

EXISTING TREES TO BE REMOVED (SHOWN DASHED)- SEVEN (7) No. OF TREES IN TOTAL. REFER TO ARBORIST REPORT FOR MORE DETAILS

EXISTING DWELLINGS TO BE DEMOLISHED (SHOWN HATCHED)

EXISTING DWELLINGS TO BE DEMOLISHED (SHOWN HATCHED)

EXISTING CONCRETE FOOTPATHS TO BE REMOVED (SHOWN DASHED) - TYPICAL

EXISTING SEWER VENT SHAFT TO BE RELOCATED TO RELEVANT AUTHORITY APPROVAL

EXISTING LANEWAY POWER POLE TO BE RELOCATED TO RELEVANT AUTHORITY APPROVAL

EXISTING CONCRETE DRIVEWAYS TO BE REMOVED (SHOWN DASHED) - TYPICAL

EXISTING GARAGE TO BE DEMOLISHED (SHOWN HATCHED)

EXISTING GARAGE TO BE DEMOLISHED (SHOWN HATCHED)

EXISTING BRICK FENCE WALLS TO BE REMOVED (SHOWN DASHED) - TYPICAL

EXISTING SHRUBS TO BE REMOVED (SHOWN DASHED) - TYPICAL

EXISTING VEHICULAR CROSSING TO BE REMOVED AND PATHWAY TO BE RECONSTRUCTED TO THE SPECIFICATIONS OF COUNCIL

# DEMOLITION PLAN

## NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS
2. VERIFY ALL DIMENSIONS ON SITE
3. DO NOT SCALE, USE FIGURED DIMENSIONS ONLY
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## PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA  
DRAFTED JOHNNY NGUYEN  
UNIQUE DEVELOPMENTS PTY LTD

