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			T. FOLLETT & L. BARTLETT		<div>JOB NO:</div> <div>21E2327</div>					
			DRAWING TITLE:		<div>DRAWN:</div> <div>N. DRAPER</div>					
			SITE PLAN - SCALE 1:200		<div>DATE:</div> <div>13/3/21</div>					

22690

6480

10900

1780

3530

ALFRESCO

240

3000

90

90

510

2700

90

240

5520

2600

90

1600

90

2300

1300

240

240

2510

180

2100

90

1800

90

3440

240

240

90

2000

240

1440

90

500

5990

5090

1930

90

510

90

RA

LINEN

DINING/KITCHEN

PASSAGE/ENTRY

KITCHEN

LAUNDRY

PANTRY

WIR

ENSUITE

ENSUITE

BED 1

BED 4

ROBE

ACTIVITY

FAMILY/DINING

ENSUITE

ENTRY

PORCH

ELEVATION B

ELEVATION C

Floor plan of the second floor showing room layouts and dimensions. The plan includes a large central hall (11600 x 6590) with a fireplace, a family/dining area (4330 x 240), a bathroom, and several bedrooms (BED 2, BED 3, BED 4). Other areas include a robe, a passage, a linen closet, and a family/dining area. The overall dimensions are 11600 by 6590.

[illegible]

ELEVATION D

ELEVATION A

Floor plan of the first floor. The layout includes a front porch (1440) leading into a garage (6470). The main living area consists of a large living room (22690) with a fireplace, a media room (4000), and a dining area (2700). The kitchen (3230) is located at the rear, adjacent to a breakfast room (1800) and a bathroom (900). A central hallway (900) provides access to a robe closet (900) and a WC (900). The plan also shows a second bedroom (BED 2) and a third bedroom (BED 3). The total area is 14280.

● SMOKE DETECTOR IN ACCORDANCE WITH A.S. 3786
SMOKE DETECTOR MUST BE INTERCONNECTED WHERE
THERE IS MORE THAN 1No. ALARM

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

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 BUILDER SIGNED: DATE:

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FLOOR PLAN - SCALE 1:100

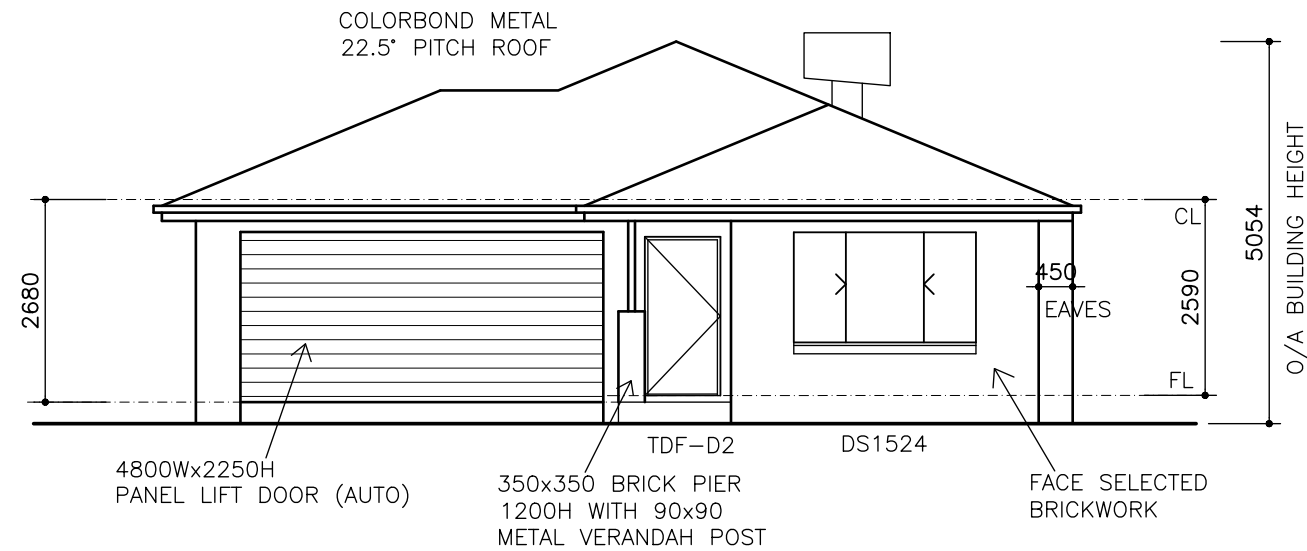
PROJECT: Proposed New Residence

LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW

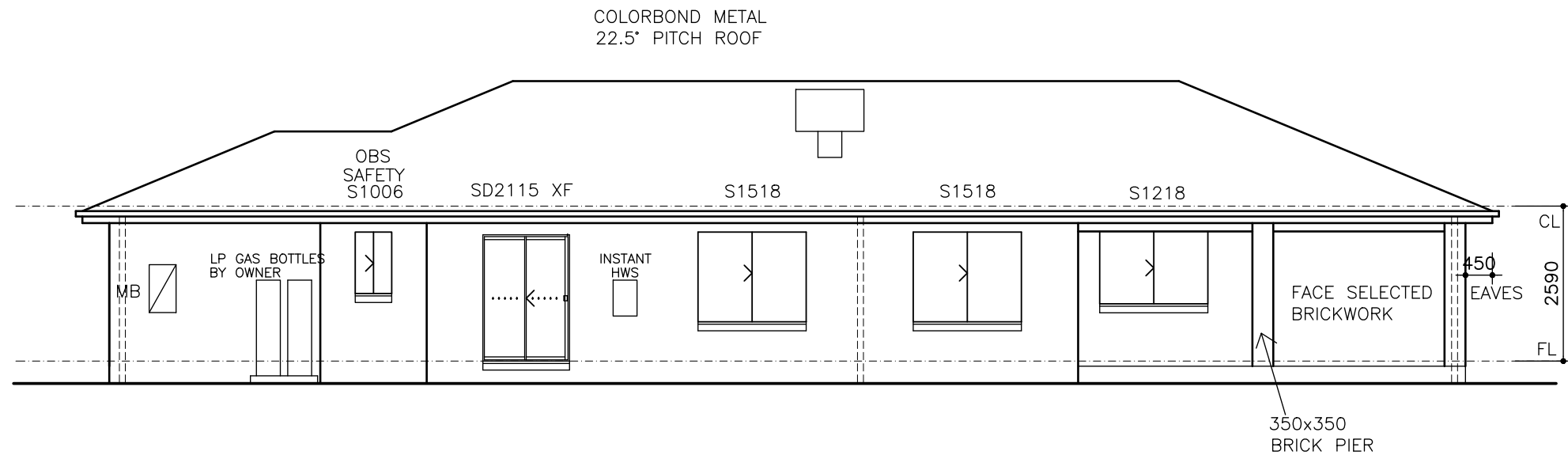
PAGES:	SHEET SIZE
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JOB NO: 21E2327	
DRAWN: N. DRAPER	
DATE: 13/3/21	

FLOOR AREAS:	
INTERNAL:	162.00 m ²
GARAGE:	37.07 m ²
PORCH:	2.14 m ²
ALFRESCO:	19.44 m ²
TOTAL:	220.65 m²

REV:	DETAILS:	DATE:



ELEVATION A



ELEVATION B

PROVIDE FLY SCREENS TO ALL OPENABLE
WINDOWS & DOORS

CONTROL JOINTS AS PER ENGINEER'S
DESIGN

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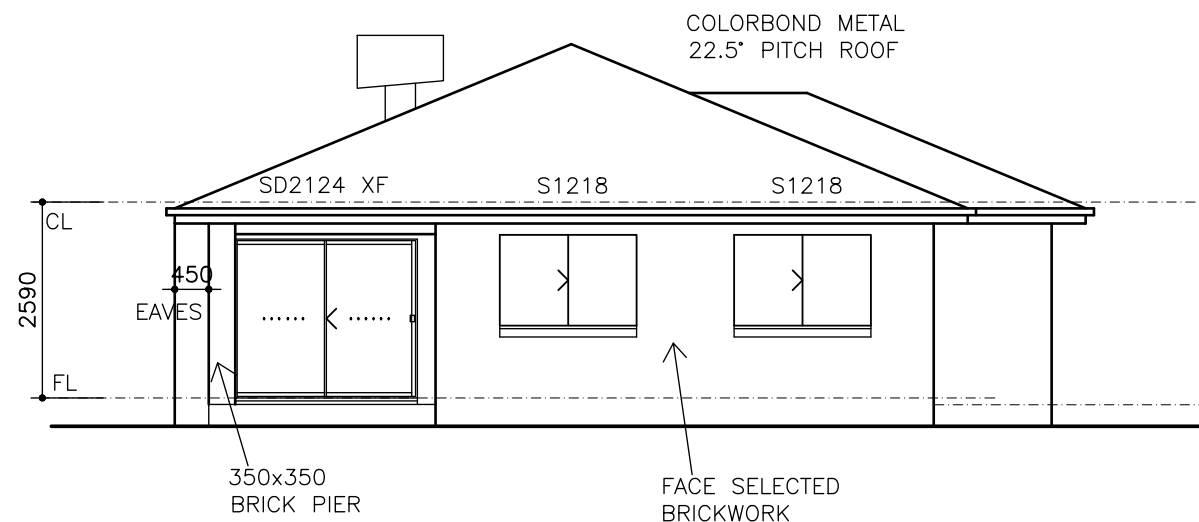
CLIENT:
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DRAWING TITLE:
ELEVATION - SCALE 1:100

PROJECT: Proposed New Residence
**LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW**

