ALL WORK TO BE PERFORMED IN A TRADESMAN LIKE MANNER AND SHALL BE STRICTLY IN ACCORDANCE WITH THE PROVISIONS OF THE AUSTRALIAN STANDARDS, CONDITION OF CONSENT BUILDING CODE OF AUSTRALIA, COMPLY WITH ANY STATUT AUTHORITY HAVING JURISDICTION OVER ANY OF THE PROPOSED WORK, AND ANY REQUIREMENTS SUPPLIERS, FABRICATORS, INSTALLERS OF ALL ITEMS REQUIRED TO COMPLETE THE WORK.
- \* ALL STRUCTURAL DETAILS TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS.
- \* ALL REFERENCES TO THE "BCA" SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIAN - CLASS 1 & CLASS 10 BUILDINGS ( VOLUME 2 )

- \* ALL NEW TIMBERWORK AND FRAMING TO AS 1684 NATIONAL TIMBER FRAMING CODE / BCA PART 3.4
- \* ALL NEW FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED MATERIAL OR COMPACTED STRUCTURAL FOUNDATION MATERIAL HAVING SAFE BEARING CAPACITY
- \* ALL NEW FORMWORK TO AS 1509 / AS 1510
- \* ALL NEW CONCRETE SLAB, FOOTING & PILES TO AS 3600 / AS 2870 / BCA 3.2
- \* ALL NEW STEEL REINFORCING BARS TO AS 1302
- \* ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1
- \* ALL NEW WET AREA IN ACCORDANCE WITH BCA PART 3.8.1
- \* MECHANICAL VENTILATION TO ALL NEW LAUNDRY & BATH AREAS IN ACCORDANCE WITH BCA PART 3.8.5
- \* ALL NEW GLAZED ASSEMBLIES (INCL WINDOW & DOORS) IN ACCORDANCE WITH BCA PART 3.6 / AS1288 / AS2047.
- \* ALL NEW ROOF / WALL CLADDING & GUTTERS / DOWNPIPES IN ACCORDANCE WITH BCA PART 3.5 / AS1562.1
- \* TERMITE BARRIER OR COMBINATION OF BARRIERS, SHALL BE IN ACCORDANCE WITH BCA PART 3.13.3 & 3.13.4 / AS3660

**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INERIOR DESIGN + 3D IMAGE

BASIX CERTIFICATES

Ph: 0403 282 766

E: twadesign@hotmail.com

PROJECT: LOT 4 & B, DP 217675 & 34,9971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

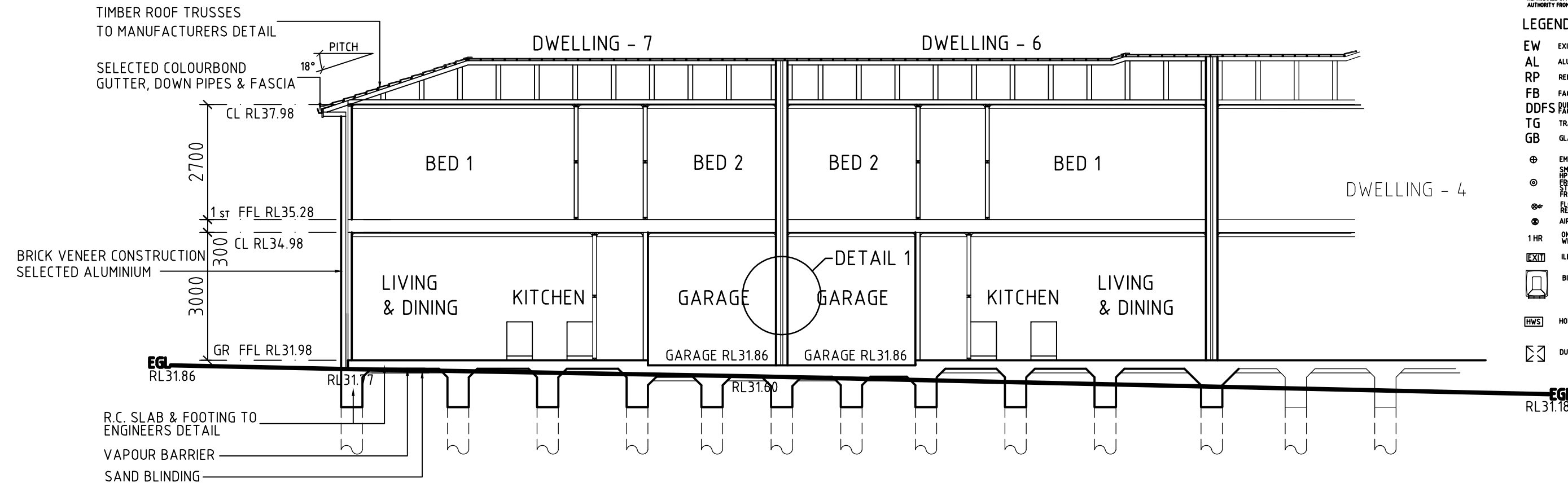
ELEVATIONS			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 21 / AUG / 2021		
JOB No: 180618	ISSUE: X		
		SHEET No: 25	

X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.20 )	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20 )	TWA
B	10.9.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 25.8.20 )	TWA
A	18.2.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 07.2.20 )	TWA
ISSUE	DATE	REVISION & AMENDMENT	DRAWN



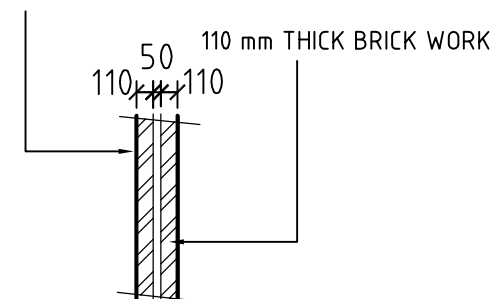
LEGEND :

- EW EXISTING WINDOW  
AL ALUMINIUM FRAME  
RP RENDER PAINT FINISH  
FB FACE BRICK  
DDFS DURAGRID AND DURACOM  
FACADE SYSTEM  
TG TRANSLUCENT GLASS  
GB GLASS BALUSTRADE  
⊕ EMERGENCY LIGHTING  
⊙ SMOKE DETECTOR  
HPM 645 I/C. NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
FROM EACH UNIT.  
⊙ FLOOR WASTE  
REMOVABLE GRATED DRAIN  
⊙ AIR / VEN  
1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE  
EXIT ILLUMINATED EXIT SIGN  
BINS  
HWS HOT WATER SYSTEM  
DUCTING AIRCONDITIONING



SECTION D - D  
SCALE: 1 / 100

CEMENT RENDER FINISH



COMMENT WALL TO BE SOUND INSULATION (min) Rw 50  
OF SERVICE TO COMPLY WITH 3.8.6 OF THE BCA  
AND WALL TIE SPACING DETAILS AS SET OUT  
IN PART 3.3 OF THE BCA

DETAIL 1  
SCALE: 1 / 50

COMMENT WALL TO BE SOUND INSULATION (min) Rw 50  
OF SERVICE TO COMPLY WITH 3.8.6 OF THE BCA

NOTES :

- USE FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWING.
- STORM WATER DRAINAGE IN ACCORDANCE WITH COUNCIL STORM WATER DRAINAGE POLICY.
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TWA DESIGN  
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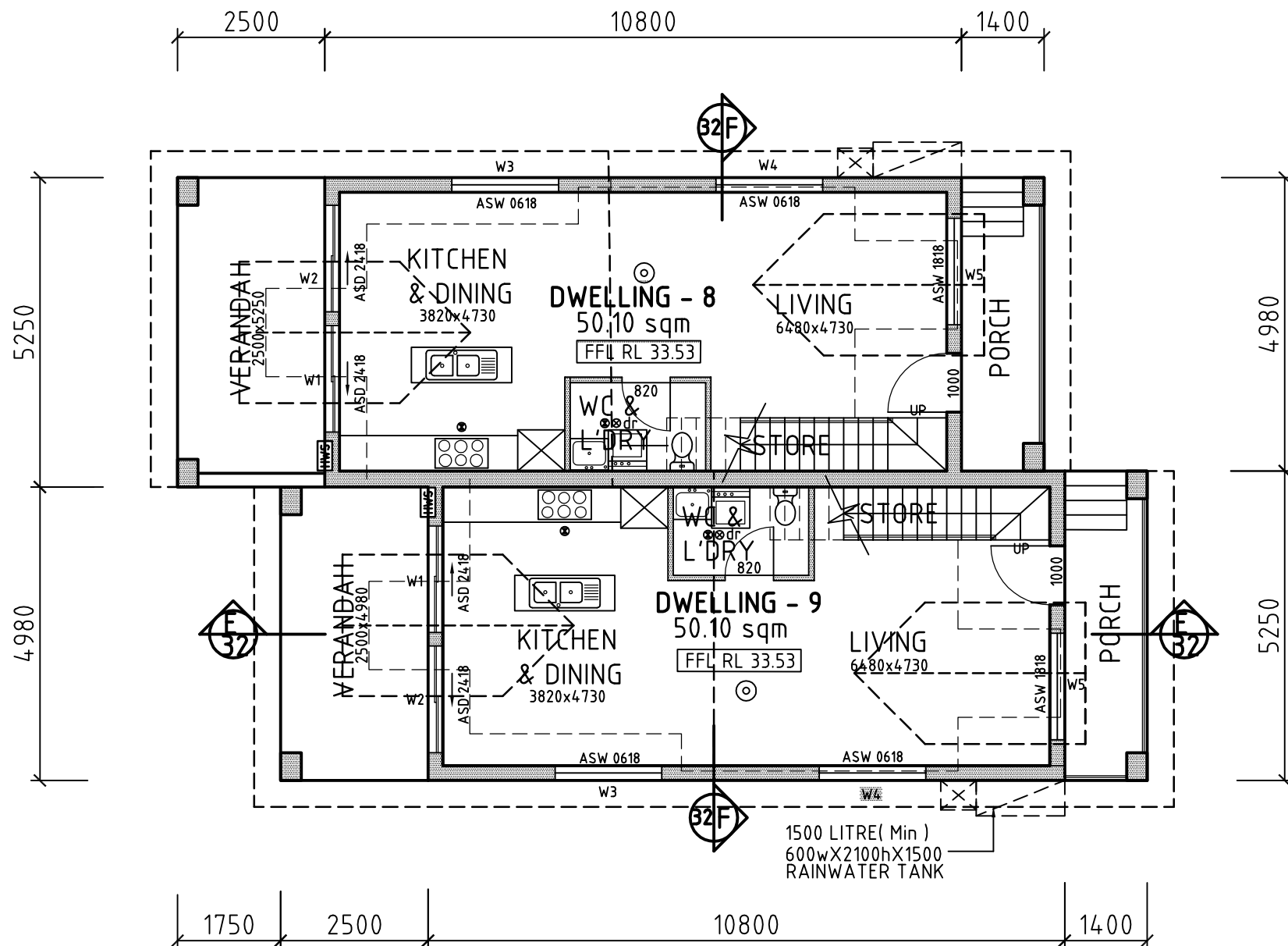
PROJECT: LOT 4 & B, DP 217675 & 349971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.20 )	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20 )	TWA
B	10.9.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 25.8.20 )	TWA
A	18.2.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 07.2.20 )	TWA
ISSUE	DATE	REVISION & AMENDMENT	DRAWN