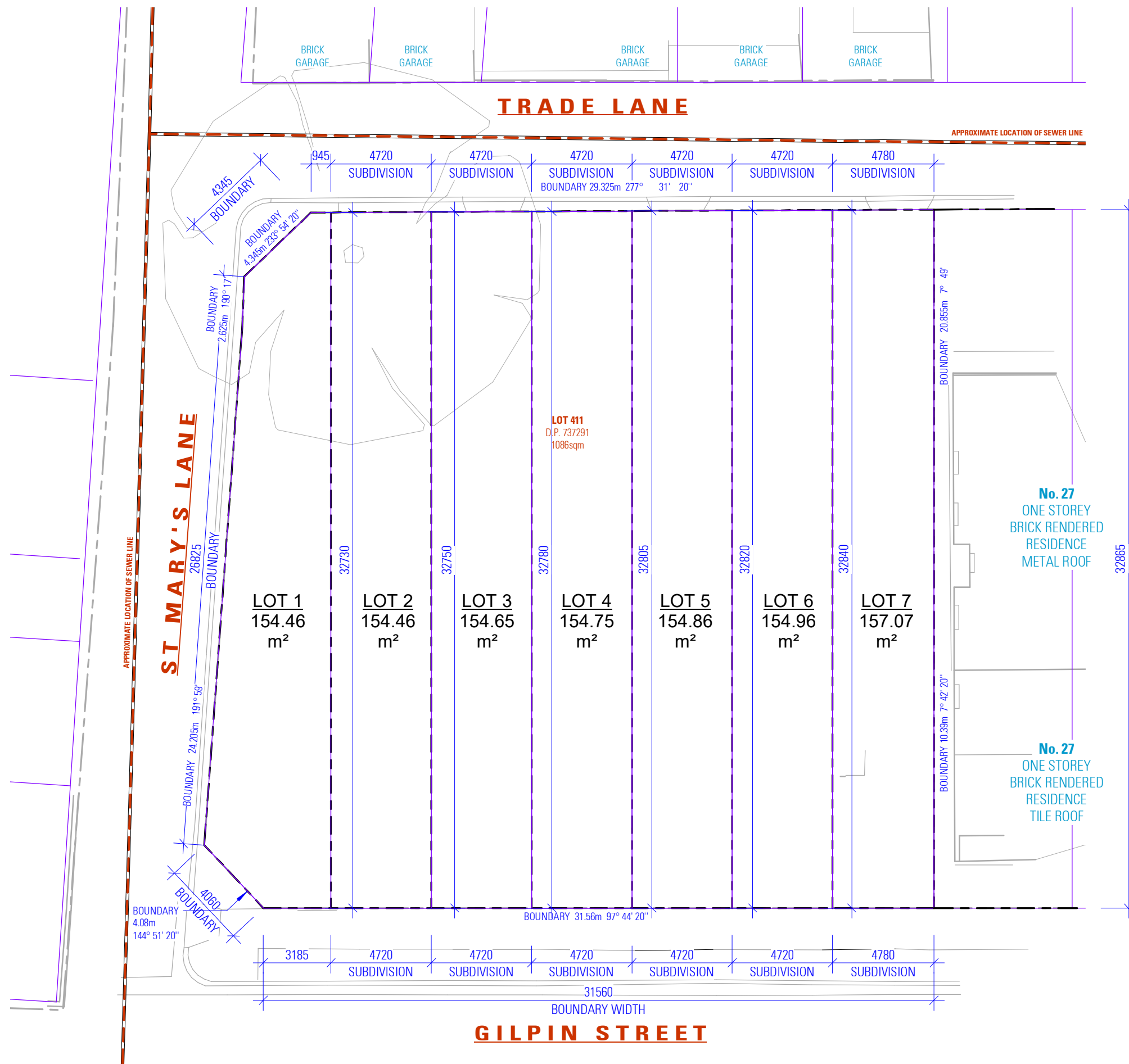
## DRAWING

DEMOLITION PLAN

SCALE 1 : 200 / A3  
ISSUE G 24.09.2021

DWG No. 20153 - 02

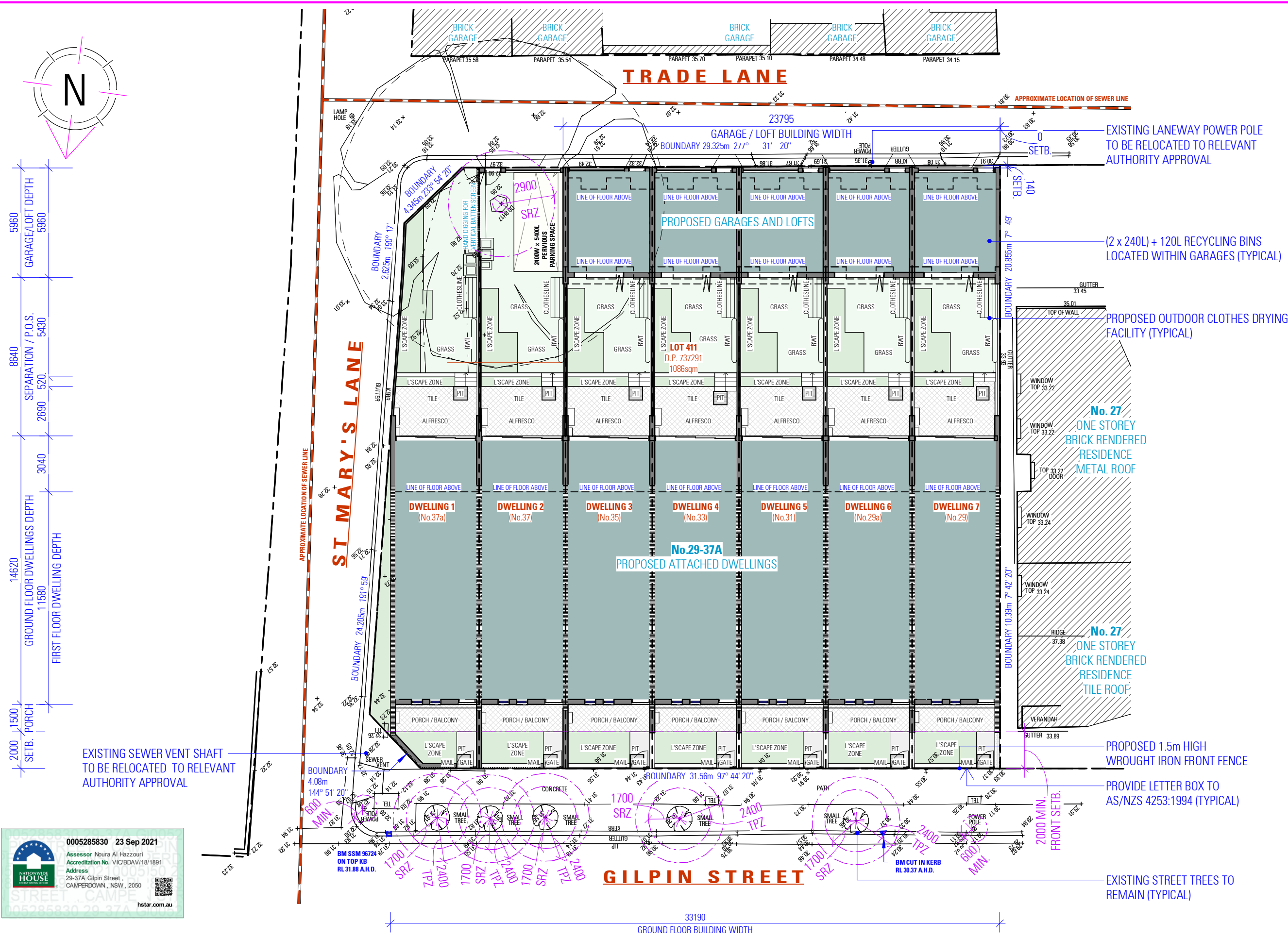
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**NOT FOR CONSTRUCTION**

DWG No. 20153 - 03

|                |              |                             |
|----------------|--------------|-----------------------------|
| <b>DESIGN</b>  | ANUPAMA SAHA |                             |
| <b>DRAFTED</b> | ANUPAMA SAHA | UNIQUE DEVELOPMENTS PTY LTD |



| UNIT 1 CALCULATIONS      |                  |
|--------------------------|------------------|
| LOT AREA                 | 154.54sqm        |
| GROUND FLOOR AREA        | 61.65sqm         |
| FIRST FLOOR AREA         | 44.31sqm         |
| SECOND FLOOR AREA        | 22.50sqm         |
| <b>TOTAL FLOOR AREA</b>  | <b>128.46sqm</b> |
| FLOOR SPACE RATIO        | 0.831 : 1        |
| BALCONY AREA             | 5.4sqm           |
| PRIVATE OPEN SPACE (POS) | 56.68sqm         |
| UNIT 2 CALCULATIONS      |                  |
| LOT AREA                 | 154.46sqm        |
| GROUND FLOOR AREA        | 62.16sqm         |
| FIRST FLOOR AREA         | 44.65sqm         |
| SECOND FLOOR AREA        | 23.07sqm         |
| <b>TOTAL FLOOR AREA</b>  | <b>129.88sqm</b> |
| FLOOR SPACE RATIO        | 0.841 : 1        |
| BALCONY AREA             | 5.4sqm           |
| PRIVATE OPEN SPACE (POS) | 68.65sqm         |
| UNIT 3 CALCULATIONS      |                  |
| LOT AREA                 | 154.65sqm        |
| GROUND FLOOR AREA        | 69.42sqm         |
| FIRST FLOOR AREA         | 58.19sqm         |
| SECOND FLOOR AREA        | 23.07sqm         |
| <b>TOTAL FLOOR AREA</b>  | <b>150.68sqm</b> |
| FLOOR SPACE RATIO        | 0.974 : 1        |
| BALCONY AREA             | 5.4sqm           |
| PRIVATE OPEN SPACE (POS) | 40.79sqm         |
| UNIT 4 CALCULATIONS      |                  |
| LOT AREA                 | 154.75sqm        |
| GROUND FLOOR AREA        | 69.42sqm         |
| FIRST FLOOR AREA         | 58.19sqm         |
| SECOND FLOOR AREA        | 23.07sqm         |
| <b>TOTAL FLOOR AREA</b>  | <b>150.68sqm</b> |
| FLOOR SPACE RATIO        | 0.974 : 1        |
| BALCONY AREA             | 5.4sqm           |
| PRIVATE OPEN SPACE (POS) | 40.79sqm         |
| UNIT 5 CALCULATIONS      |                  |
| LOT AREA                 | 154.86sqm        |
| GROUND FLOOR AREA        | 69.42sqm         |
| FIRST FLOOR AREA         | 58.19sqm         |
| SECOND FLOOR AREA        | 23.07sqm         |
| <b>TOTAL FLOOR AREA</b>  | <b>150.68sqm</b> |
| FLOOR SPACE RATIO        | 0.973 : 1        |
| BALCONY AREA             | 5.4sqm           |
| PRIVATE OPEN SPACE (POS) | 40.79sqm         |
| UNIT 6 CALCULATIONS      |                  |
| LOT AREA                 | 154.96sqm        |
| GROUND FLOOR AREA        | 69.42sqm         |
| FIRST FLOOR AREA         | 58.19sqm         |
| SECOND FLOOR AREA        | 23.07sqm         |
| <b>TOTAL FLOOR AREA</b>  | <b>150.68sqm</b> |
| FLOOR SPACE RATIO        | 0.972 : 1        |
| BALCONY AREA             | 5.4sqm           |
| PRIVATE OPEN SPACE (POS) | 40.79sqm         |
| UNIT 7 CALCULATIONS      |                  |
| LOT AREA                 | 157.07sqm        |
| GROUND FLOOR AREA        | 67.89qm          |
| FIRST FLOOR AREA         | 56.96sqm         |
| SECOND FLOOR AREA        | 21.72sqm         |
| <b>TOTAL FLOOR AREA</b>  | <b>146.57sqm</b> |
| FLOOR SPACE RATIO        | 0.933 : 1        |
| BALCONY AREA             | 5.4sqm           |
| PRIVATE OPEN SPACE (POS) | 40.79sqm         |