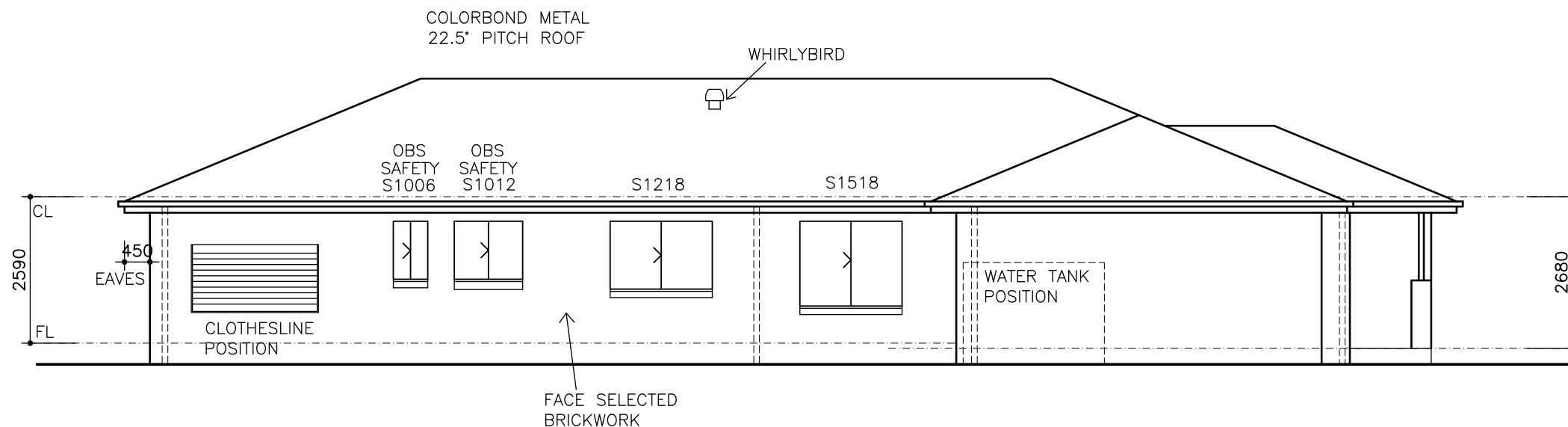
PAGES: 3 OF 10
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JOB NO: **21E2327**
DRAWN: **N. DRAPER**
DATE: 13/3/21

FLOOR AREAS:
INTERNAL:
GARAGE:
VERANDAH:
PORCH:
TOTAL:

REV.	DETAILS:	DATE:



ELEVATION C



ELEVATION D

PROVIDE FLY SCREENS TO ALL OPENABLE
WINDOWS & DOORS

CONTROL JOINTS AS PER ENGINEER'S
DESIGN

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LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW

PAGES: 4 OF 10
SHEET SIZE: A3
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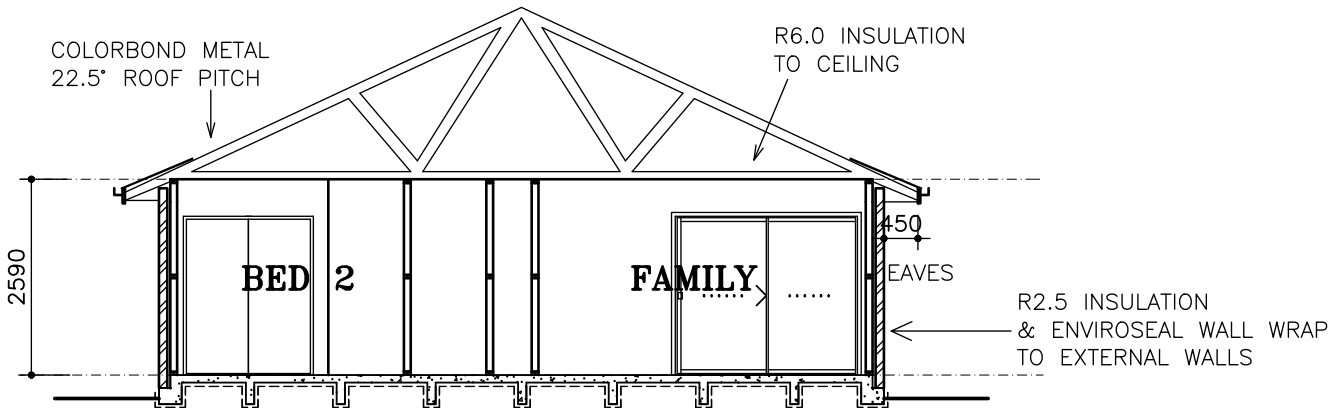
FLOOR AREAS:
INTERNAL:
GARAGE:
VERANDAH:
PORCH:
TOTAL:

REV	DETAILS	DATE

WINDOW SCHEDULE

WINDOWS SUPPLIED BY: DLG WINDOWS

WINDOW CODE	WINDOW SIZE	GLAZING	QUANTITY
S1524	1500Hx2410W	SINGLE GLAZING CLEAR	1
S1006	1000Hx610W	SINGLE GLAZING OBSCURE/SAFETY	2
SD2115 XF	2100Hx1450W	SINGLE GLAZING CLEAR	1
S1518	1500Hx1810W	SINGLE GLAZING CLEAR	3
SD2124 XF	2100Hx2410W	SINGLE GLAZING CLEAR	1
S1218	1200Hx1810W	SINGLE GLAZING CLEAR	4
S1012	1000Hx1210W	SINGLE GLAZING OBSCURE/SAFETY	1



SEE ENGINEERS DETAIL FOR FLOOR SLAB CONSTRUCTION.

SECTION

NOTES:

ROOF TRUSSES AND PRE FABRICATED WALLS TO MANUFACTURERS DETAILS.

ALL STRUCTURAL TIMBER SIZES TO BE IN ACCORDANCE WITH AS1684 NATIONAL TIMBER FRAMING CODE.

PROVIDE HOMEGUARD BLUE PHYSICAL BARRIER PART A & B FULL PENETRATION & PERIMETER PROTECTION INCLUDED.

ENERGY EFFICIENCY DETAILS

INSULATION	<ul style="list-style-type: none">– R2.5 BATTS TO WALLS & SISALATION TO EXTERNAL WALLS (EXCLUDING GARAGE).– R2.5 BATTS TO WALLS BETWEEN HOUSE & GARAGE.– R6.0 INSULATION ROOF BATTS TO CEILING SPACE, INCLUDING VERTICAL BULKHEADS– SISALATION TO UNDERSIDE OF ROOFING MATERIAL.
ROOFING	<ul style="list-style-type: none">– DARK COLOURED COLORBOND CUSTOM ORB ROOF SHEETS 22.5° PITCH
CEILING INSULATION PENETRATION ALLOWANCE AS PER MANUFACTURERS INSTALLATION SPECIFICATIONS	<ul style="list-style-type: none">– LED DOWNLIGHTS 150mm– IXL TASTICS 330mm– EXHAUST FANS 250mm– FLUES AS PER PLAN <p>ALL DOWNLIGHTS TO BE UNVENTED</p>

WEATHERSEAL ALL DOORS & WINDOWS AS REQUIRED BY THE CURRENT EDITION OF THE BCA.

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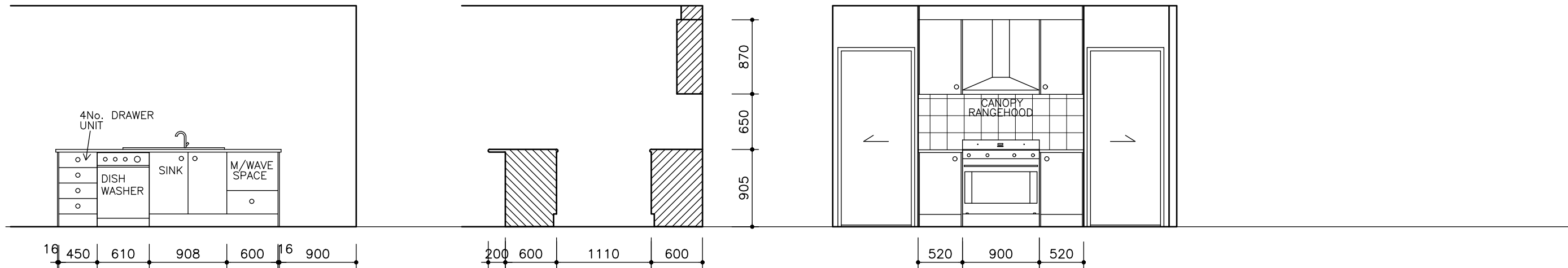
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T. FOLLETT & L. BARTLETT
DRAWING TITLE:
SECTION - SCALE 1:100

PROJECT: Proposed New Residence
LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW

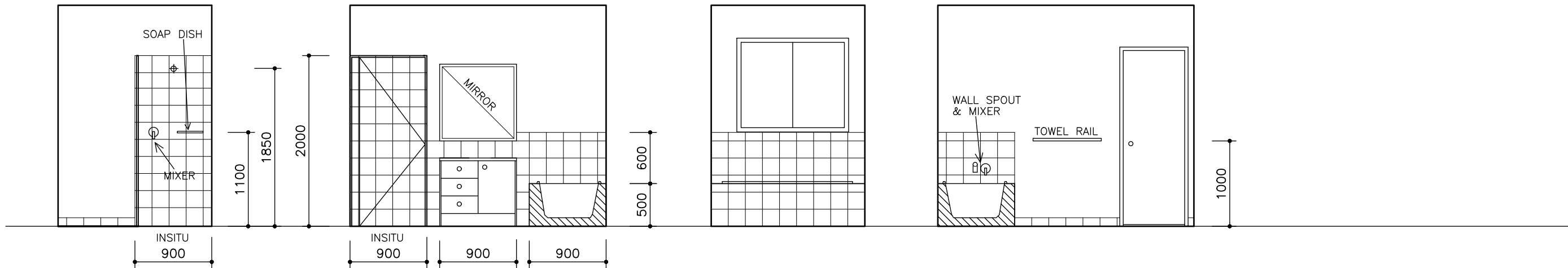
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JOB NO: 21E2327
DRAWN: N. DRAPER
DATE: 13/3/21

FLOOR AREAS:
INTERNAL:
GARAGE:
VERANDAH:
PORCH:
TOTAL:

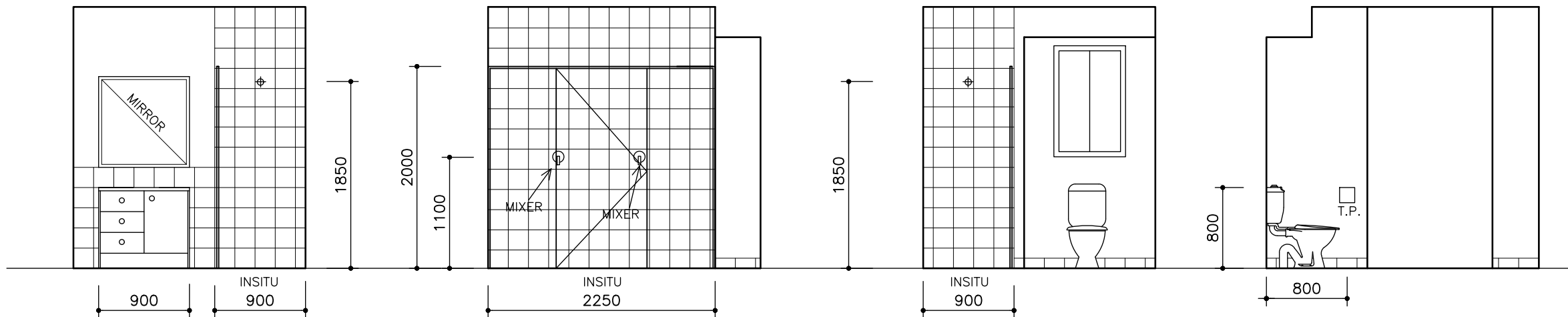
REV: DETAILS: DATE:



KITCHEN
SCALE 1:50



BATHROOM

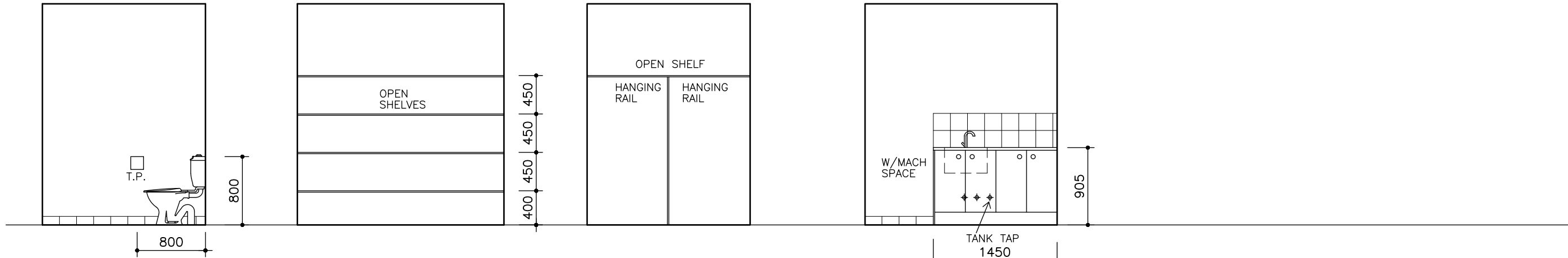


ENSUITE

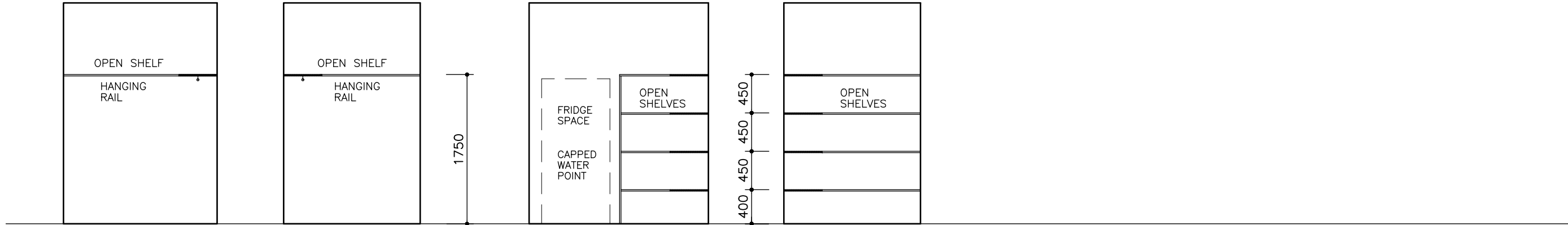
ITEM	HEIGHT
TOILET PAPER	800mm
TOWEL RAILS	1000mm

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OWNER SIGNED: DATE:
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WC LINEN ROBE LAUNDRY



WIR PANTRY

ITEM	HEIGHT
TOILET PAPER	800mm
TOWEL RAILS	1000mm

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DRAWING TITLE:
INTERNAL ELEVATIONS -

PROJECT: Proposed New Residence

LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW

PAGES: 7 OF 10

SHEET SIZE: A3

JOB NO: 21E2327

DRAWN: N. DRAPER

DATE: 13/3/21

FLOOR AREAS:

INTERNAL:
GARAGE:
VERANDAH:
PORCH:
TOTAL:

REV:

DETAILS:

DATE:

ELECTRICAL LEGEND

- – LIGHT POINT
- – LED DOWNLIGHT POINT
- ⊙ – ROUND FLURO LIGHT POINT
- ⊗ – PENDANT LIGHT POINT
- ⊕ – WALL MOUNTED LIGHT POINT
- ☛ – SPOTLIGHT POINT

— — FLUORESCENT LIGHT POINT

- ◀ – SINGLE POWER POINT
- ◀◀ – DOUBLE POWER POINT

NOTE: POWER POINTS LOCATED TO VANITY BASINS TO BE 1300mm ABOVE FLOOR LEVEL

- ◀◀ – EXTERNAL WEATHERPROOF DOUBLE POWER POINT
- ◀ – EXTERNAL WEATHERPROOF SINGLE POWER POINT

- – SMOKE DETECTOR
(Installed as per part 3.7.2 of the NCC & to comply with AS 3786)
Smoke Detectors must be interconnected where there is more than 1No. alarm.

- ⊕ – EXHAUST FAN

TV – TELEVISION POINT

TEL – TELEPHONE POINT

D/BELL – DOOR BELL ELECTRIC

NBN – NBN LEAD IN CABLE & BOX

⊕ – 4 GLOBE HEAT LAMP

⊕ – 2 GLOBE HEAT LAMP

☛ – CEILING FAN WITH LIGHT (CLIENT SUPPLIED)

PROVIDE 1No. SWITCHBOARD WITH 2 RCD's (circuit breakers)

PROVIDE EVAPORATIVE COOLING UNIT (UNITS/MODELS TO BE CONFIRMED).

PROVIDE DUCTED HEATING UNIT (UNITS/MODELS TO BE CONFIRMED).

PROVIDE TV ANTENNA.

PROVIDE NBN LEAD IN CABLE & BOX IN GARAGE.

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T. FOLLETT & L. BARTLETT

DRAWING TITLE:

ELECTRICAL LAYOUT - SCALE 1:100

PROJECT: Proposed New Residence

LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW

PAGES: 8 OF 10

SHEET SIZE: A3

JOB NO: 21E2327

DRAWN:
N. DRAPER

DATE: 13/3/21

FLOOR AREAS:

INTERNAL:
GARAGE:
VERANDAH:
PORCH:

TOTAL:

REV: DETAILS:

DATE:

NOTE: ALL INSITU SHOWERS TO BE GRADED TO WASTE AREA.


The site plan shows a rectangular building labeled "WAFFLE POD TO ENGINEERS DESIGN" with overall dimensions of 22690 by 11600. The plan includes various rooms and features with their dimensions and locations:

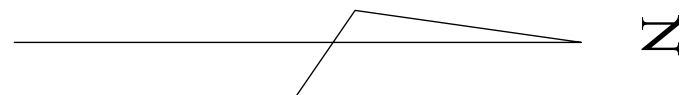
- Top Section:**
 - Dimensions: 6480, 10900, 1780, 3530.
 - Features: DP (Drainage Point), TAP, INSTANT HWS (Instant Hot Water Shower), LP GAS BOTTLES BY OWNER, MB (Main Building), DP.
 - Room: 90mm STEPDOWN (6050 x 3000).
- Bottom Section:**
 - Dimensions: 14280, 6470, 500, 1440.
 - Features: DP, CLOTHESLINE POSITION, DP, DP, 3000L TANK, PUMP, TANK, TAP.
 - Room: 90mm STEPDOWN (6320 x 5830).
- Right Section:**
 - Dimensions: 4070, 1490, 5590, 11600.
 - Features: DP, 90mm STEPDOWN.
- Left Section:**
 - Dimensions: 11600, 6590, 1560.
 - Features: TAP, DP.

The plan also shows a central area labeled "WAFFLE POD TO ENGINEERS DESIGN" and a "90mm STEPDOWN" area in the center.

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			T. FOLLETT & L. BARTLETT		9 OF 10	A3			
			DRAWING TITLE:		JOB NO: 21E2327	INTERNAL:			
			SLAB LAYOUT - SCALE 1:100		DRAWN: N. DRAPER	GARAGE:			
					DATE: 13/3/21	TOTAL:	PORCH:		