SECTION D - D			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 21 / AUG / 2021		
JOB No: 180618	ISSUE: X	SHEET No: 26	

**LEGEND :**

- EW EXISTING WINDOW
- AL ALUMINIUM FRAME
- RP RENDER PAINT FINISH
- FB FACE BRICK
- DDFS DURAGRID AND DURACOM FACADE SYSTEM
- TG TRANSLUCENT GLASS
- GB GLASS BALUSTRADE
- ⊕ EMERGENCY LIGHTING
- ⊙ SMOKE DETECTOR  
HPM 6451/C NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
FROM EACH UNIT.
- ⊙ FLOOR WASTE  
REMOVABLE GRATED DRAIN
- ⊙ AIR / VEN
- 1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- BINS
- HWS HOT WATER SYSTEM
- DUCTING AIRCONDITIONING



**GROUND FLOOR PLAN**  
SCALE: 1 / 100 - DWELLING 8 & 9



- x HOT WATER SYSTEM - COMPLY AS 1529
- x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P.2.1 IN SECTION 2  
OF THE BCA
- x BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL  
BE NO LESS THAN 1m HIGH AND NO GAPS ON THE BALUSTRADE  
SHALL EXCEED 125mm
- x AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE  
AND SCREEN FOR PROTECTION IN ACCORDANCE WITH BCA 3.2.9.5  
AND THE OPENING BE RESTRICTED TO NO MORE THAN 125mm.

**NOTES :**

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**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INERIOR DESIGN + 3D IMAGE  
BASIX CERTIFICATES  
Ph: 0403 282 766  
E: twadesign@hotmail.com

PROJECT: LOT 4 & B, DP 217675 & 349971  
**DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196**

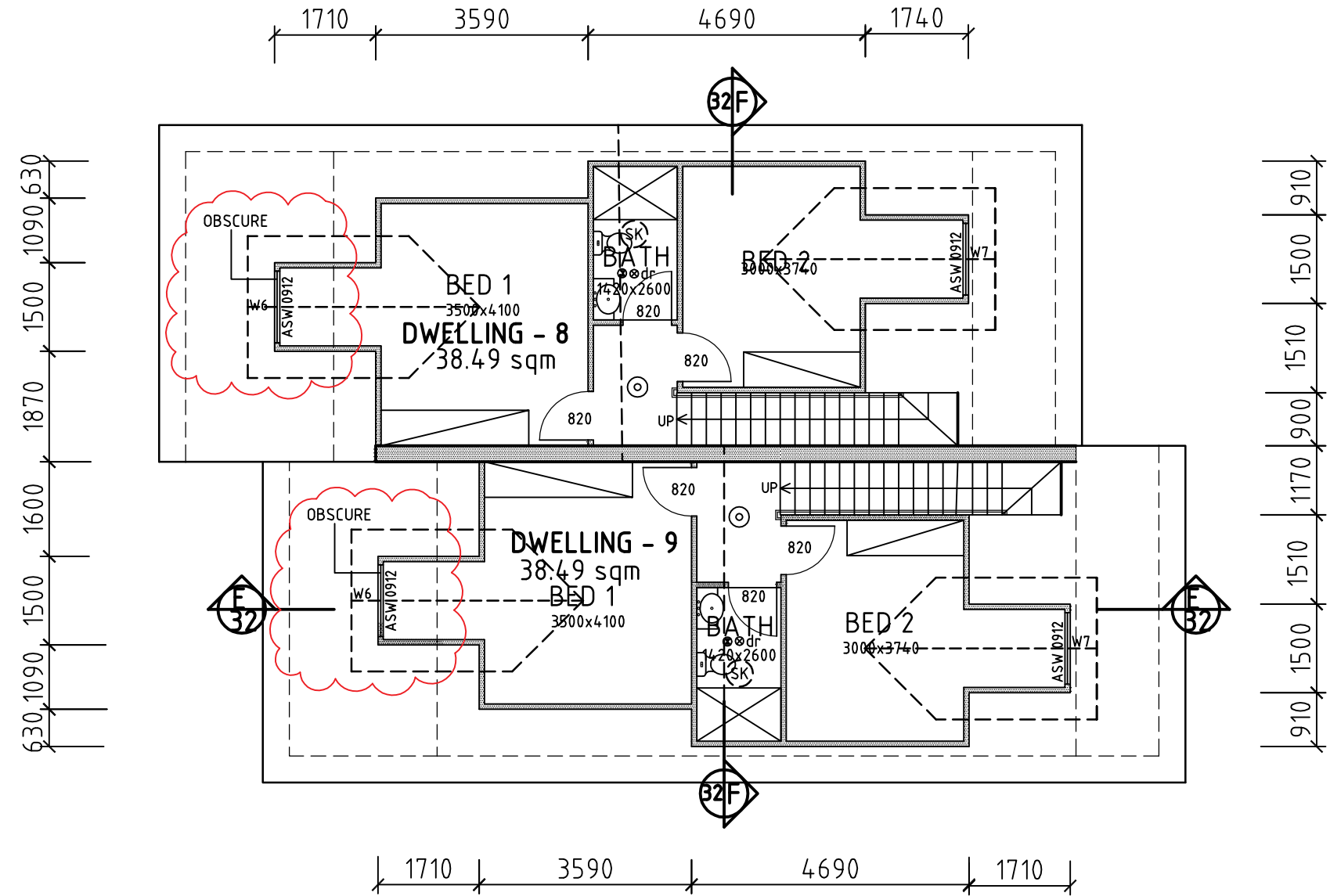
X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.20 )	TWA
E	19.1.21	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 16.12.20 )	TWA
D	09.11.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.11.20 )	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20 )	TWA
B	10.9.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 25.8.20 )	TWA
A	18.2.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 07.2.20 )	TWA

ISSUE	DATE	REVISION & AMENDMENT	DRAWN

FLOOR PLAN			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 21 / AUG / 2021		
JOB No: 180618	ISSUE: X	SHEET No: 27	

**LEGEND :**

- EW EXISTING WINDOW
- AL ALUMINIUM FRAME
- RP RENDER PAINT FINISH
- FB FACE BRICK
- DDFS DURAGRID AND DURACOM FACADE SYSTEM
- TG TRANSLUCENT GLASS
- GB GLASS BALUSTRADE
- ⊕ EMERGENCY LIGHTING
- ⊙ SMOKE DETECTOR  
HPM 645 I/C. NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
FROM EACH UNIT.
- ⊙ FLOOR WASTE  
REMOVABLE GRATED DRAIN
- ⊙ AIR / VEN
- 1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- BINS
- HWS HOT WATER SYSTEM
- DUCTING AIRCONDITIONING



**FIRST FLOOR PLAN**  
SCALE: 1 / 100 - DWELLING 8 & 9

- x HOT WATER SYSTEM - COMPLY AS 1529
- x TERMITE PROTECTION FOLLOWING:  
- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P2.1 IN SECTION 2  
OF THE BCA
- x BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL  
BE NO LESS THAN 1m HIGH AND NO GAPS ON THE BALUSTRADE  
SHALL EXCEED 125mm
- x AT FIRST FLOOR ROOM WINDOWS TO HAVE CHILD SAFE DEVICE  
AND SCREEN FOR PROTECTION IN ACCORDANCE WITH BCA 3.2.9.5  
AND THE OPENING BE RESTRICTED TO NO MORE THAN 125mm.

**NOTES :**

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**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INERIOR DESIGN + 3D IMAGE  
BASIX CERTIFICATES  
Ph: 0403 282 766  
E: twadesign@hotmail.com

PROJECT: LOT 4 & B, DP 217675 & 349971  
**DEMOLITION EXISTING DWELLING & PROPOSED STRATA TITLE, MULTI DWELLING HOUSING AT 179-181 MOORFIELDS RD ROSELANDS NSW 2196**

X1	23.9.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 23.9.21)	TWA
X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.21)	TWA
D	09.11.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.11.20)	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20)	TWA
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ISSUE	DATE	REVISION & AMENDMENT	DRAWN
FLOOR PLAN			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 23 / SEP / 2021		
JOB No: 180618	ISSUE: X1		
		SHEET No: 28	