0005285830

23 Sep 2021

Assessor Noura Al Hazzouri

Accreditation No. VIC/BD/AV/18/1891

Address

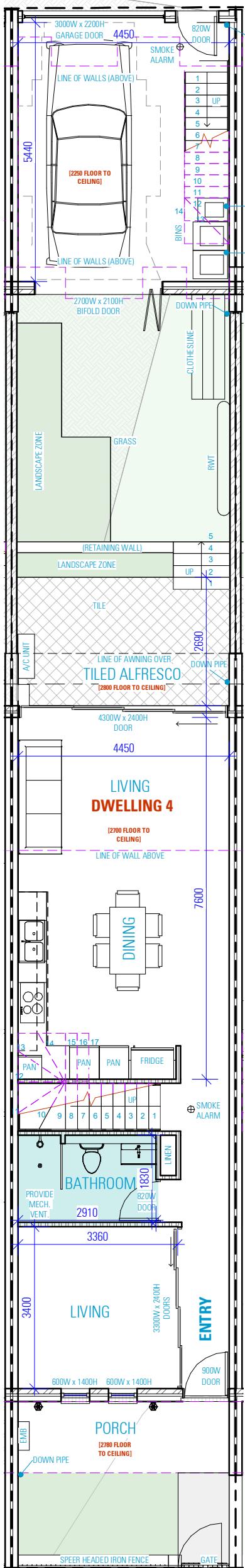
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CAMPERDOWN, NSW, 2050



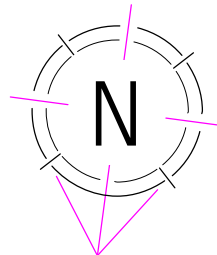
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## GROUND FLOOR LAYOUT PLAN

1:200 SCALE



## GROUND FLOOR PLAN (TYPICAL)

1:100 SCALE

NOT FOR CONSTRUCTION

- NOTES**
1. ALL DIMENSIONS ARE IN MILLIMETERS
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### PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