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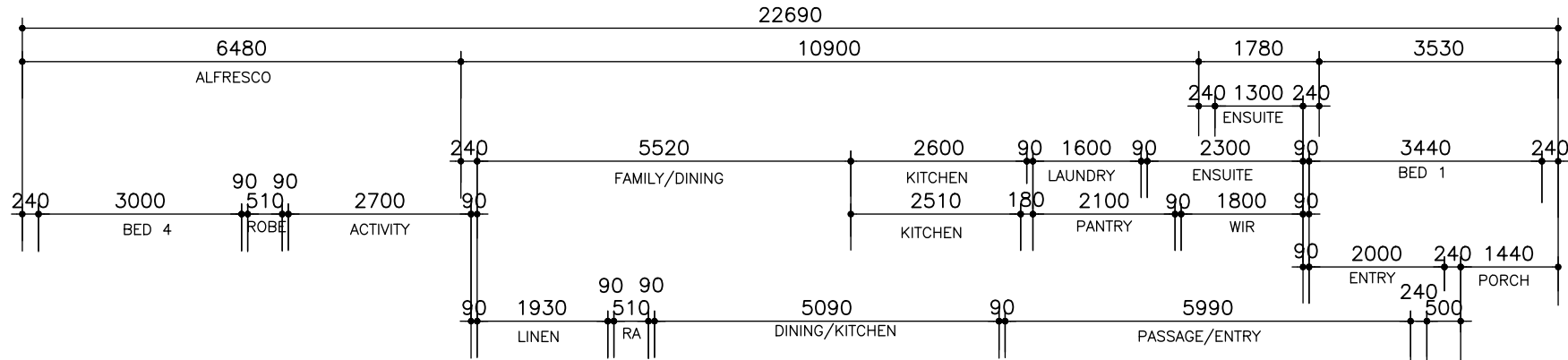
GENERAL NOTES FOR RESIDENTIAL WORKS											
(NCC 2019)											
GN01	FIGURED DIMENSION TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.	GN18	SITE SPECIFIC NOTES FOR THE CONSTRUCTION OF THIS DWELLING TO BE APPLIED TO THE SUBSEQUENT DOCUMNETATION PAGES.	GN40		DENOTES LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S 3786 AND PART 3.7.2 OF NCC 2019 AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1,2 OR 3 BUILDING OF A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRED WITH A BATTERY BACKUP. IF MORE THAN 1No. SMOKE ALARM, ALARMS MUST BE INTERCONNECTED.					
GN02	THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS STUDY FOR CLARIFICATION.	GN19	THE GROUND SURFACE SHALL BE GRADED AWAY FROM THE SLAB TO A MINIMUM 1:20 TO ENSUITE DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING AREA AS PER AS2870								
GN03	ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2019 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (as amended) REFERRED TO THEREIN.	GN20	HWS SERVICE & SURFACE DRAINS TO BE CONNECTED INTO STORMWATER & DIRECTED TO CONNECTION VIA 90mm PVC PIPES AS PER LOCAL AUTHORITIES REQUIREMENTS	GN41		BUILDING TIE–DOWNS TO BE PROVIDED IN ACCORDANCE WITH AS 1684–2010 FOR AN ASSUMED DESIGN GUST WIND SPEED/ WIND CLASSIFICATION OF 33 M/S (SUBJECT TO CONFIRMATION ON SITE BY RELEVANT BUILDING SURVEYOR AT FIRST INSPECTION) REFER TO AS1684 FOR CONSTRUCTION					
GN04	ALL MATERIALS AND WORK PRACTICES SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE NCC.	GN21	DOWNPIPES TO BE LOCATED MAXIMUM 12M APART. GUTTERS SLOTTED TO MAKE PROVISION OF OVERFLOWS AS PER NCC PART 3.5.2								
GN05	THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.	GN22	ALL BRICKWORK TO BE IN ACCORDANCE WITH AS3700 & AS4773.1	GN42		ALL TREADS, LANDINGS AND THE LIKE TO HAVE NON SLIP FINISH OF SUITABLE NON–SKID STRIP NEAR EDGE OF NOSING.					
GN06	TERMITE PROTECTION IS TO BE FULL PHYSICAL BARRIER PROTECTION TO ALL RESIDENTIAL BUILDINGS IN ACCORDANCE WITH NCC PART 3.1.3 & AS 3660.1	GN23	UNREINFORCED MASONRY IS TO COMPLY WITH NCC REQUIREMENTS PART 3.3.1	GN43		PROVIDE BALUSTRADES WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BALUSTRADES TO BE:– 1000mm MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND 865mm MIN. ABOVE FINISHED LEVEL OF STAIR NOSING OR RAMP, AND VERTICAL WITH A 125mm MAXIMUM GAP BETWEEN, AND ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.					
GN07	ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.	GN24	PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CENTRES IN EACH DIRECTION & WITHIN 300mm OF ARTICULATION JOINTS								
GN08	ALL SEWER, SEPTIC/SAND FILTER AND/OR ALL WASTE TREATMENT SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS	GN25	ALL FRAMING TO BE IN ACCORDANCE WITH AS1684								
GN09	INSTALLATION OF THE SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS	GN26	ALL TIE DOWN, CONNECTIONS & BRACING SHALL COMPLY WITH AS1684	GN44		HANDRAILS TO BE 865mm MINIMUM ABOVE STAIR NOSINGS AND LANDINGS.					
GN10	THE BUILDER SHALL PROVIDE A SITE SIGN INDICATING BUILDER, SITE ADDRESS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS.	GN27	ALL PLUMBING & DRAINAGE WORKS TO COMPLY WITH AS3500								
GN11	THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO MAINTAIN SITE IN A CLEAN AND SAFE CONDITION INCLUDING CONTAINMENT OF RUBBISH AND DISCHARGE. SANITARY FACILITIES AREA TO BE PROVIDED ON SITE FOR WORK PERSONS.	GN28	BUILDING FABRIC THERMAL INSULATION TO COMPLY WITH NCC 3.12.1.1								
GN12	FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES	GN29	DUCT WORK TO COMPLY WITH NCC 3.12.5.3 FOR HEATING & COOLING								
GN13	SITE PLAN MEASUREMENTS IN METRES – ALL OTHER MEASUREMENTS IN MILLIMETRES O.N.O.	GN30	LIFT OFF HINGED DOOR TO WCs WHEN DOOR SWING IS WITHIN 1200mm OF TOILET PAN								
GN14	PRIOR TO SET OUT OR COMMENCEMENT OF WORKS THE TITLE BOUNDARIES ARE TO BE LOCATED BY EITHER: 1) LOCATING AND MARKING EXISTING PEGS 2) OBTAINING A RE–ESTABLISHMENT SURVEY BY A LICENSED LAND SURVEYOR NOTE: EXISTING FENCES/BUILDINGS SHALL NOT BE USED FOR SETOUT PURPOSES. NOTE: ESTABLISHMENT OF SITE BOUNDARIES IS THE RESPONSIBILITY OF OWNER	GN31	EXHAUST FANS COMPLYING WITH AS1668.2 TO BE INSTALLED AS PER NCC PART 2.4.5 & TO HAVE SELF CLOSING DAMPERS								
GN15	PROVIDE TEMPORARY FENCING (AS PER COUNCIL REQUIREMENTS)	GN32	WATERPROOFING TO ALL WET AREAS TO IN ACCORDANCE WITH AS3740								
GN16	EARTHWORKS AND EXCAVATIONS SHALL BE AS REASONABLY NECESSARY TO FULFIL THE INTENT OF THE DESIGN. EXCAVATIONS BEYOND THE SCOPE OF THESE DOCUMENTS OR IN PROXIMITY TO TITLE BOUNDARIES SHALL BE REFERRED TO THE RELEVANT BUILDING SURVEYOR FOR APPROVAL PRIOR TO COMMENCEMENT OF WORKS.	GN33	ALL GLAZING TO BE IN ACCORDANCE WITH AS1288								
GN17	THE BUILDER AND SUBCONTRACTORS SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWER PIPES TO AUSTRALIAN STANDARDS/NCC	GN34	LIGHT & VENTILATION MUST BE PROVIDED TO ALL HABITABLE ROOMS AS PER THE NCC PART 3.8.4 & PART 3.8.5								
		GN35	PROVIDE RESTRICTIVE WINDERS OF 125mm MAX TO ALL OPENABLE BEDROOM WINDOWS WHERE THE FLOOR BENEATH IS MORE THAN 2M ABOVE SURFACE BENEATH								
		GN36	SAFETY GLAZING TO BE USED IN THE FOLLOWING CASE:– 1) ALL ROOMS –WITHIN 500mm VERTICAL OF FLOOR LEVEL 11) BATHROOMS –WITHIN 2000mm VERTICAL FROM BATH BASE –WITHIN 2000mm HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES 111) LAUNDRY –WITHIN 1200mm VERTICAL FROM FLOOR LEVEL AND/OR WITHIN 300mm VERTICAL OF TROUGH 1V) DOORWAY –WITHIN 300mm HORIZONTAL FROM ALL DOORS V) ENSUITE –WITHIN 2000mm VERTICAL FROM BATH BASE –WITHIN 2000mm HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES								
		GN37	WINDOW SIZES AREA NOMINAL ONLY ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.								
		GN38	REFER TO THERMAL PERFORMANCE ASSESSORS REPORT FOR WINDOW FRAME & GLAZING SPECIFICATIONS								
		GN39	WINDOWS COMPLY WITH AS2047 FOR AIR INFILTRATION AS REQUIRED BY NCC PART 3.12.3.3								
<div><div></div><div>I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED. OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:</div></div>											
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			T. FOLLETT & L. BARTLETT		10 OF 10	A3					
			DRAWING TITLE:		JOB NO:	21E2327					
			NOTES -		DRAWN:	N. DRAPER					
					DATE:	13/3/21	TOTAL:				



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			DRAWING TITLE: SITE PLAN - SCALE 1:200		JOB NO: 21E2327 DRAWN: N. DRAPER DATE: 13/3/21				

NOTE: TOILET DOOR TO BE PROVIDED WITH REMOVABLE HINGES – ON ALL WC WITH INTERNAL LENGTH OF 1900mm OR LESS.

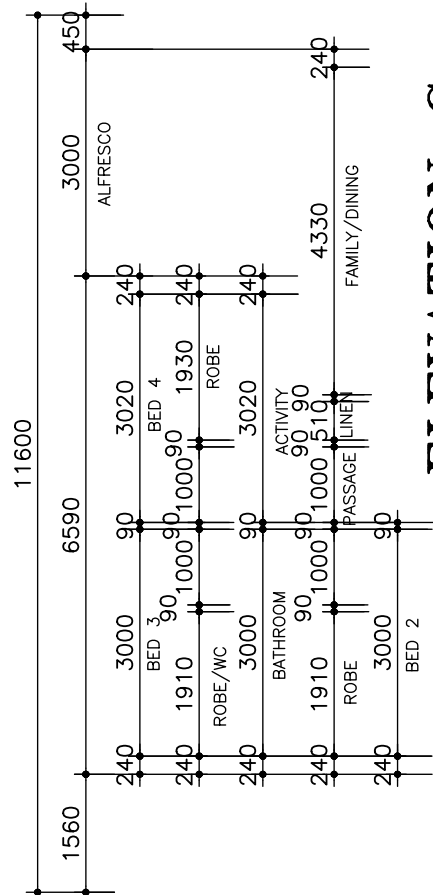


79m2 VINYL PLANK FLOORING (MAIN FLOOR)