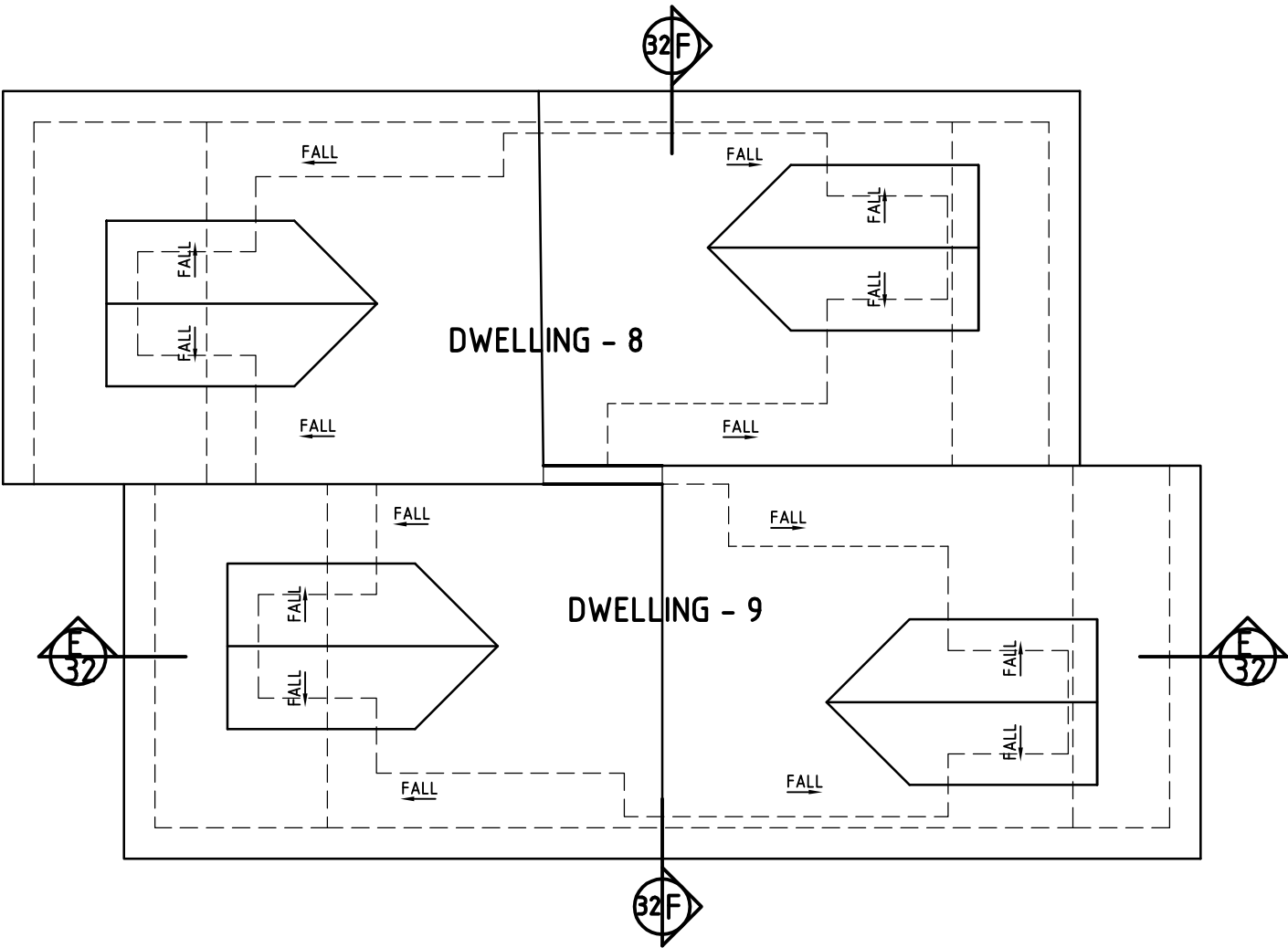


TWA DESIGN

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REPRODUCED IN PART OR IN WHOLE WITHOUT WRITTEN  
AUTHORITY FROM TWA ARCHITECTURAL DESIGN.

LEGEND :

EW	EXISTING WINDOW
AL	ALUMINIUM FRAME
RP	RENDER PAINT FINISH
FB	FACE BRICK
DDFS	DURAGRID AND DURACOM FACADE SYSTEM
TG	TRANSLUCENT GLASS
GB	GLASS BALUSTRADE
⊕	EMERGENCY LIGHTING
⊙	SMOKE DETECTOR HPM 6451/C NOTE: ALARM FROM SMOKE DETECTOR IN STAIRWAY TO BE AUDIBLE FROM EACH UNIT.
⊗	FLOOR WASTE REMOVABLE GRATED DRAIN
⊙	AIR / VEN
1 HR	ONE HOUR FIRE ALUMINIUM FRAME DOOR WITH AUTOMATIC CLOSURE
EXIT	ILLUMINATED EXIT SIGN
⌂	BINS
HWS	HOT WATER SYSTEM
⌂	DUCTING AIRCONDITIONING



ROOF PLAN  
SCALE: 1 / 100 - DWELLING 8 & 9

x HOT WATER SYSTEM - COMPLY AS 1529

x TERMITE PROTECTION FOLLOWING:

- ACCORDANCE WITH AS 3660.1-2000,  
CLAUSE 3.1.3 & P2.1 IN SECTION 2  
OF THE BCA

x BALUSTRADES ON BALCONY AND NEXT TO THE VOID SHALL  
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SHALL EXCEED 125mm

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**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INERIOR DESIGN + 3D IMAGE  
BASIX CERTIFICATES  
Ph: 0403 282 766  
E: twadesign@hotmail.com

PROJECT: LOT 4 & B, DP 217675 & 349971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

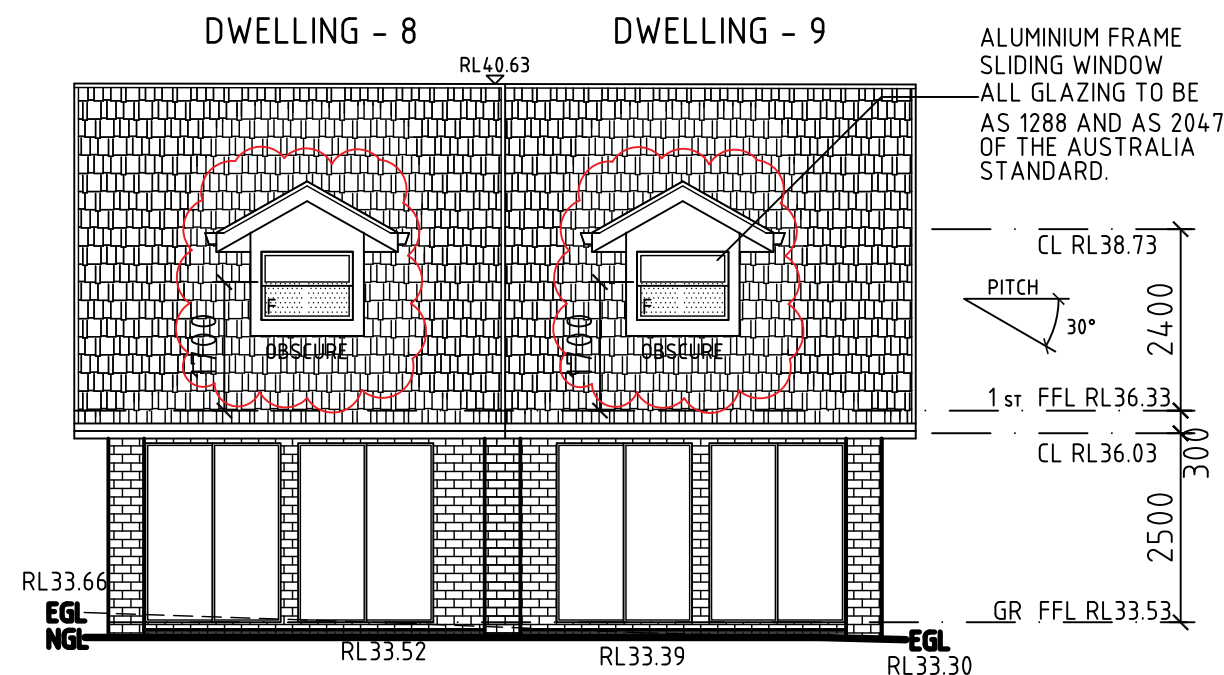
X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.20 )	TWA
D	09.11.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.11.20 )	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20 )	TWA
B	10.9.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 25.8.20 )	TWA
A	18.2.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 07.2.20 )	TWA

ISSUE	DATE	REVISION & AMENDMENT	DRAWN

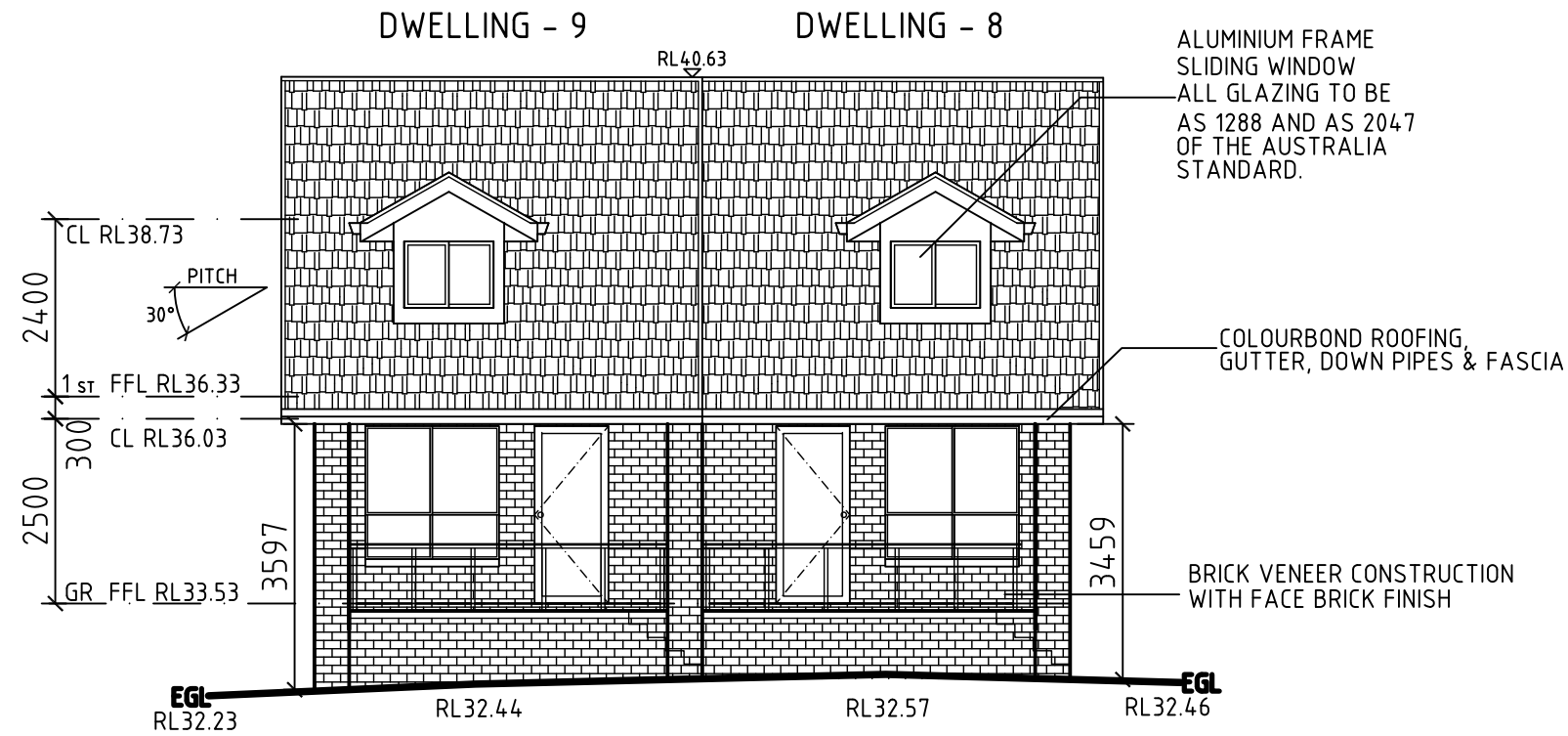
TITLE			
ROOF PLAN			
DEVELOPMENT APPLICATION			
DESIGN:	ARW	CHECK BY:	TWA
SCALE:	1 / 100 @ A3	DATE:	21 / AUG / 2021
JOB No:	180618	ISSUE:	X
		SHEET No:	29