DESIGN  
DRAFTED

ANUPAMA SAHA  
ANUPAMA SAHA

UNIQUE DEVELOPMENTS PTY LTD

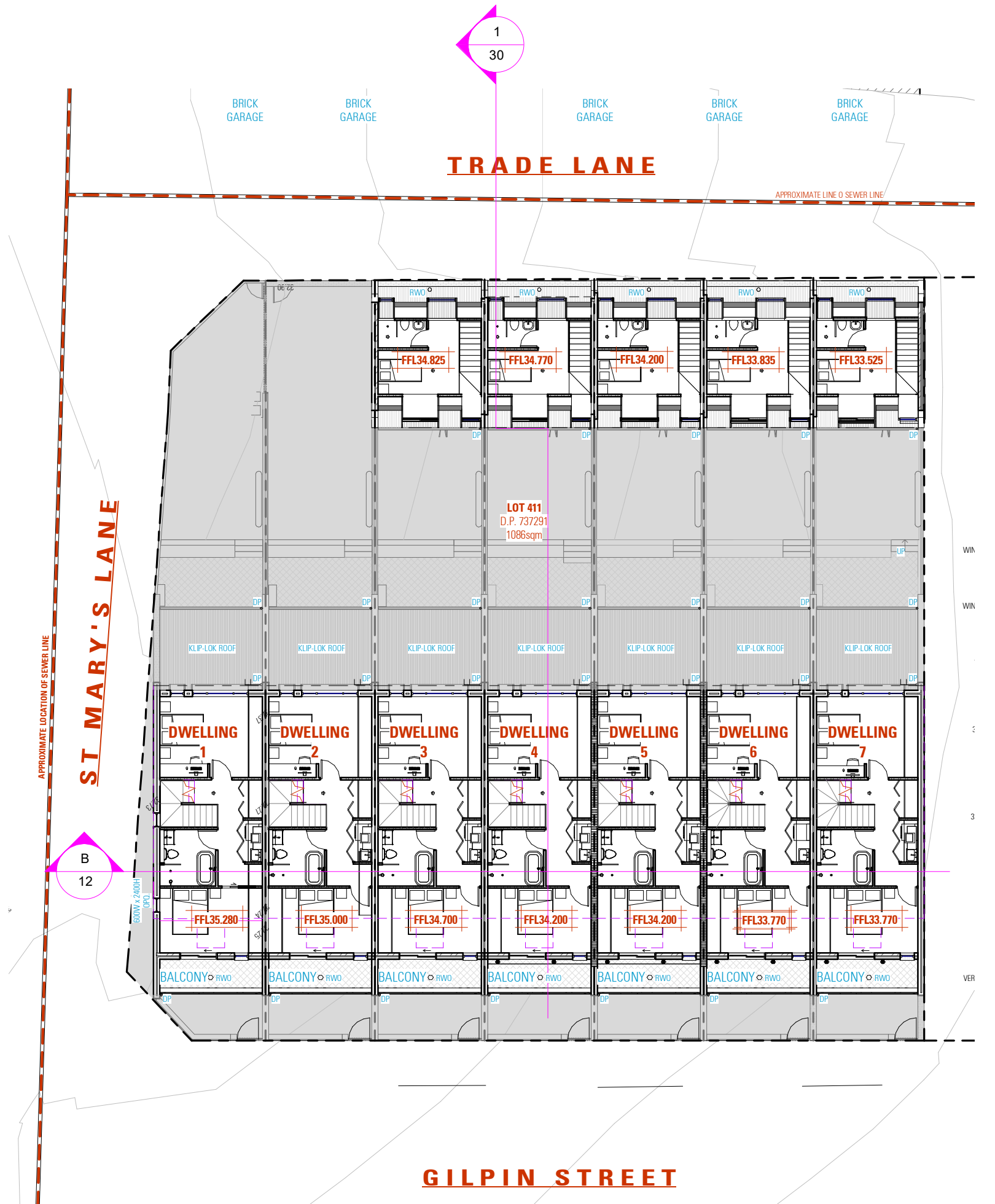
### DRAWING

PROPOSED GROUND FLOOR PLAN

SCALE  
ISSUE

As indicated/A3  
G 24.09.2021

DWG No. 20153 - 05



# FIRST FLOOR PLAN (TYPICAL)

1:100 SCALE

**NOTES**

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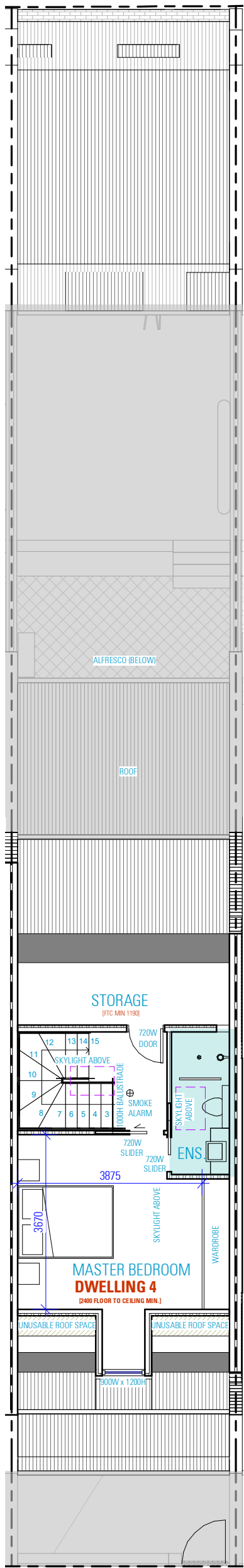
29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

|         |              |                             |
|---------|--------------|-----------------------------|
| DESIGN  | ANUPAMA SAHA |                             |
| DRAFTED | ANUPAMA SAHA | UNIQUE DEVELOPMENTS PTY LTD |

### PROPOSED FIRST FLOOR PLAN

**SCALE** As indicated/A3  
**ISSUE** G 24.09.2021

DWG No. 20153 - 06



SECOND FLOOR PLAN (TYPICAL)  
1:100 SCALE

- NOTES**
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**PROPOSED ATTACHED DWELLINGS**

29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

**DESIGN** ANUPAMA SAHA  
**DRAFTED** ANUPAMA SAHA  
UNIQUE DEVELOPMENTS PTY LTD

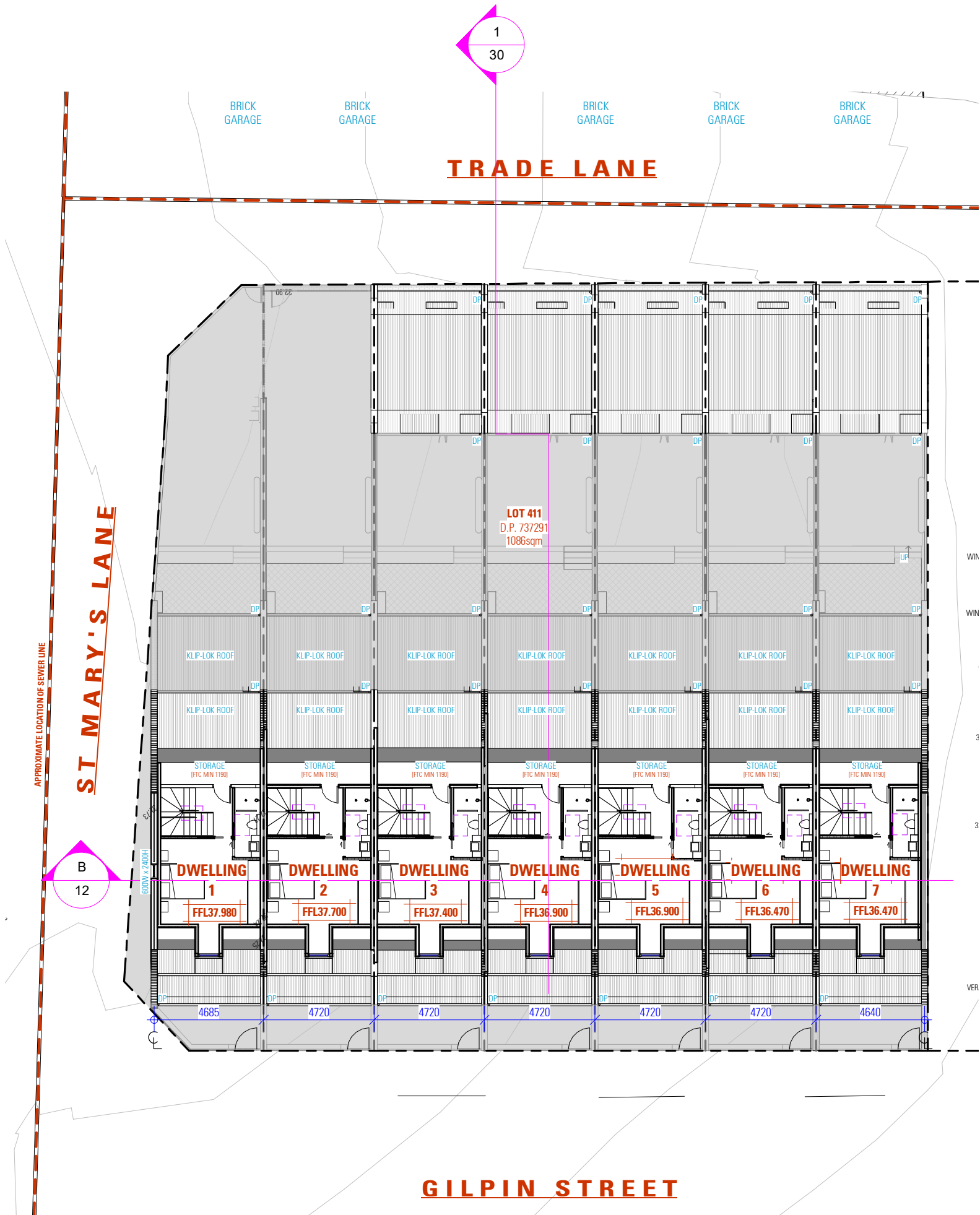
**DRAWING**

PROPOSED SECOND FLOOR PLAN

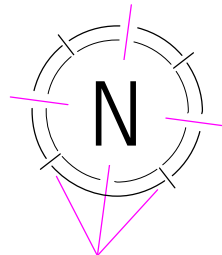
**SCALE** As indicated/A3  
**ISSUE** G 24.09.2021