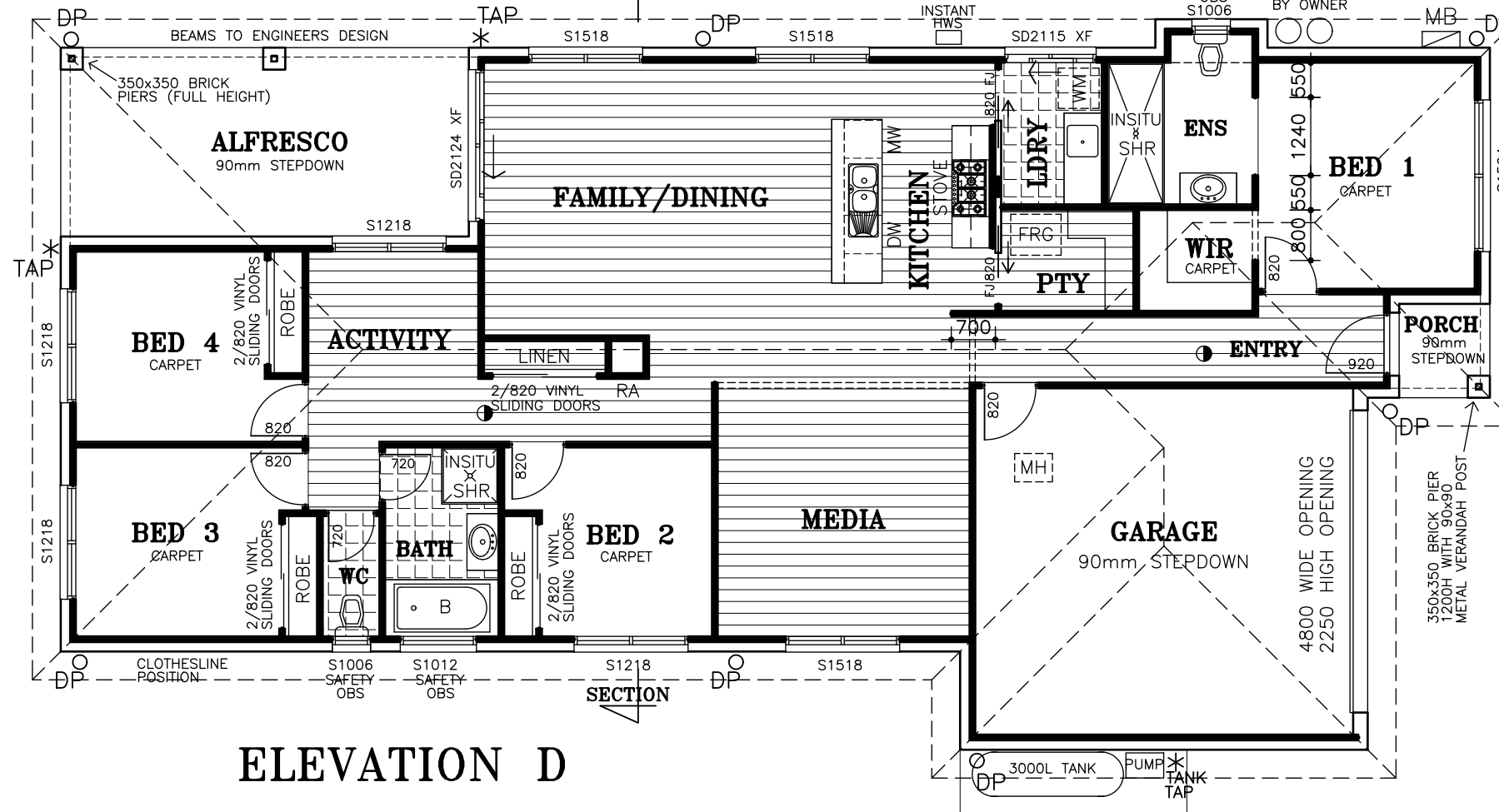
ELEVATION B

SECTION

SECTION

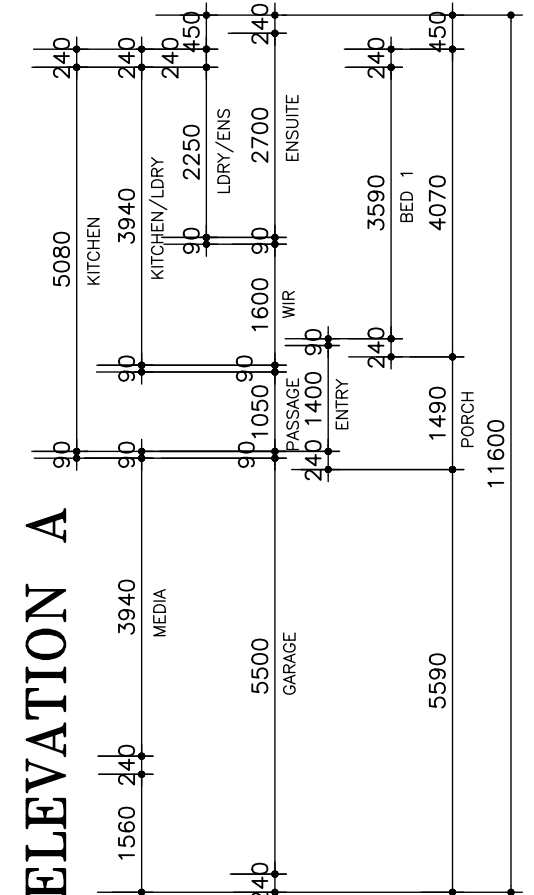


ELEVATION C



ELEVATION D

ELEVATION A



NOTES:- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS
EXTERNAL 240mm B/VENEER –INTERNAL 90mm TIMBER STUD
STEPS/STAIRS TREADS MIN 250mm RISERS MAX 190mm
HANDRAILS & BALUSTRADING 1000mm MIN HIGH
BALUSTERS MAX 125mm SPACING
ALL WINDOWS TO BE SET AT 2155mm O/A HEAD UNLESS
NOMINATED OTHERWISE/IF BRICKWORK OVER, ADJUST HEAD
HEIGHT TO WITHIN 5–10mm OF LINTEL
REFER TO ALL ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

SMOKE DETECTOR IN ACCORDANCE WITH A.S. 3786
SMOKE DETECTOR MUST BE INTERCONNECTED WHERE
THERE IS MORE THAN 1No. ALARM

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CLIENT:
T. FOLLETT & L. BARTLETT

DRAWING TITLE:
FLOOR PLAN - SCALE 1:100

PROJECT: Proposed New Residence

LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW

PAGES: 2 OF 10
SHEET SIZE: A3

JOB NO: 21E2327

DRAWN:
N. DRAPER

DATE: 13/3/21

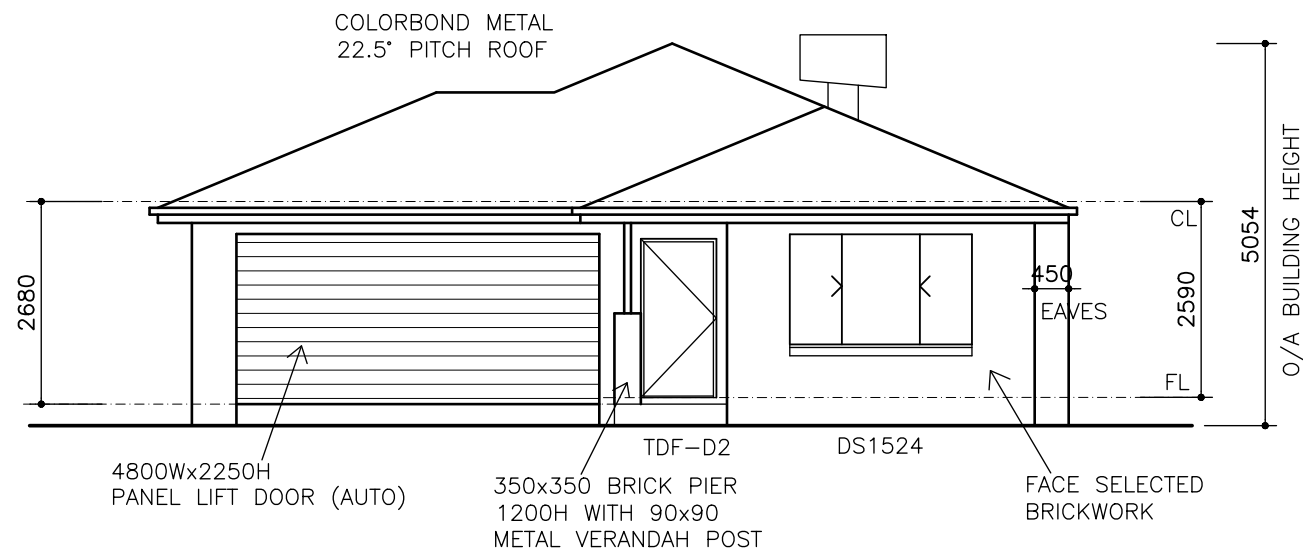
FLOOR AREAS:

INTERNAL: 162.00 m²
GARAGE: 37.07 m²
PORCH: 2.14 m²
ALFRESCO: 19.44 m²

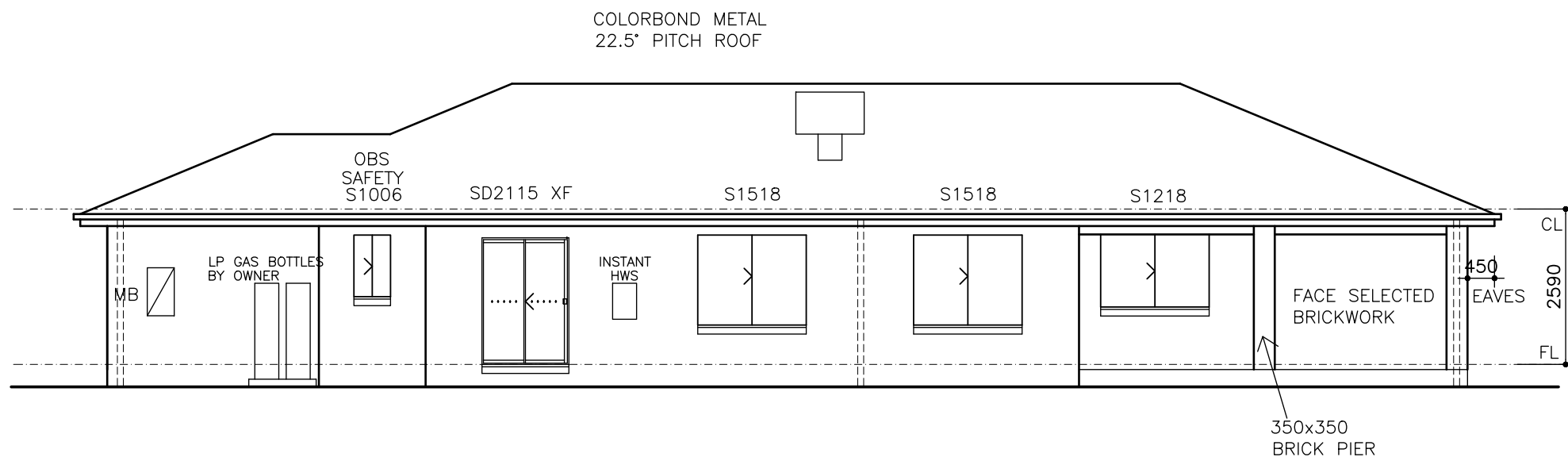
TOTAL: 220.65 m²

REV: DETAILS:

DATE:



ELEVATION A



ELEVATION B

PROVIDE FLY SCREENS TO ALL OPENABLE
WINDOWS & DOORS

CONTROL JOINTS AS PER ENGINEER'S
DESIGN

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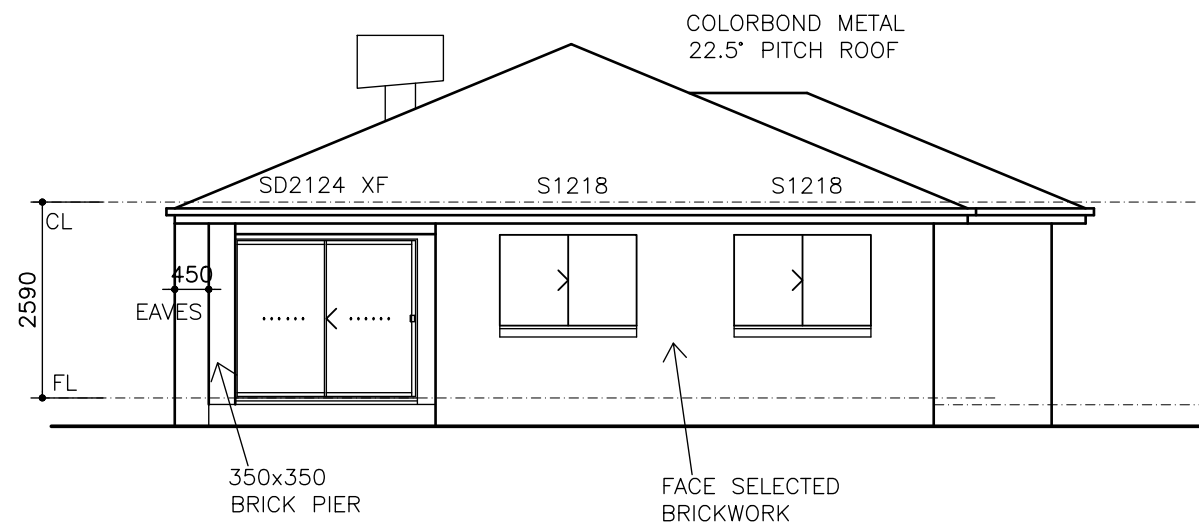
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T. FOLLETT & L. BARTLETT
DRAWING TITLE:
ELEVATION - SCALE 1:100

PROJECT: Proposed New Residence
**LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW**

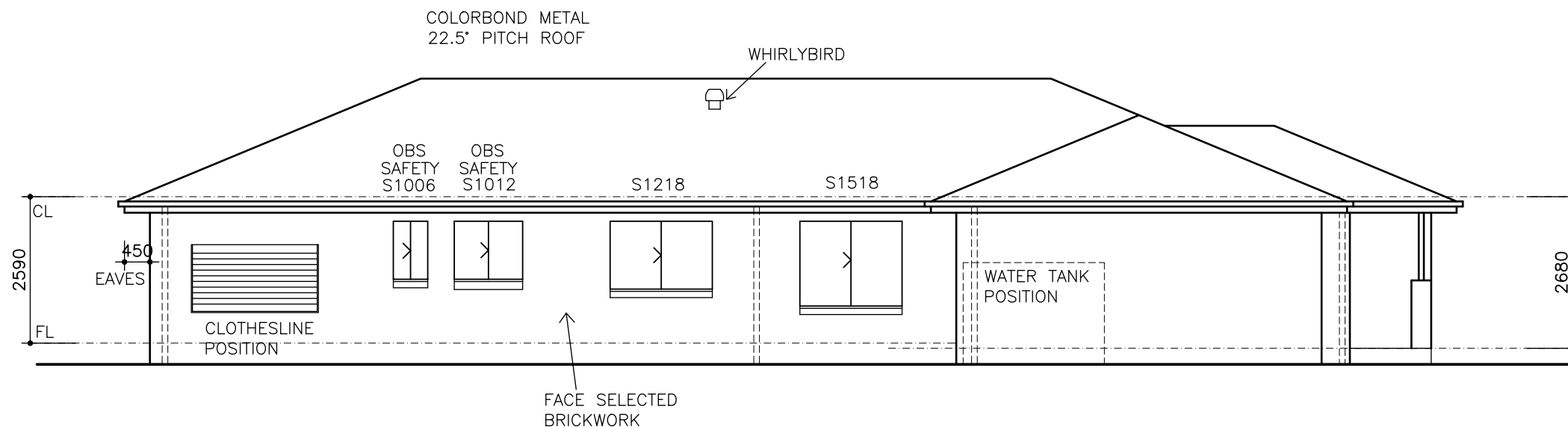
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SHEET SIZE: **A3**
JOB NO: **21E2327**
DRAWN: **N. DRAPER**
DATE: 13/3/21

FLOOR AREAS:
INTERNAL:
GARAGE:
VERANDAH:
PORCH:
TOTAL:

REV.	DETAILS	DATE



ELEVATION C



ELEVATION D

PROVIDE FLY SCREENS TO ALL OPENABLE
WINDOWS & DOORS

CONTROL JOINTS AS PER ENGINEER'S
DESIGN

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PROJECT: Proposed New Residence
LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW

PAGES: 4 OF 10
SHEET SIZE: A3
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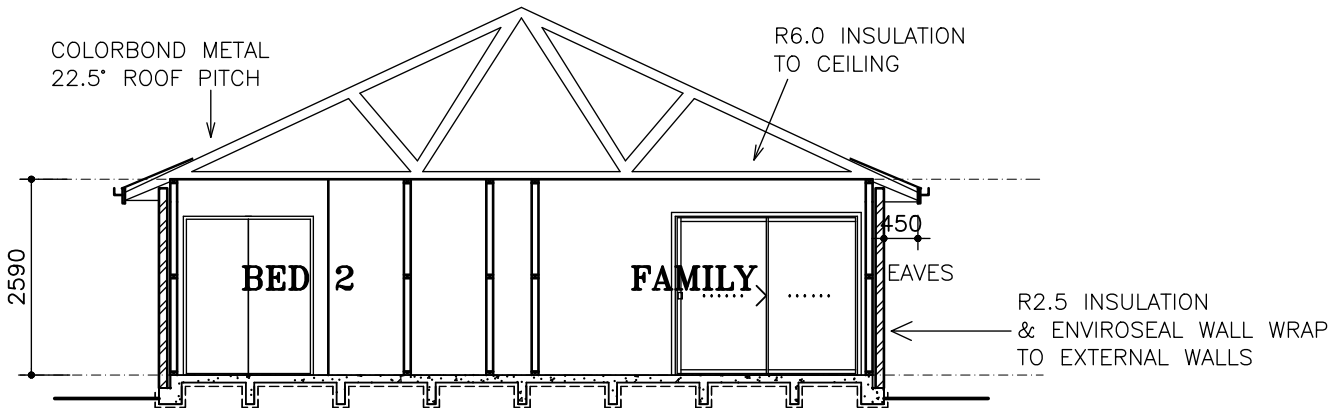
FLOOR AREAS:
INTERNAL:
GARAGE:
VERANDAH:
PORCH:
TOTAL:

REV	DETAILS	DATE

WINDOW SCHEDULE

WINDOWS SUPPLIED BY: DLG WINDOWS

WINDOW CODE	WINDOW SIZE	GLAZING	QUANTITY
S1524	1500Hx2410W	SINGLE GLAZING CLEAR	1
S1006	1000Hx610W	SINGLE GLAZING OBSCURE/SAFETY	2
SD2115 XF	2100Hx1450W	SINGLE GLAZING CLEAR	1
S1518	1500Hx1810W	SINGLE GLAZING CLEAR	3
SD2124 XF	2100Hx2410W	SINGLE GLAZING CLEAR	1
S1218	1200Hx1810W	SINGLE GLAZING CLEAR	4
S1012	1000Hx1210W	SINGLE GLAZING OBSCURE/SAFETY	1



SEE ENGINEERS DETAIL FOR FLOOR SLAB CONSTRUCTION.

SECTION

NOTES:

ROOF TRUSSES AND PRE FABRICATED WALLS TO MANUFACTURERS DETAILS.

ALL STRUCTURAL TIMBER SIZES TO BE IN ACCORDANCE WITH AS1684 NATIONAL TIMBER FRAMING CODE.

PROVIDE HOMEGUARD BLUE PHYSICAL BARRIER PART A & B FULL PENETRATION & PERIMETER PROTECTION INCLUDED.

ENERGY EFFICIENCY DETAILS

INSULATION	<ul style="list-style-type: none">– R2.5 BATTS TO WALLS & SISALATION TO EXTERNAL WALLS (EXCLUDING GARAGE).– R2.5 BATTS TO WALLS BETWEEN HOUSE & GARAGE.– R6.0 INSULATION ROOF BATTS TO CEILING SPACE, INCLUDING VERTICAL BULKHEADS– SISALATION TO UNDERSIDE OF ROOFING MATERIAL.
ROOFING	<ul style="list-style-type: none">– DARK COLOURED COLORBOND CUSTOM ORB ROOF SHEETS 22.5° PITCH
CEILING INSULATION PENETRATION ALLOWANCE AS PER MANUFACTURERS INSTALLATION SPECIFICATIONS	<ul style="list-style-type: none">– LED DOWNLIGHTS 150mm– IXL TASTICS 330mm– EXHAUST FANS 250mm– FLUES AS PER PLAN <p>ALL DOWNLIGHTS TO BE UNVENTED</p>

WEATHERSEAL ALL DOORS & WINDOWS AS REQUIRED BY THE CURRENT EDITION OF THE BCA.