**LEGEND :**

- EW EXISTING WINDOW
- AL ALUMINIUM FRAME
- RP RENDER PAINT FINISH
- FB FACE BRICK
- DDFS DURAGRID AND DURACOM FACADE SYSTEM
- TG TRANSLUCENT GLASS
- GB GLASS BALUSTRADE
- ⊕ EMERGENCY LIGHTING
- ⊙ SMOKE DETECTOR  
HPM 645 I/C. NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
FROM EACH UNIT.
- ⊙\* FLOOR WASTE  
REMOVABLE GRATED DRAIN
- ⊙ AIR / VEN
- 1 HR ONE HOUR FIRE ALUMINIUM FRAME DOOR  
WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- ⌈ BINS
- HWS HOT WATER SYSTEM
- ⌈ DUCTING AIRCONDITIONING



**NORTH ELEVATION**  
SCALE: 1 / 100



**SOUTH ELEVATION**  
SCALE: 1 / 100

X1	23.9.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 23.9.21)	TWA
X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.21)	TWA
D	09.11.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.11.20)	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20)	TWA
B	10.9.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 25.8.20)	TWA
A	18.2.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 07.2.20)	TWA
ISSUE	DATE	REVISION & AMENDMENT	DRAWN

**NOTES :**

- \* USE FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWING.
- \* STORM WATER DRAINAGE IN ACCORDANCE WITH COUNCIL STORM WATER DRAINAGE POLICY.
- \* ALL DIMENSIONS TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- \* ALL R.C STRIP FOOTINGS, R.C SLABS ON GROUND, R.C SUSPENDED SLABS, R.C STAIRS, CONCRETE COLUMNS, STRUCTURAL STEEL, BRICK WORK AND TIMBER AND ALL OTHER STRUCTURAL ELEMENTS TO STRUCTURAL ENGINEERS DETAILS
- \* BOUNDARY DIMENSIONS AND ALL LEVELS SUBJECT TO SURVEY.
- \* THE WHOLE OF THE WORKS IS TO BE IN ACCORDANCE WITH THE REGULATIONS, BY LAWS AND REQUIREMENTS OF STATUTORY AUTHORITIES HAVING JURISDICTION OVER THE WORKS. THE BUILDING CODE OF AUSTRALIA AND RELEVANT SAA CODES.
- \* PLANS ARE TO BE READ IN CONJUNCTION WITH COUNCIL APPROVALS AND THE BUILDING CODE OF AUSTRALIA.

**BCA Notes:**

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- \* ALL NEW FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED MATERIAL OR COMPACTED STRUCTURAL FOUNDATION MATERIAL HAVING SAFE BEARING CAPACITY
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- \* TERMITE BARRIER, OR COMBINATION OF BARRIERS, SHALL BE IN ACCORDANCE WITH BCA PART 3.13.3 & 3.13.4 / AS3660

**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INTERIOR DESIGN + 3D IMAGE

BASIX CERTIFICATES

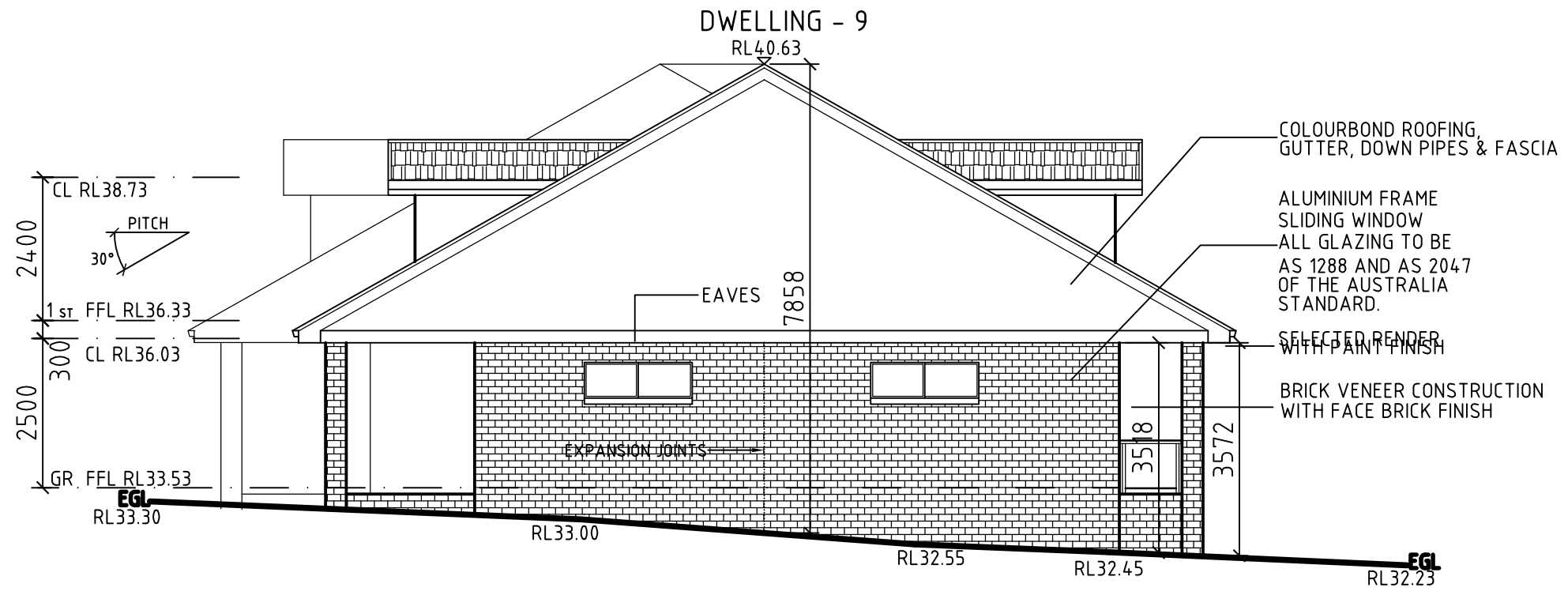
Ph: 0403 282 766  
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PROJECT: LOT 4 & B, DP 217675 & 349971  
**DEMOLITION EXISTING DWELLING & PROPOSED STRATA TITLE, MULTI DWELLING HOUSING AT 179-181 MOORFIELDS RD ROSELANDS NSW 2196**

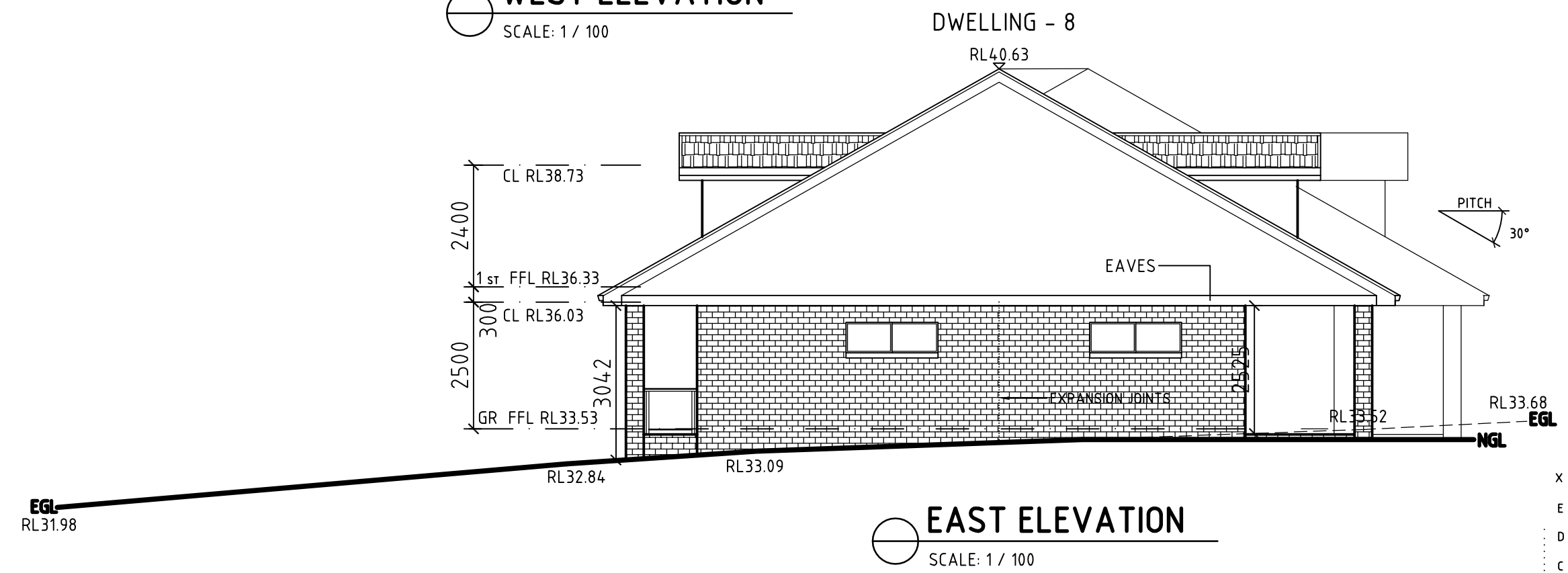
ELEVATIONS			
DEVELOPMENT APPLICATION			
DESIGN: ARW	CHECK BY: TWA		
SCALE: 1 / 100 @ A3	DATE: 23 / SEP / 2021		
JOB No: 180618	ISSUE: X1	SHEET No: 30	
Copyright © 2018			

LEGEND :

- EW EXISTING WINDOW  
AL ALUMINIUM FRAME  
RP RENDER PAINT FINISH  
FB FACE BRICK  
DDFS DURAGRID AND DURACOM  
FACADE SYSTEM  
TG TRANSLUCENT GLASS  
GB GLASS BALUSTRADE  
⊕ EMERGENCY LIGHTING  
⊙ SMOKE DETECTOR  
HPM 6451/C NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
FROM EACH UNIT.  
⊙ FLOOR WASTE  
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WITH AUTOMATIC CLOSURE  
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BINS  
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DUCTING AIRCONDITIONING