**DWG No.** 20153 - 07

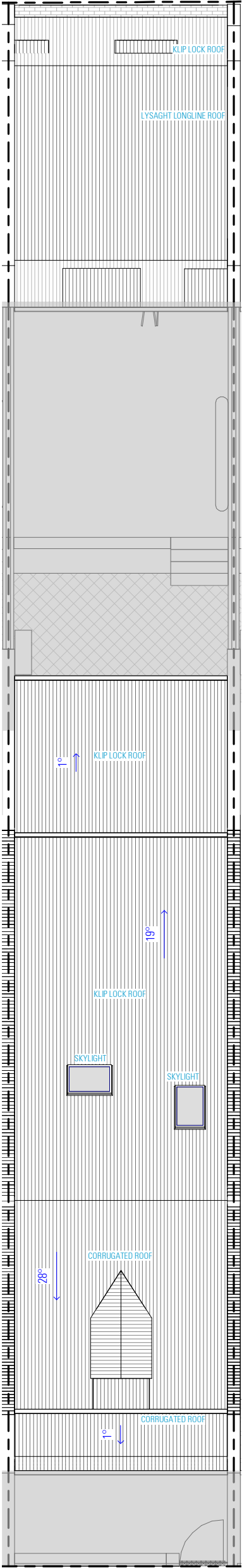
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SECOND FLOOR LAYOUT PLAN  
1:200 SCALE







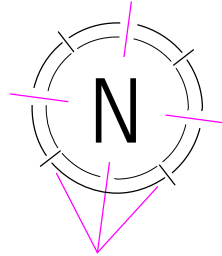
ROOF PLAN (TYPICAL)

1:100 SCALE



PROPOSED ROOF PLAN

1:200 SCALE



NOT FOR CONSTRUCTION

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CAMPERDOWN NSW 2050

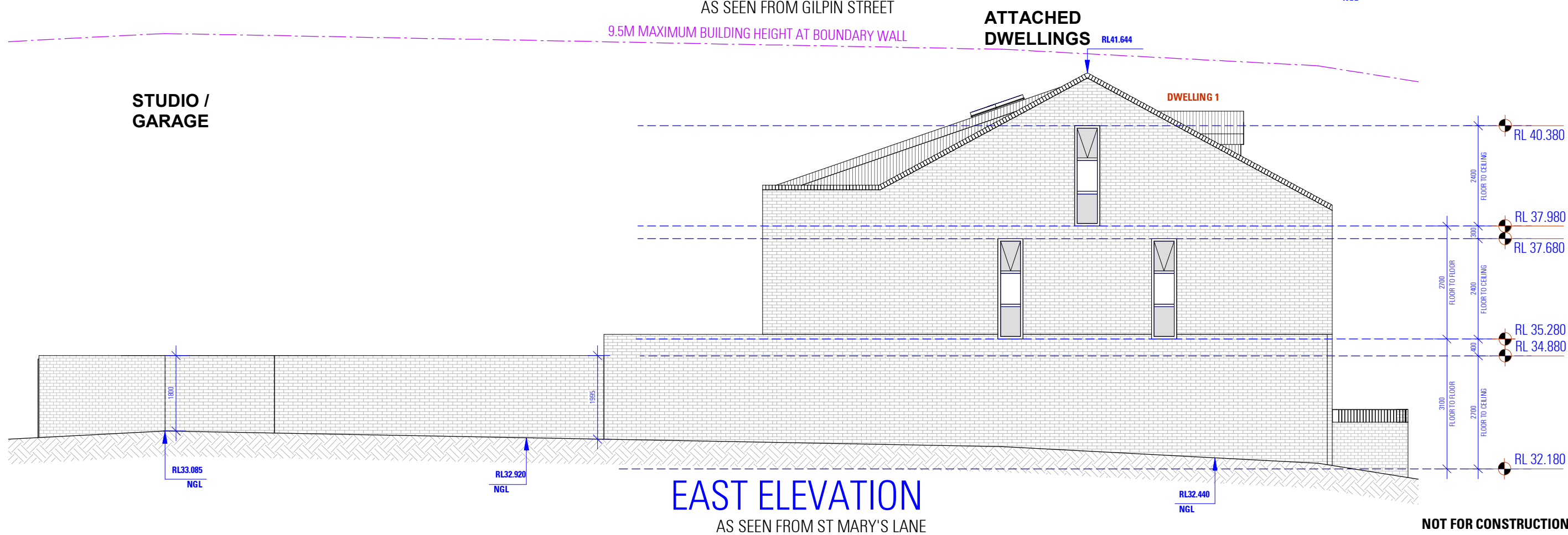
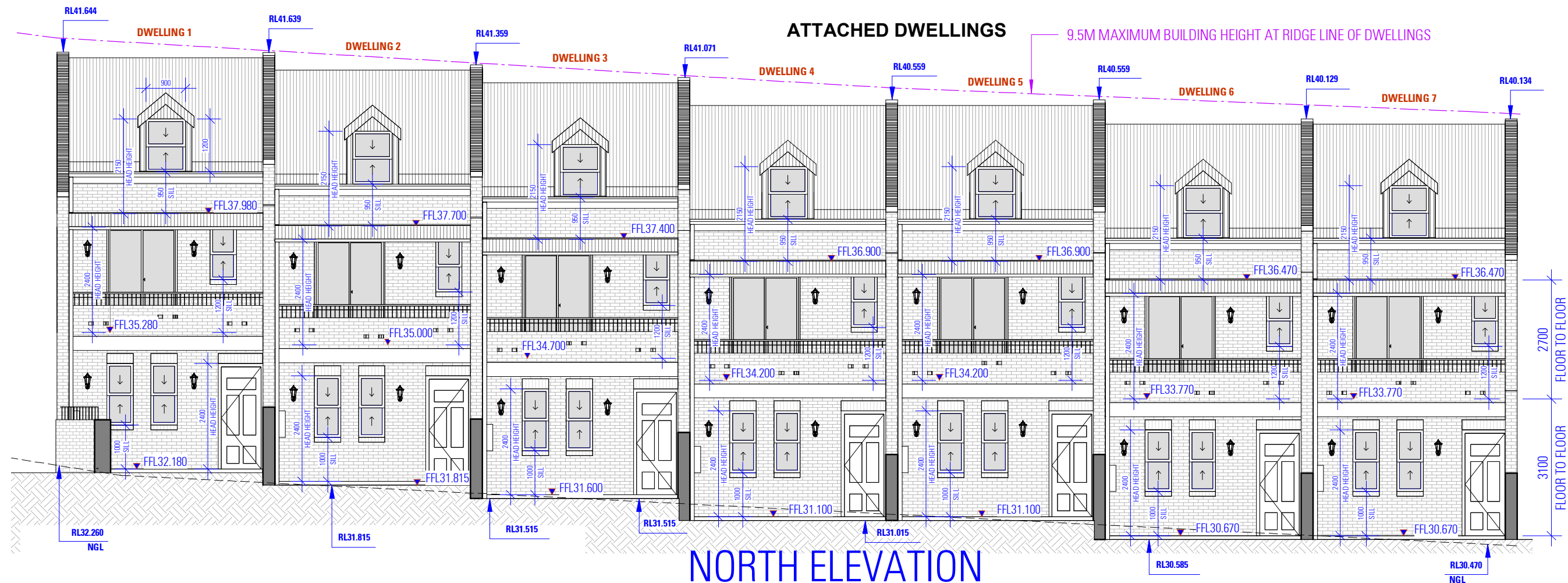
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**DRAFTED** JOHNNY NGUYEN  
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DRAWING