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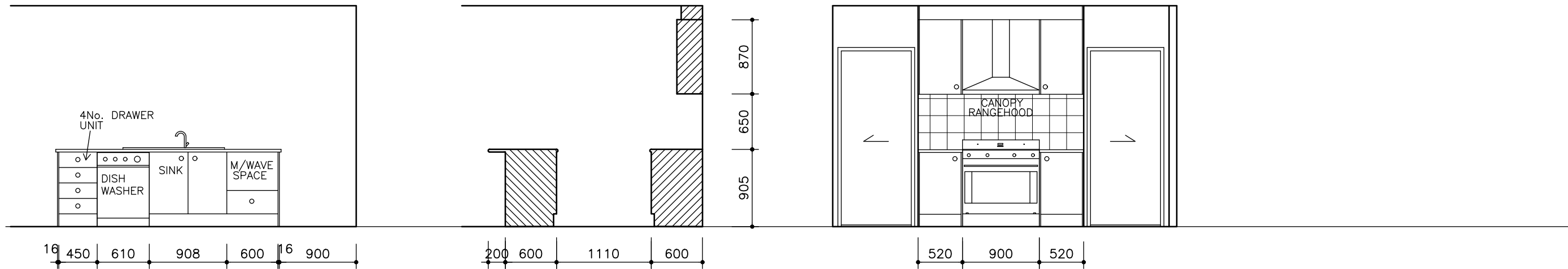
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SECTION - SCALE 1:100

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LOT 13 (No.8) BORAMBOLA ST,
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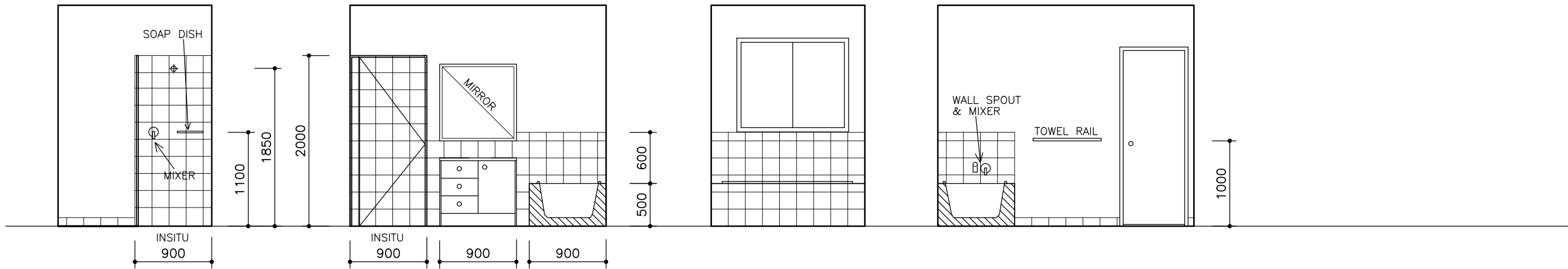
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FLOOR AREAS:
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GARAGE:
VERANDAH:
PORCH:
TOTAL:

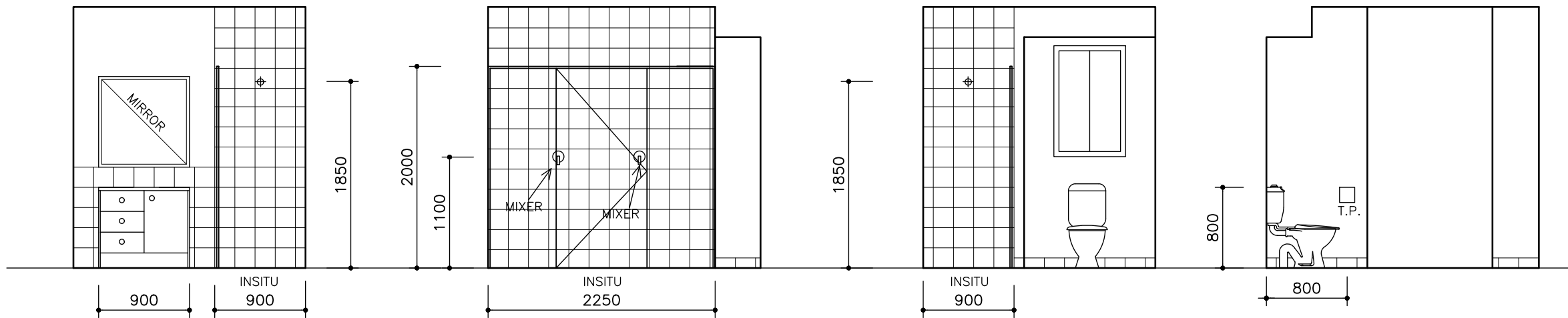
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KITCHEN
SCALE 1:50



BATHROOM

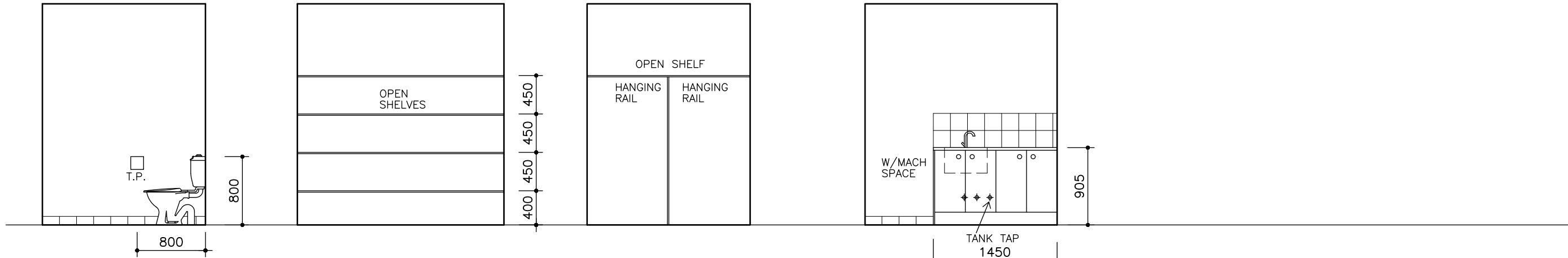


ENSUITE

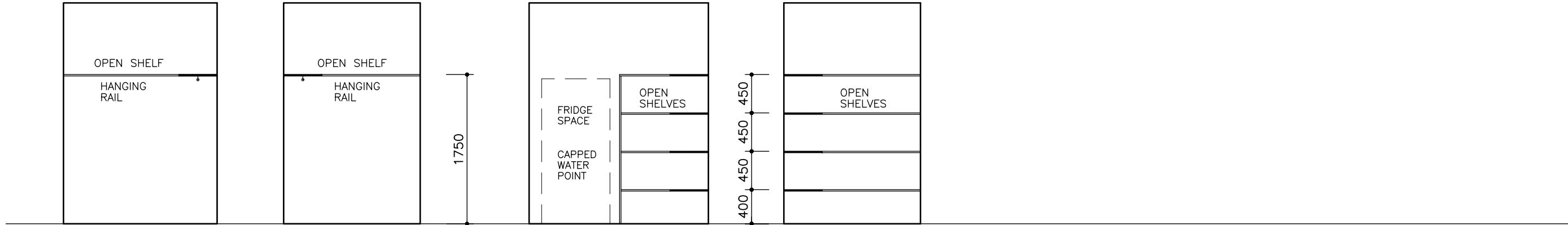
ITEM	HEIGHT
TOILET PAPER	800mm
TOWEL RAILS	1000mm

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OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:



WC LINEN ROBE LAUNDRY



WIR PANTRY

ITEM	HEIGHT
TOILET PAPER	800mm
TOWEL RAILS	1000mm

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CLIENT:
T. FOLLETT & L. BARTLETT

DRAWING TITLE:
INTERNAL ELEVATIONS -

PROJECT: Proposed New Residence

LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW

PAGES:
7 OF 10

SHEET SIZE:
A3

JOB NO: 21E2327

DRAWN:
N. DRAPER

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FLOOR AREAS:

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TOTAL:

REV:

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DATE:

ELECTRICAL LEGEND

- – LIGHT POINT
- – LED DOWNLIGHT POINT
- ⊙ – ROUND FLURO LIGHT POINT
- ⊗ – PENDANT LIGHT POINT
- ⊕ – WALL MOUNTED LIGHT POINT
- ☛ – SPOTLIGHT POINT

— — FLUORESCENT LIGHT POINT

- ◀ – SINGLE POWER POINT
- ◀◀ – DOUBLE POWER POINT

NOTE: POWER POINTS LOCATED TO VANITY BASINS TO BE 1300mm ABOVE FLOOR LEVEL

- ◀◀ – EXTERNAL WEATHERPROOF DOUBLE POWER POINT
- ◀ – EXTERNAL WEATHERPROOF SINGLE POWER POINT

- – SMOKE DETECTOR
(Installed as per part 3.7.2 of the NCC & to comply with AS 3786)
Smoke Detectors must be interconnected where there is more than 1No. alarm.

- ⊕ – EXHAUST FAN

TV – TELEVISION POINT

TEL – TELEPHONE POINT

D/BELL – DOOR BELL ELECTRIC

NBN – NBN LEAD IN CABLE & BOX

- ⊕ – 4 GLOBE HEAT LAMP

- ⊕ – 2 GLOBE HEAT LAMP

- ☛ – CEILING FAN WITH LIGHT (CLIENT SUPPLIED)

PROVIDE 1No. SWITCHBOARD WITH 2 RCD's (circuit breakers)

PROVIDE EVAPORATIVE COOLING UNIT (UNITS/MODELS TO BE CONFIRMED).

PROVIDE DUCTED HEATING UNIT (UNITS/MODELS TO BE CONFIRMED).

PROVIDE TV ANTENNA.

PROVIDE NBN LEAD IN CABLE & BOX IN GARAGE.