WEST ELEVATION  
SCALE: 1 / 100



EAST ELEVATION  
SCALE: 1 / 100

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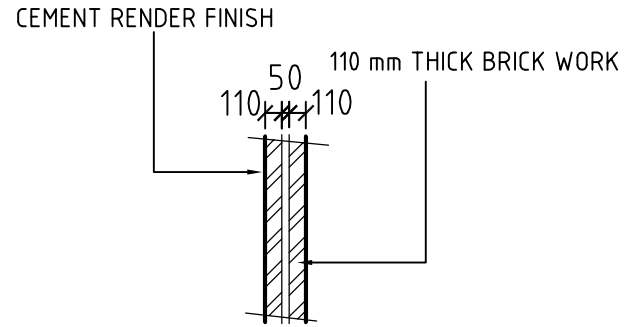
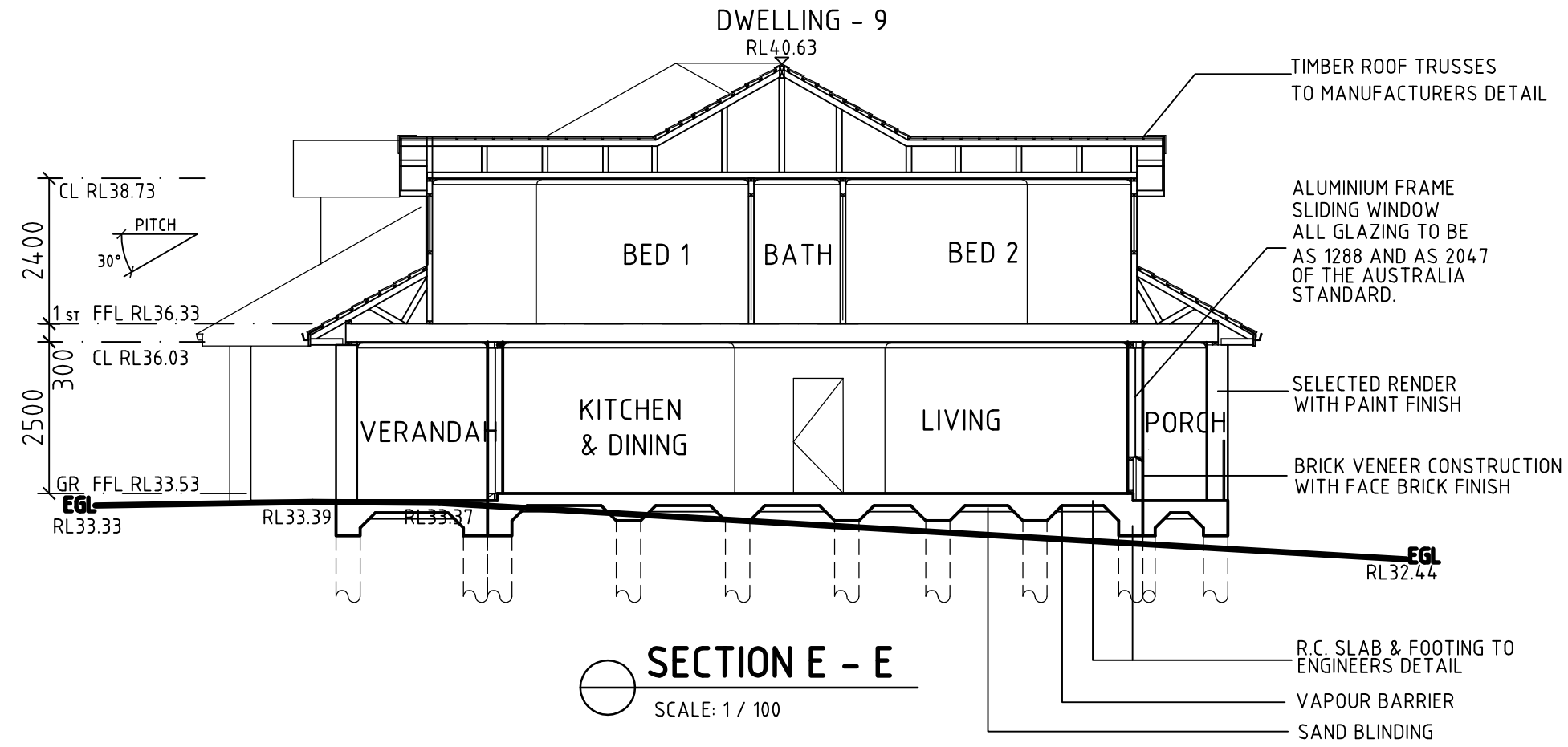
PROJECT: LOT 4 & B, DP 217675 & 349971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.20 )	TWA
E	19.1.21	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 16.12.20 )	TWA
D	09.11.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.11.20 )	TWA
C	09.10.20	AMENDMENT PLANS AS COUNCIL REQUIRED ( DATE: 09.10.20 )	TWA
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ISSUE	DATE	REVISION & AMENDMENT	DRAWN
ELEVATIONS			
DEVELOPMENT APPLICATION			
DESIGN:	ARW	CHECK BY:	TWA
SCALE:	1 / 100 @ A3	DATE:	21 / AUG / 2021
JOB No:	180618	ISSUE:	X
		SHEET No:	31

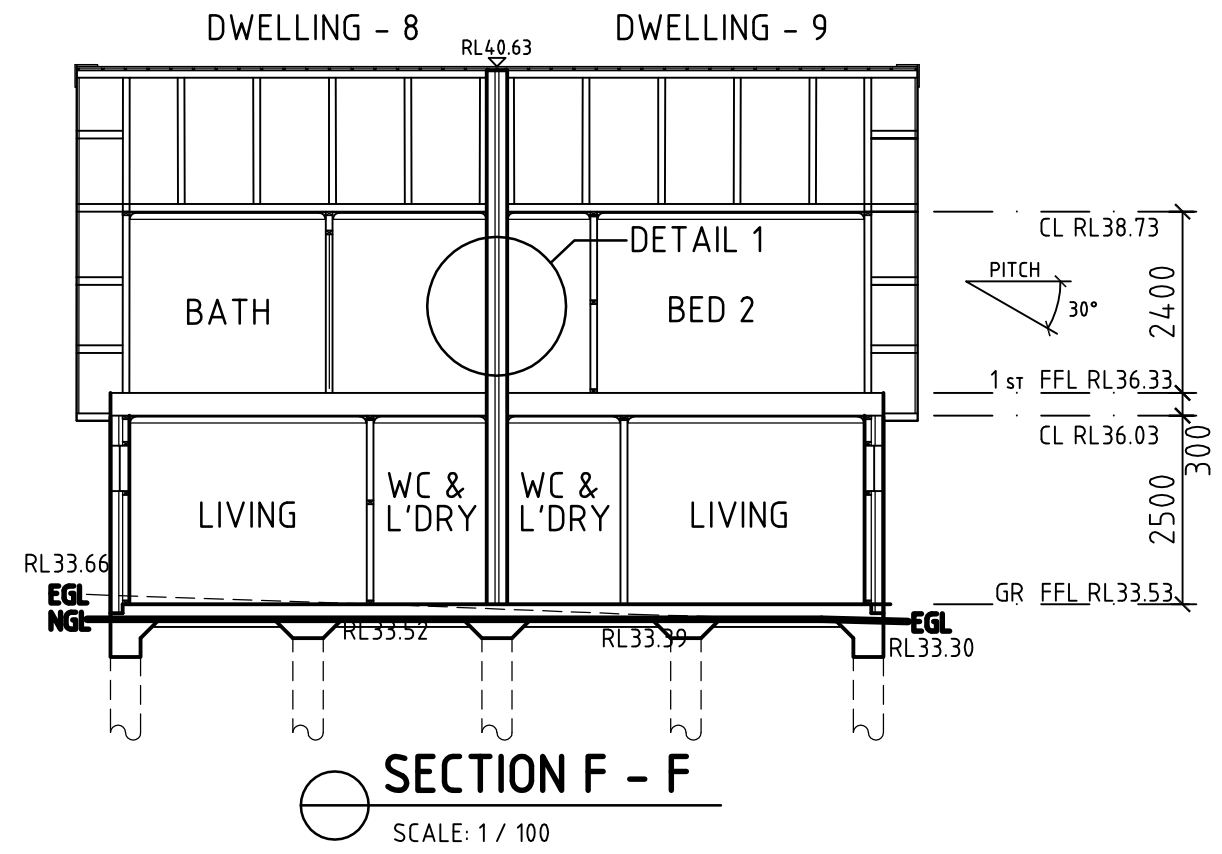


**LEGEND :**

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- ⊕ EMERGENCY LIGHTING
- ⊙ SMOKE DETECTOR  
HPM 645 I/C NOTE: ALARM  
FROM SMOKE DETECTOR IN  
STAIRWAY TO BE AUDIBLE  
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- ⊙ FLOOR WASTE  
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WITH AUTOMATIC CLOSURE
- EXIT ILLUMINATED EXIT SIGN
- BINS
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- DUCTING AIRCONDITIONING



COMMENT WALL TO BE SOUND INSULATION (min) Rw 50  
OF SERVICE TO COMPLY WITH 3.8.6 OF THE BCA  
AND WALL TIE SPACING DETAILS AS SET OUT  
IN PART 3.3 OF THE BCA



COMMENT WALL TO BE SOUND INSULATION (min) Rw 50  
OF SERVICE TO COMPLY WITH 3.8.6 OF THE BCA

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**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INERIOR DESIGN + 3D IMAGE  
BASIX CERTIFICATES  
Ph: 0403 282 766  
E: twadesign@hotmail.com

PROJECT: LOT 4 & B, DP 217675 & 349971  
**DEMOLITION EXISTING DWELLING & PROPOSED STRATA TITLE, MULTI DWELLING HOUSING AT 179-181 MOORFIELDS RD ROSELANDS NSW 2196**

1	TITLE			SECTION E-E & F-F		
	DEVELOPMENT APPLICATION					
	DESIGN: ARW			CHECK BY: TWA		
	SCALE: 1 / 100 @ A3			DATE: 21 / AUG / 2021		
	JOB No: 180618			ISSUE: X		SHEET No: 32
	Copyright © 2018					
15			16			

LEGEND :

EW	EXISTING WINDOW	⊕	EMERGENCY LIGHTING	⊕	TOILET
AL	ALUMINUM FRAME	⊙	SMOKE DETECTOR	⊕	MATERIAL STORE AREA
RP	RENDER PAINT FINISH	⊙	SPRINKLER	⊕	STABILIZED TEMPORARY CONSTRUCTION EXIT & ENTRANCE
FB	FACE BRICK	⊙	SMOKE DETECTOR	⊕	
DDFS	DURAGRID AND DURACOM FACADE SYSTEM	⊙	FLOOR WASTE REMOVABLE GRATED DRAIN	⊕	
TG	TRANSLUCENT GLASS	⊙	AIR / VENT	⊕	
GB	GLASS BALUSTRADE	⊙	1HR ONE HOUR FIRE ALUMINUM FRAME DOOR WITH AUTOMATIC CLOSURE	⊕	
		⊙	ILLUMINATED EXIT SIGN	⊕	
		⊙	SEDIMENT CONTROL FENCE AS DETAILED	⊕	
		⊙	STOCKPILE MATERIAL AREA	⊕	