PROPOSED ROOF PLAN

**SCALE** As indicated/A3  
**ISSUE** G 24.09.2021

**DWG No.** 20153 - 08



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29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA  
DRAFTED ANUPAMA SAHA  
UNIQUE DEVELOPMENTS PTY LTD

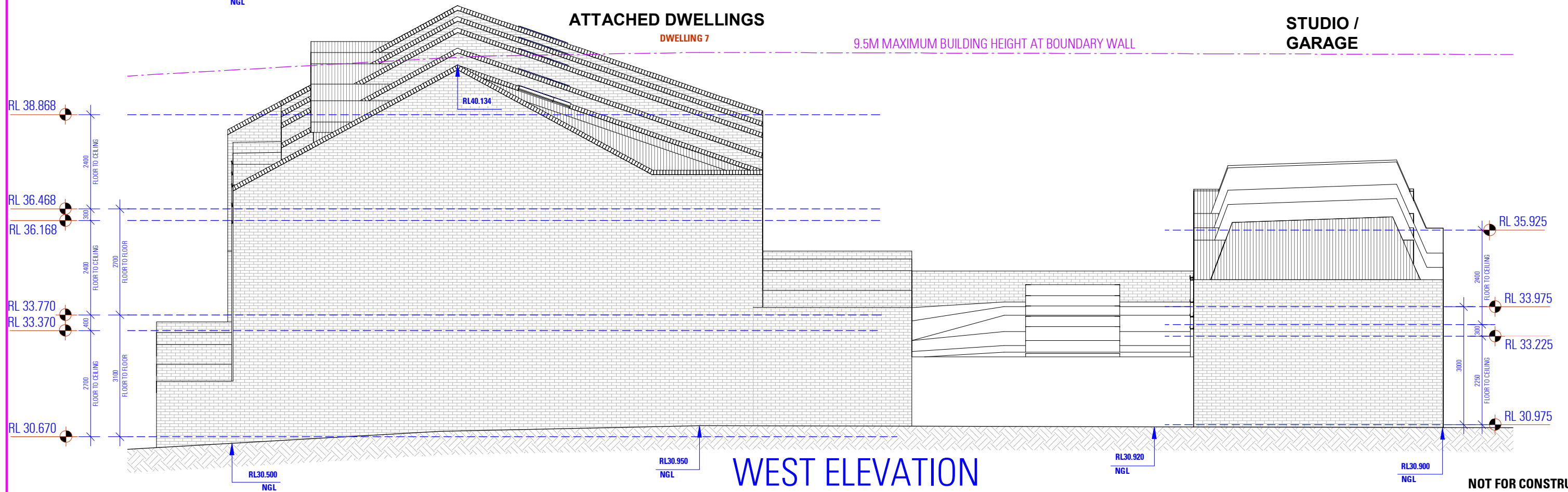
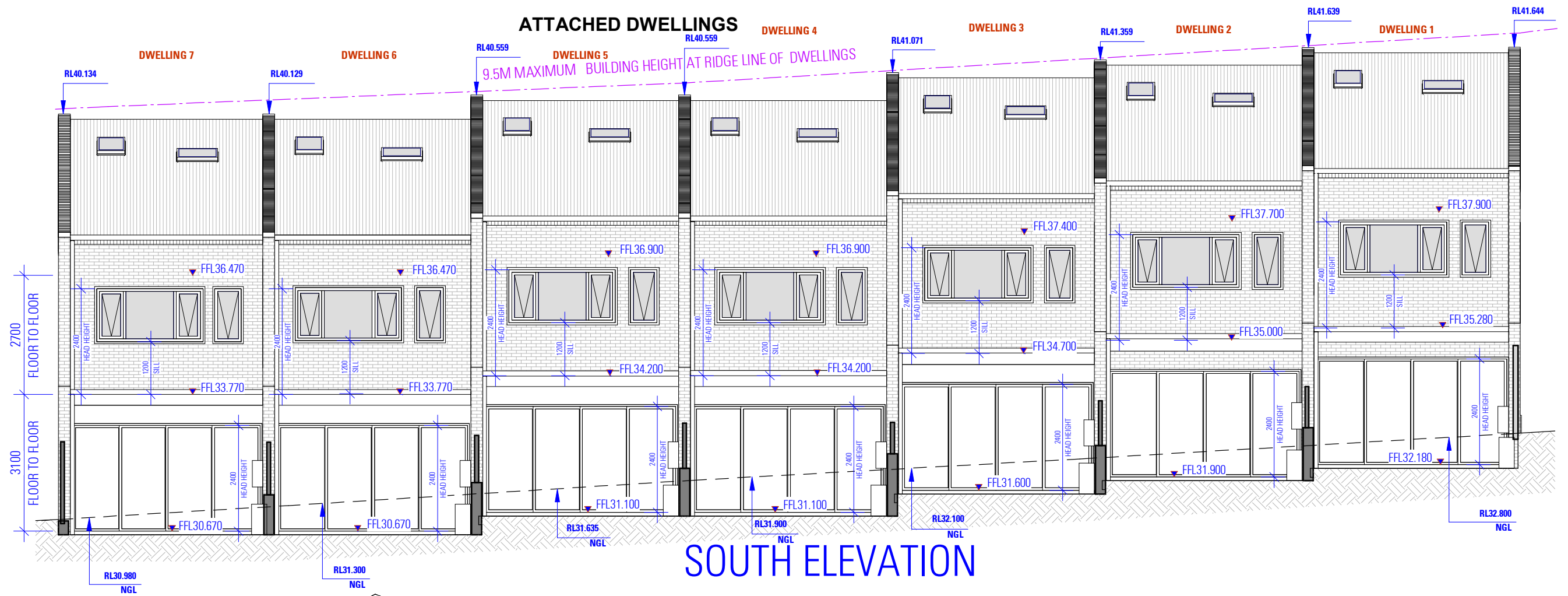
**DRAWING**