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CLIENT:
T. FOLLETT & L. BARTLETT
DRAWING TITLE:
ELECTRICAL LAYOUT - SCALE 1:100

PROJECT: Proposed New Residence
LOT 13 (No.8) BORAMBOLA ST,
LADYSMITH NSW

PAGES: 8 OF 10
SHEET SIZE: A3
JOB NO: 21E2327
DRAWN: N. DRAPER
DATE: 13/3/21

FLOOR AREAS:
INTERNAL:
GARAGE:
VERANDAH:
PORCH:
TOTAL:

REV: DETAILS: DATE:


NOTE: ALL INSITU SHOWERS TO BE GRADED TO WASTE AREA.

The site plan shows a rectangular building footprint with overall dimensions of 22690mm by 11600mm. The layout includes a central area labeled "WAFFLE POD TO ENGINEERS DESIGN". Key features and dimensions are as follows:

- Top Edge:** Dimensions of 6480, 10900, 1780, and 3530mm.
- Left Edge:** Dimensions of 450, 3000, 6590, and 1560mm.
- Right Edge:** Dimensions of 450, 4070, 1490, and 5590mm.
- Bottom Edge:** Dimensions of 14280, 6470, 500, and 1440mm.
- Internal Features:**
 - A "90mm STEPDOWN" area in the top-left corner.
 - A "TAP*" symbol near the top-left corner.
 - An "INSTANT HWS" (Hot Water System) unit.
 - "LP GAS BOTTLES BY OWNER" located near the top-right corner.
 - An "MB" (Main Break) symbol.
 - A "90mm STEPDOWN" area in the bottom-right corner.
 - A "90mm STEPDOWN" area in the bottom-center.
 - A "CLOTHESLINE POSITION" indicated near the bottom-left corner.
 - A "3000L TANK" and a "PUMP" located near the bottom-right corner.
- Other Labels:** "DP" (Down Pipe) locations are marked at various points around the perimeter and internally.

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<div><div>G.J.Gardner.<u>HOMES</u></div><div>Moshude Pty Ltd</div><div>38 Hammond Ave, Wagga Wagga NSW 2650</div><div>NSW 281136C HIA No. 615234</div></div>	<div>MODIFIED PACIFIC</div> <div>208</div> <div>© COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES</div>	<div>Elleran Drafting Services</div> <div>DP-AD 19093</div>	CLIENT:	<div>T. FOLLETT & L. BARTLETT</div>	PROJECT: Proposed New Residence	PAGES:	SHEET SIZE:	FLOOR AREA:	
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GENERAL NOTES FOR RESIDENTIAL WORKS											
(NCC 2019)											
GN01	FIGURED DIMENSION TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.	GN18	SITE SPECIFIC NOTES FOR THE CONSTRUCTION OF THIS DWELLING TO BE APPLIED TO THE SUBSEQUENT DOCUMNETATION PAGES.	GN40		DENOTES LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S 3786 AND PART 3.7.2 OF NCC 2019 AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1,2 OR 3 BUILDING OF A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRED WITH A BATTERY BACKUP. IF MORE THAN 1No. SMOKE ALARM, ALARMS MUST BE INTERCONNECTED.					
GN02	THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS STUDY FOR CLARIFICATION.	GN19	THE GROUND SURFACE SHALL BE GRADED AWAY FROM THE SLAB TO A MINIMUM 1:20 TO ENSUITE DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING AREA AS PER AS2870								
GN03	ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2019 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (as amended) REFERRED TO THEREIN.	GN20	HWS SERVICE & SURFACE DRAINS TO BE CONNECTED INTO STORMWATER & DIRECTED TO CONNECTION VIA 90mm PVC PIPES AS PER LOCAL AUTHORITIES REQUIREMENTS	GN41		BUILDING TIE–DOWNS TO BE PROVIDED IN ACCORDANCE WITH AS 1684–2010 FOR AN ASSUMED DESIGN GUST WIND SPEED/ WIND CLASSIFICATION OF 33 M/S (SUBJECT TO CONFIRMATION ON SITE BY RELEVANT BUILDING SURVEYOR AT FIRST INSPECTION) REFER TO AS1684 FOR CONSTRUCTION					
GN04	ALL MATERIALS AND WORK PRACTICES SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE NCC.	GN21	DOWNPIPES TO BE LOCATED MAXIMUM 12M APART. GUTTERS SLOTTED TO MAKE PROVISION OF OVERFLOWS AS PER NCC PART 3.5.2	GN42		ALL TREADS, LANDINGS AND THE LIKE TO HAVE NON SLIP FINISH OF SUITABLE NON–SKID STRIP NEAR EDGE OF NOSING.					
GN05	THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.	GN22	ALL BRICKWORK TO BE IN ACCORDANCE WITH AS3700 & AS4773.1	GN43		PROVIDE BALUSTRADES WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BALUSTRADES TO BE:– 1000mm MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND 865mm MIN. ABOVE FINISHED LEVEL OF STAIR NOSING OR RAMP, AND VERTICAL WITH A 125mm MAXIMUM GAP BETWEEN, AND ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.					
GN06	TERMITE PROTECTION IS TO BE FULL PHYSICAL BARRIER PROTECTION TO ALL RESIDENTIAL BUILDINGS IN ACCORDANCE WITH NCC PART 3.1.3 & AS 3660.1	GN23	UNREINFORCED MASONRY IS TO COMPLY WITH NCC REQUIREMENTS PART 3.3.1	GN44		HANDRAILS TO BE 865mm MINIMUM ABOVE STAIR NOSINGS AND LANDINGS.					
GN07	ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.	GN24	PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CENTRES IN EACH DIRECTION & WITHIN 300mm OF ARTICULATION JOINTS								
GN08	ALL SEWER, SEPTIC/SAND FILTER AND/OR ALL WASTE TREATMENT SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS	GN25	ALL FRAMING TO BE IN ACCORDANCE WITH AS1684								
GN09	INSTALLATION OF THE SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS	GN26	ALL TIE DOWN, CONNECTIONS & BRACING SHALL COMPLY WITH AS1684								
GN10	THE BUILDER SHALL PROVIDE A SITE SIGN INDICATING BUILDER, SITE ADDRESS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS.	GN27	ALL PLUMBING & DRAINAGE WORKS TO COMPLY WITH AS3500								
GN11	THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO MAINTAIN SITE IN A CLEAN AND SAFE CONDITION INCLUDING CONTAINMENT OF RUBBISH AND DISCHARGE. SANITARY FACILITIES AREA TO BE PROVIDED ON SITE FOR WORK PERSONS.	GN28	BUILDING FABRIC THERMAL INSULATION TO COMPLY WITH NCC 3.12.1.1								
GN12	FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES	GN29	DUCT WORK TO COMPLY WITH NCC 3.12.5.3 FOR HEATING & COOLING								
GN13	SITE PLAN MEASUREMENTS IN METRES – ALL OTHER MEASUREMENTS IN MILLIMETRES O.N.O.	GN30	LIFT OFF HINGED DOOR TO WCs WHEN DOOR SWING IS WITHIN 1200mm OF TOILET PAN								
GN14	PRIOR TO SET OUT OR COMMENCEMENT OF WORKS THE TITLE BOUNDARIES ARE TO BE LOCATED BY EITHER: 1) LOCATING AND MARKING EXISTING PEGS 2) OBTAINING A RE–ESTABLISHMENT SURVEY BY A LICENSED LAND SURVEYOR NOTE: EXISTING FENCES/BUILDINGS SHALL NOT BE USED FOR SETOUT PURPOSES. NOTE: ESTABLISHMENT OF SITE BOUNDARIES IS THE RESPONSIBILITY OF OWNER	GN31	EXHAUST FANS COMPLYING WITH AS1668.2 TO BE INSTALLED AS PER NCC PART 2.4.5 & TO HAVE SELF CLOSING DAMPERS								
GN15	PROVIDE TEMPORARY FENCING (AS PER COUNCIL REQUIREMENTS)	GN32	WATERPROOFING TO ALL WET AREAS TO IN ACCORDANCE WITH AS3740								
GN16	EARTHWORKS AND EXCAVATIONS SHALL BE AS REASONABLY NECESSARY TO FULFIL THE INTENT OF THE DESIGN. EXCAVATIONS BEYOND THE SCOPE OF THESE DOCUMENTS OR IN PROXIMITY TO TITLE BOUNDARIES SHALL BE REFERRED TO THE RELEVANT BUILDING SURVEYOR FOR APPROVAL PRIOR TO COMMENCEMENT OF WORKS.	GN33	ALL GLAZING TO BE IN ACCORDANCE WITH AS1288								
GN17	THE BUILDER AND SUBCONTRACTORS SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWER PIPES TO AUSTRALIAN STANDARDS/NCC	GN34	LIGHT & VENTILATION MUST BE PROVIDED TO ALL HABITABLE ROOMS AS PER THE NCC PART 3.8.4 & PART 3.8.5								
		GN35	PROVIDE RESTRICTIVE WINDERS OF 125mm MAX TO ALL OPENABLE BEDROOM WINDOWS WHERE THE FLOOR BENEATH IS MORE THAN 2M ABOVE SURFACE BENEATH								
		GN36	SAFETY GLAZING TO BE USED IN THE FOLLOWING CASE:– 1) ALL ROOMS –WITHIN 500mm VERTICAL OF FLOOR LEVEL 11) BATHROOMS –WITHIN 2000mm VERTICAL FROM BATH BASE –WITHIN 2000mm HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES 111) LAUNDRY –WITHIN 1200mm VERTICAL FROM FLOOR LEVEL AND/OR WITHIN 300mm VERTICAL OF TROUGH 1V) DOORWAY –WITHIN 300mm HORIZONTAL FROM ALL DOORS V) ENSUITE –WITHIN 2000mm VERTICAL FROM BATH BASE –WITHIN 2000mm HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES								
		GN37	WINDOW SIZES AREA NOMINAL ONLY ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.								
		GN38	REFER TO THERMAL PERFORMANCE ASSESSORS REPORT FOR WINDOW FRAME & GLAZING SPECIFICATIONS								
		GN39	WINDOWS COMPLY WITH AS2047 FOR AIR INFILTRATION AS REQUIRED BY NCC PART 3.12.3.3								
<div><div></div><div>I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED. OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:</div></div>											
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