EROSION CONTROL NOTES

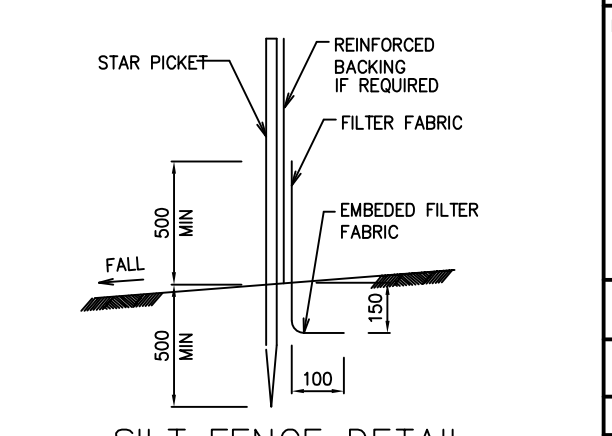
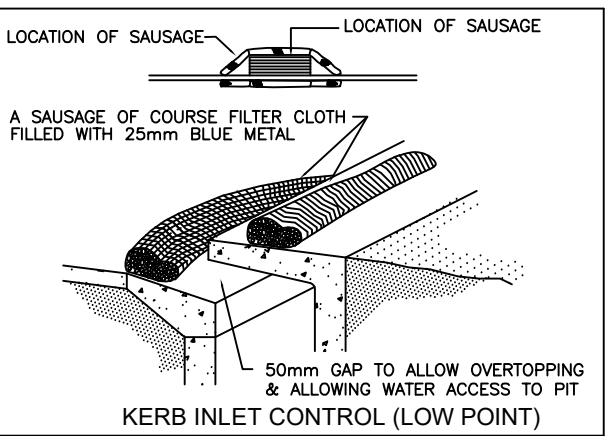
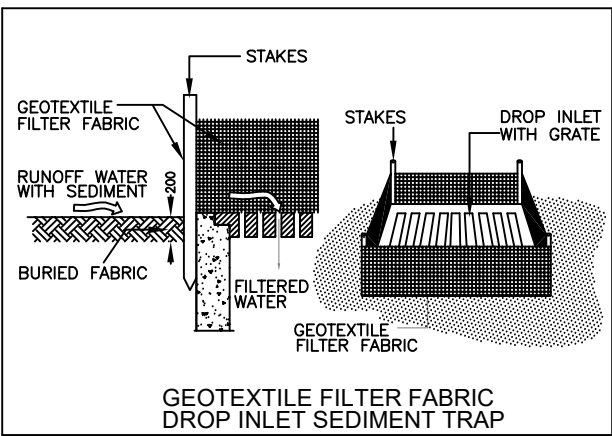
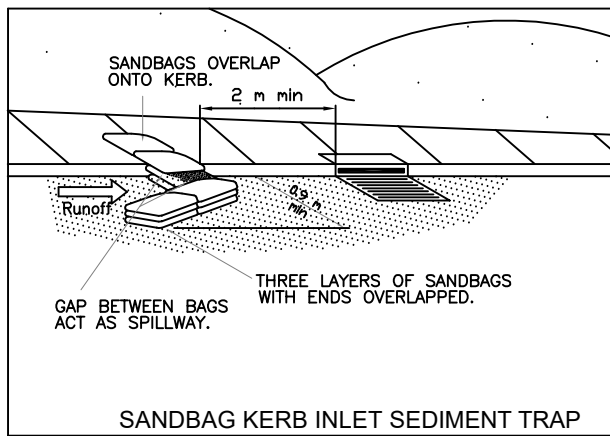
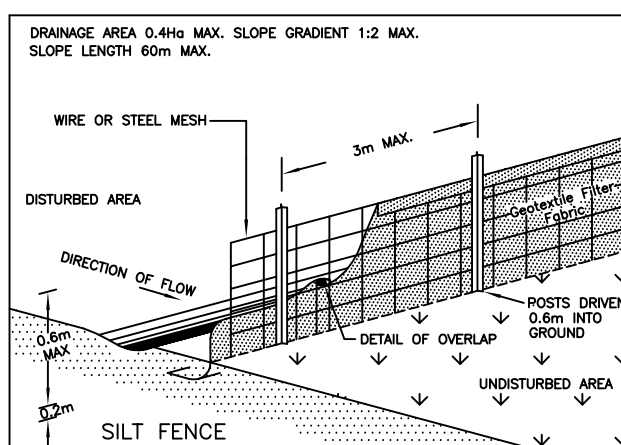
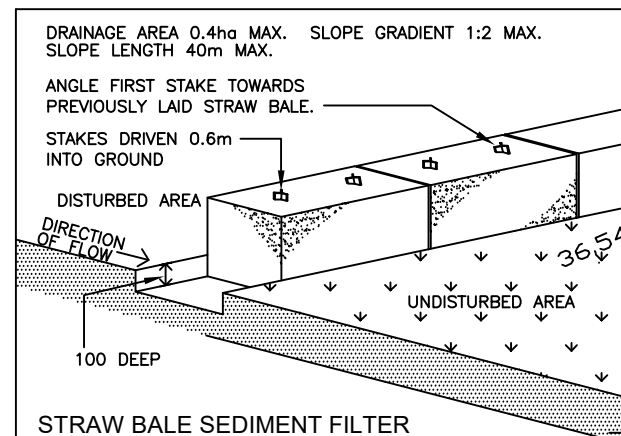
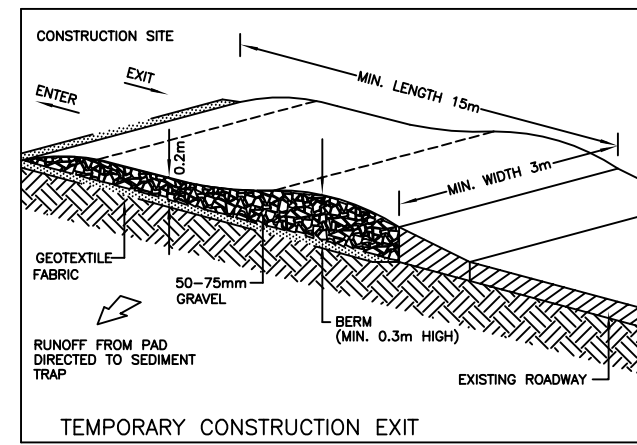
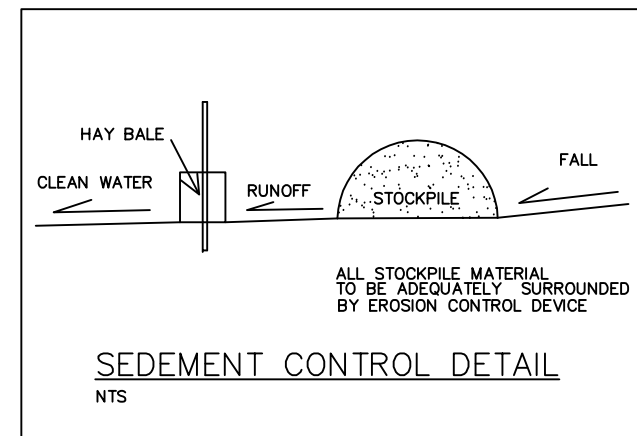
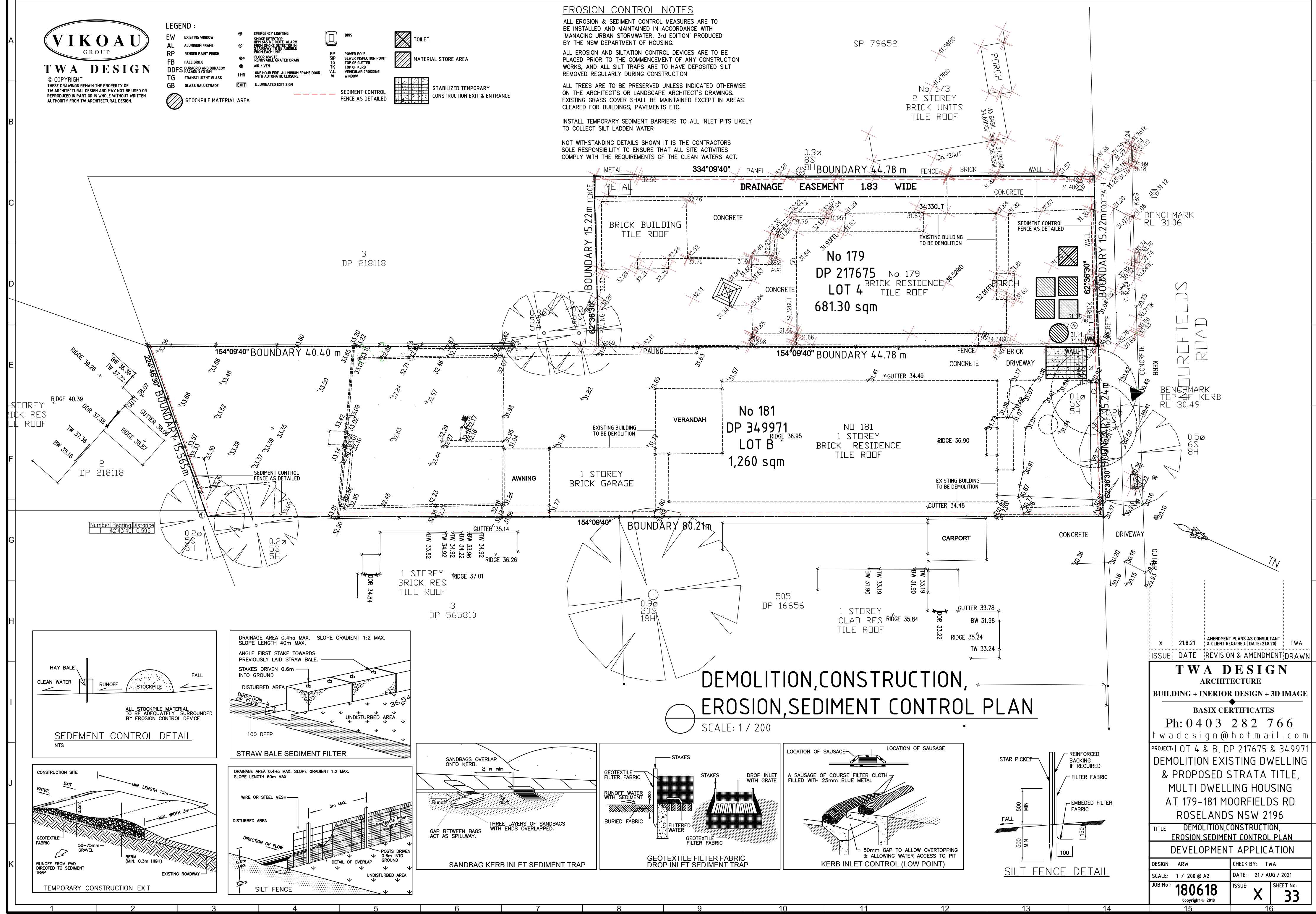
ALL EROSION & SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH 'MANAGING URBAN STORMWATER, 3rd EDITION' PRODUCED BY THE NSW DEPARTMENT OF HOUSING.

ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION

ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS, PAVEMENTS ETC.

INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER

NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.



DEMOLITION, CONSTRUCTION, EROSION, SEDIMENT CONTROL PLAN

SCALE: 1 / 200

X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED (DATE: 21.8.21)	TWA
ISSUE	DATE	REVISION & AMENDMENT	DRAWN

**TWA DESIGN**  
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DEMOLITION EXISTING DWELLING & PROPOSED STRATA TITLE, MULTI DWELLING HOUSING AT 179-181 MOORFIELDS RD ROSELANDS NSW 2196  
TITLE: DEMOLITION, CONSTRUCTION, EROSION, SEDIMENT CONTROL PLAN DEVELOPMENT APPLICATION  
DESIGN: ARW CHECK BY: TWA  
SCALE: 1 / 200 @ A2 DATE: 21 / AUG / 2021  
JOB No: 180618 ISSUE: X SHEET No: 33  
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# SCHEDULE OF MATERIALS AND COLOUR FINISHES

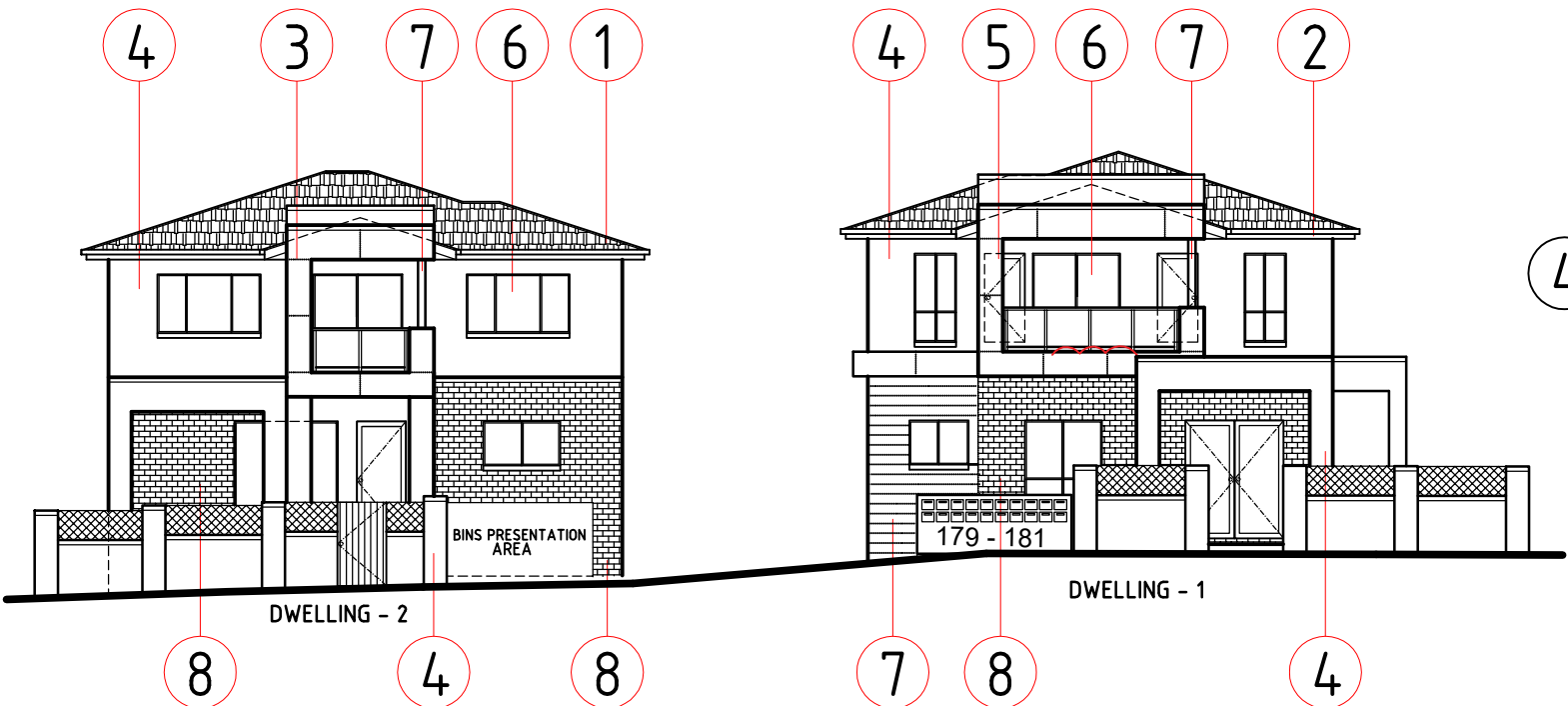
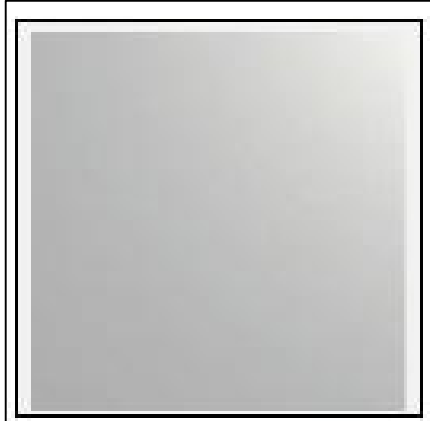
1 VOGUE GREY ROOF TILES  
FROM BORAL



2 WOODLAND GREY- WINDOWS,GUTTER & FASCIA  
FROM COLORBOND STEEL



3 ALUCOBOLD "SUNISE SILVER METALIC"



4 EXTERNAL WALL - OFF WHITE  
FROM DULUX



5 ALUCOBOLD "DULUX IMAGE TONE A356"  
FROM GLIDEROL PANEL LIFT GARAGE DOORS



6 BASALT 'SILVER' WINDOW FRAME  
FROM DOWELL WINDOWS



7 ALUMINUM FRAME  
TIMEBER LOOK FINISH



8 WHITSUNDAY ORPHEUS WITH OFF WHITE  
( IRONED ) MORTAR  
FROM AUSTRAL



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## BCA Notes:

- \* ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO ANY WORK OR FABRICATION
- \* ALL WORK TO BE PERFORMED IN A TRADESMAN LIKE MANNER AND SHALL BE STRICTLY IN ACCORDANCE WITH THE PROVISIONS OF THE AUSTRALIAN STANDARDS, CONDITION OF CONSENT BUILDING CODE OF AUSTRALIA, COMPLY WITH ANY STATUT AUTHORITY HAVING JURISDICTION OVER ANY OF THE PROPOSED WORK, AND ANY REQUIREMENTS SUPPLIERS, FABRICATORS, INSTALLERS OF ALL ITEMS REQUIRED TO COMPLETE THE WORK.
- \* ALL STRUCTURAL DETAILS TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS.
- \* ALL REFERENCES TO THE "BCA" SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIAN - CLASS 1 & CLASS 10 BUILDINGS ( VOLUME 2 )

- \* ALL NEW TIMBERWORK AND FRAMING TO AS 1684 NATIONAL TIMBER FRAMING CODE / BCA PART 3.4
- \* ALL NEW FOOTINGS SHALL BE CONSTRUCTED ON UNDISTURBED MATERIAL OR COMPACTED STRUCTURAL FOUNDATION MATERIAL HAVING SAFE BEARING CAPACITY
- \* ALL NEW FORMWORK TO AS 1509 / AS 1510
- \* ALL NEW CONCRETE SLAB, FOOTING & PILES TO AS 3600 / AS 2870 / BCA 3.2
- \* ALL NEW STEEL REINFORCING BARS TO AS 1302
- \* ALL INSULATION TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1
- \* ALL NEW WET AREA IN ACCORDANCE WITH BCA PART 3.8.1
- \* MECHANICAL VENTILATION TO ALL NEW LAUNDRY & BATH AREAS IN ACCORDANCE WITH BCA PART 3.8.5
- \* ALL NEW GLAZED ASSEMBLIES ( INCL WINDOW & DOORS ) IN ACCORDANCE WITH BCA PART 3.6 / AS1288 / AS2047.
- \* ALL NEW ROOF / WALL CLADDING & GUTTERS / DOWNPIPES IN ACCORDANCE WITH BCA PART 3.5 / AS1562.1
- \* TERMITE BARRIER OR COMBINATION OF BARRIERS, SHALL BE IN ACCORDANCE WITH BCA PART 3.13.3 & 3.13.4 / AS3660

**TWA DESIGN**  
ARCHITECTURE

BUILDING + INERIOR DESIGN + 3D IMAGE

BASIX CERTIFICATES

Ph: 0403 282 766

E: twadesign@hotmail.com

PROJECT LOT 4 & B, DP 217675 & 349971  
DEMOLITION EXISTING DWELLING  
& PROPOSED STRATA TITLE,  
MULTI DWELLING HOUSING  
AT 179-181 MOORFIELDS RD  
ROSELANDS NSW 2196

TITLE  
SCHEDULE OF MATERIALS FINISHES

DEVELOPMENT APPLICATION

DESIGN: ARW CHECK BY: TWA

SCALE: DATE: 29 / SEP / 2021

JOB No: 180618 ISSUE: X2 SHEET No: 34

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LEGEND :