NORTH AND EAST ELEVATION

SCALE 1:100 / A3  
ISSUE G 24.09.2021

DWG No. 20153 - 09





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**PROPOSED ATTACHED DWELLINGS**

29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

**DESIGN** ANUPAMA SAHA  
**DRAFTED** JOHNNY NGUYEN  
UNIQUE DEVELOPMENTS PTY LTD

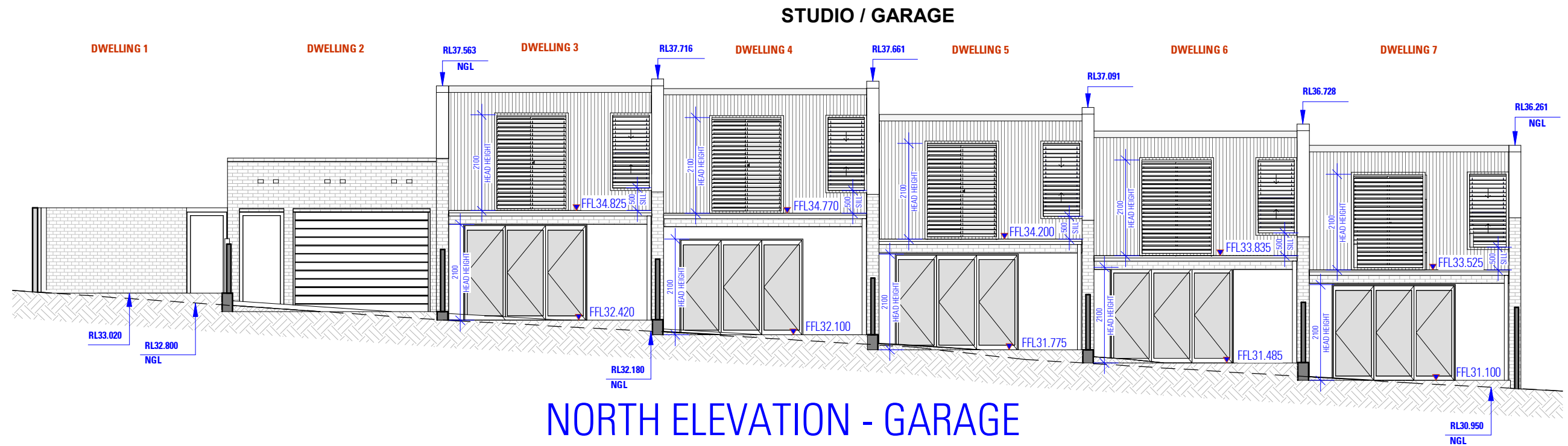
**DRAWING**

SOUTH AND WEST ELEVATIONS

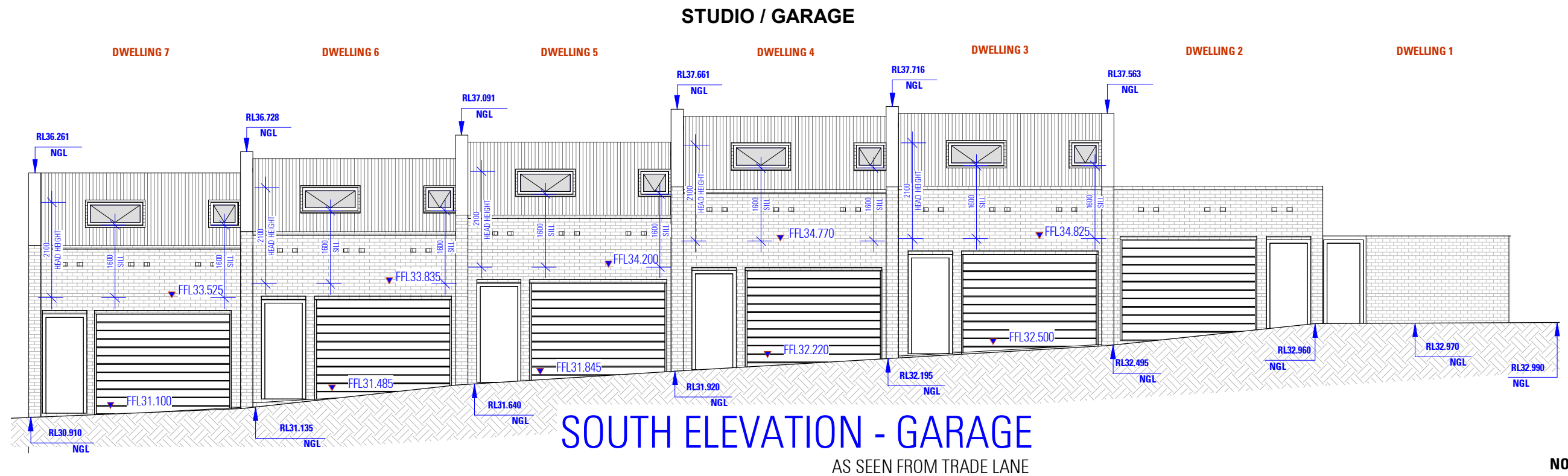
**SCALE** 1 : 100 / A3  
**ISSUE** G 24.09.2021