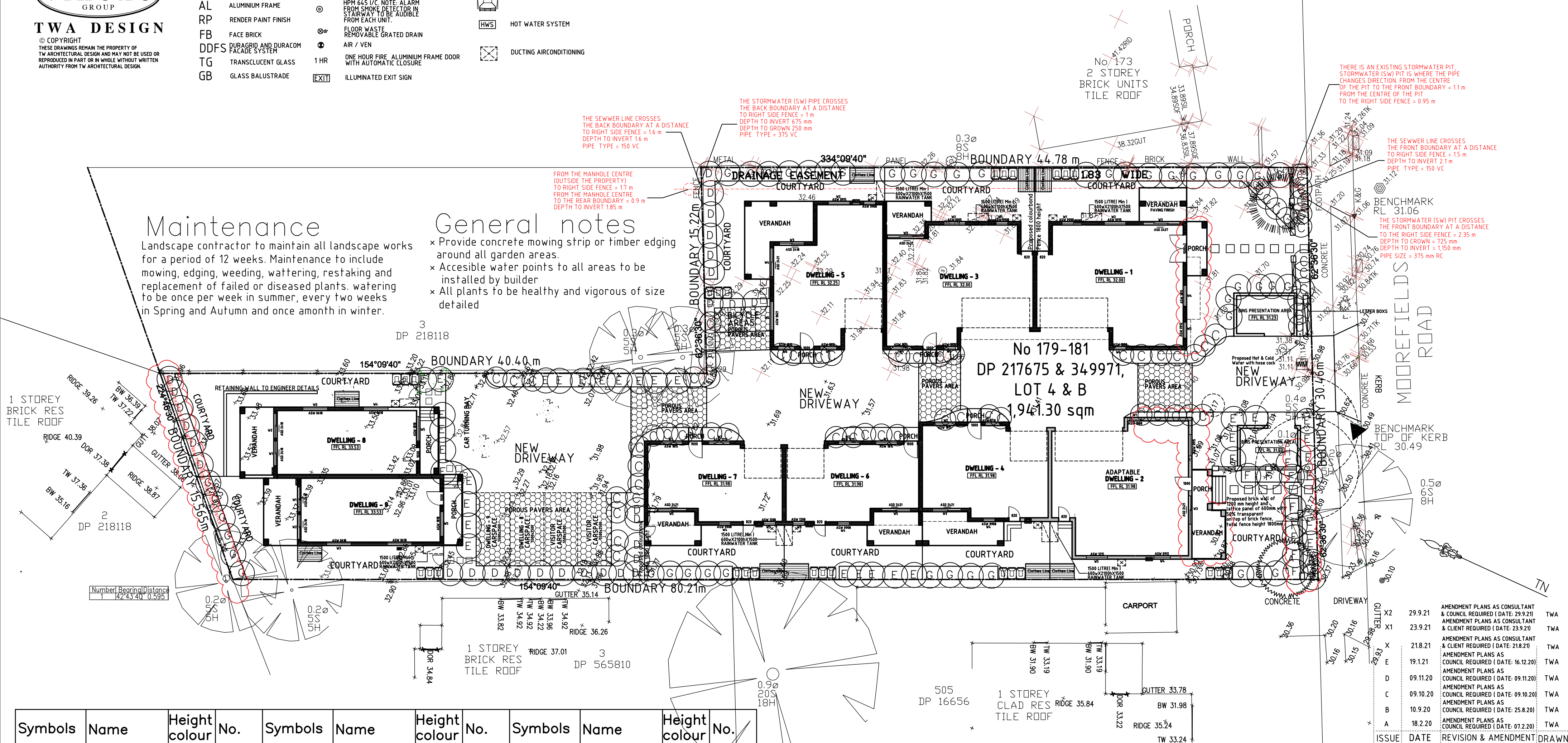
EW	EXISTING WINDOW	⊕	EMERGENCY LIGHTING		BINS
AL	ALUMINUM FRAME	⊙	SMOKE DETECTOR HPM 645 1/C. NOTE: ALARM FROM SMOKE DETECTOR IN STAIRWAY TO BE AUDIBLE FROM EACH UNIT.		HOT WATER SYSTEM
RP	RENDER PAINT FINISH	⊗	FLOOR WASTE REMOVABLE GRATED DRAIN		DUCTING AIRCONDITIONING
FB	FACE BRICK	⊗	AIR / VEN		
DDFS	DURAGRID AND DURACOM FACADE SYSTEM	1 HR	ONE HOUR FIRE. ALUMINUM FRAME DOOR WITH AUTOMATIC CLOSURE		
TG	TRANSLUCENT GLASS		ILLUMINATED EXIT SIGN		
GB	GLASS BALUSTRADE				

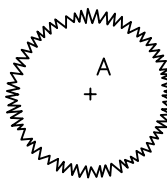
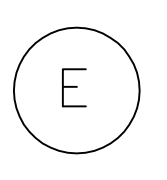
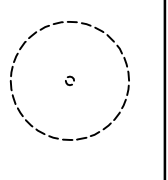
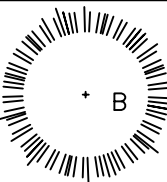
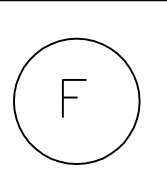


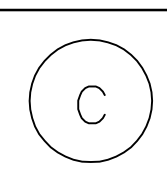
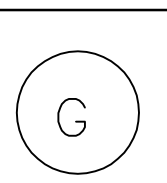

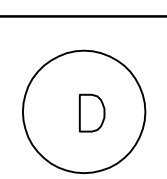
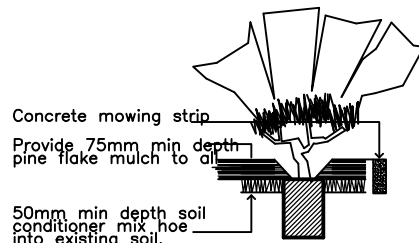
# Maintenance

Landscape contractor to maintain all landscape works for a period of 12 weeks. Maintenance to include mowing, edging, weeding, watering, restaking and replacement of failed or diseased plants. watering to be once per week in summer, every two weeks in Spring and Autumn and once a month in winter.

## General notes

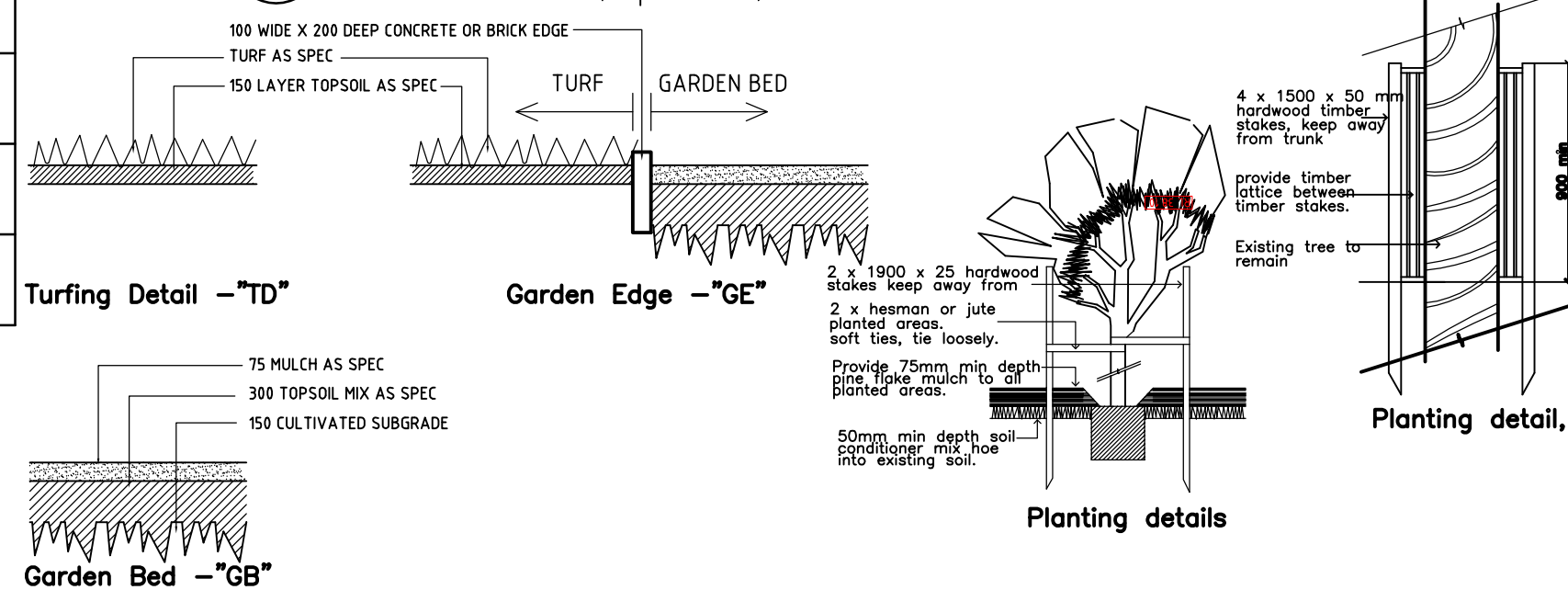
- × Provide concrete mowing strip or timber edging around all garden areas.
- × Accessible water points to all areas to be installed by builder
- × All plants to be healthy and vigorous of size detailed



Symbols	Name	Height colour	No.	Symbols	Name	Height colour	No.	Symbols	Name	Height colour	No.
	EUCALYPTUS LONGIFOLIA	6m	1		PITTOSPORUM REVOLUTUM	1.2m	36		Remove Existing trees		4
	WOOLYBUTT	GREY	75litrs			HAIRY PITTOSPORUM					
	EUCALYPTUS PUNCTATA	6m	1		VIBURNUM ODORATISSIMUM	4m	9		Pine Barkchip Mulch		
	GREY GUM	GREY LEAVES	75litrs			SWEET VIBURNUM				Stencil concrete drive way	
	DIANELLA LONGIFOLIA	0.7m	65		EPACRIS PURURASCENS	1.5m	41		Kikuyu turf OR Winter green couch		
						HEATH					
	PUITENAEA VILLOSA	1.5m	30		Existing trees						
	HAIRY BUSH PEA										

# LANDSCAPE CONCEPT PLAN

SCALE: 1 / 200 - ( Option A )



ISSUE	DATE	REVISION & AMENDMENT	DRAWN
X2	29.9.21	AMENDMENT PLANS AS CONSULTANT & COUNCIL REQUIRED ( DATE: 29.9.21)	TWA
X1	23.9.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 23.9.21)	TWA
X	21.8.21	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 21.8.21)	TWA
E	19.1.21	COUNCIL REQUIRED ( DATE: 16.12.20)	TWA
D	09.11.20	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 09.11.20)	TWA
C	09.10.20	COUNCIL REQUIRED ( DATE: 09.10.20)	TWA
B	10.9.20	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 25.8.20)	TWA
A	18.2.20	AMENDMENT PLANS AS CONSULTANT & CLIENT REQUIRED ( DATE: 07.2.20)	TWA

**TWA DESIGN**  
ARCHITECTURE  
BUILDING + INTERIOR DESIGN + 3D IMAGE

**BASIX CERTIFICATES**  
**Ph: 0403 282 766**  
**twadesign@hotmail.com**  
**PROJECT: LOT 4 & B, DP 217675 & 349971**  
**DEMOLITION EXISTING DWELLING**  
**& PROPOSED STRATA TITLE,**  
**MULTI DWELLING HOUSING**  
**AT 179-181 MOORFIELDS RD**  
**ROSELANDS NSW 2196**

TITLE	SITE & GROUND FLOOR PLAN AND STREETSCAPE
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DEVELOPMENT APPLICATION			
DESIGN: ARW		CHECK BY: TWA	
SCALE: 1 / 200 @ A2		DATE: 29 / SEP / 2021	
JOB No: <b>180618</b> Copyright © 2018		ISSUE: <b>X2</b>	SHEET No: <b>35</b>