**DWG No.** 20153 - 10

9.5M MAXIMUM BUILDING HEIGHT AT RIDGE LINE OF STUDIO AND GARAGE



9.5M MAXIMUM BUILDING HEIGHT AT RIDGE LINE OF STUDIO AND GARAGE



NOT FOR CONSTRUCTION

**NOTES**

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29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA  
DRAFTED JOHNNY NGUYEN  
UNIQUE DEVELOPMENTS PTY LTD






**DRAWING**

NORTH AND SOUTH ELEVATIONS  
(GARAGE)

SCALE 1:100 / A3  
ISSUE G 24.09.2021

DWG No. 20153 - 11

WALL SCHEDULE

|  |   |   |   |   |   |  |   |
|--|---|---|---|---|---|--|---|
| 270mm CAVITY BRICK   | 230mm DOUBLE BRICK  | 110mm SINGLE BRICK  | 250mm BRICK VENEER  | 140mm EXTERIOR STUD   | 90mm INTERNAL STUD  | 190mm RETAINING WALL   | 400mm HABITABLE BASEMENT  |
|  |  |  |  |  |  |  |  |
| 110mm BRICK SKIN<br>50mm CAVITY<br>110mm BRICK SKIN                              | 110mm BRICK SKIN<br>10mm MORTAR<br>110mm BRICK SKIN                               | 110mm BRICK SKIN  | 110mm BRICK SKIN<br>50mm CAVITY<br>90mm STUD                                      | 50mm CLADDING<br>90mm STUD  | 90mm STUD   | 190mm CONCRETE BLOCK   | 190mm CONCRETE BLOCK<br>100mm CAVITY<br>110mm BRICK SKIN                            |

- NOTES
- THIS SCHEDULE DETAILS MAIN WALL COMPONENTS ONLY AND THE MEASUREMENTS GIVEN DO NOT INCLUDE RENDER, PLASTER OR THE LIKE. THEY ARE PROVIDED FOR 'CONSTRUCTION' PURPOSES AND SUCH DO NOT REPRESENT THE FINAL WALL THICKNESS.
  - EXISTING WALLS SHOWN SOLID HATCHED.
  - THE ITEMS PROVIDED ABOVE ARE A GENERAL LIST OF WALL TYPES. VERIFY ALL DISCREPANCIES WITH THE DESIGNER BEFORE COMMENCING CONSTRUCTION.





0005285830 23 Sep 2021

Assessor Noura Al Hazzouri  
Accreditation No. VIC/BDV/18/1891

Address  
29-37A Gilpin Street ,  
CAMPERDOWN , NSW , 2050

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SECTION

B

05-08

WATER COMMITMENTS

FIXTURES

- ALL SHOWERHEADS TO HAVE A MINIMUM RATING OF 3 STARS
- ALL TOILETS TO HAVE A MINIMUM RATING OF 5 STARS
- KITCHEN AND BATHROOM TAPS TO HAVE A MINIMUM RATING OF 5 STARS

ALTERNATIVE WATER

- A RAINWATER TANK WITH A MINIMUM CAPACITY OF 1000L TO BE INSTALLED AND CONFIGURED TO COLLECT RAIN RUNOFF FROM AT LEAST 45sqm OF THE ROOF AREA
- RAINWATER TANK MUST CONNECT TO AT LEAST 1 OUTDOOR TAP

THERMAL COMFORT COMMITMENTS

- FLOOR - SUSPENDED FLOOR/ENCLOSED SUBFLOOR - ALL OR PART OF FLOOR AREA SQUARE METRES

ENERGY COMMITMENTS

HOT WATER

- HOT WATER SYSTEM TO BE 'GAS INSTANTANEOUS' WITH A PERFORMANCE OF 3 STARS

COOLING/HEATING SYSTEM

- DWELLINGS TO HAVE 1-PHASE AIRCONDITIONING; ENERGY RATING: 3 STAR (AVERAGE ZONE IN LIVING AND BEDROOM AREAS)

VENTILATION

- AT LEAST ONE BATHROOM TO HAVE INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF
- KITCHEN TO HAVE INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF
- LAUNDRY TO HAVE INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF

ARTIFICIAL LIGHTING

- FLUORESCENT OR LIGHT EMITTING DIODE (LED) LIGHTING IN AT LEAST:

- 3 OF THE BEDROOMS / STUDY, (DEDICATED)
- 2 OF THE LIVING / DINING ROOMS, (DEDICATED)
- THE KITCHEN, (DEDICATED)
- ALL BATHROOMS/TOILETS, (DEDICATED)
- THE LAUNDRY (DEDICATED)
- ALL HALLWAYS (DEDICATED)

NATURAL LIGHTING

- WINDOW AND/OR SKYLIGHT FOR NATURAL LIGHTING TO BE INSTALLED:
- 1 BATHROOM/TOILET.

OTHER

- GAS COOKTOP AND AN ELECTRIC OVEN TO BE INSTALLED.
- FRIDGE SPACE TO BE 'WELL VENTILATED', AS DEFINED IN 'BASIX DEFINITIONS'
- A FIXED OUTDOOR CLOTHES DRYING LINE IS TO BE INSTALLED AS PART OF THE DEVELOPMENT

NATHERS REQUIREMENTS

- R3.5 INSULATION TO PLASTERBOARD CEILING
- R1.3 FOIL BLANKET AND SISALATION UNDERNEATH METAL ROOF
- DOWNLIGHTS WHICH PENETRATE THE CEILING TO BE FITTED WITH APPROVED FIREPROOF, NON-VENTILATED COVERS ALLOWING UNINTERRUPTED CEILING INSULATION
- FOIL-R2.5 TO ALL TIMBER FRAMED EXTERNAL WALLS
- WEATHER STRIPPING TO EXTERNAL DOORS & WINDOWS
- ALL AWNING WINDOWS SHALL BE: ALUMINIUM STANDARD SINGLE-GLAZED: CLEAR GLASS: U = 6.70 & SHGC = 0.57
- ALL OTHER WINDOWS AND SLIDING DOORS SHALL BE: ALUMINIUM STANDARD SINGLE-GLAZED: CLEAR GLASS: U = 6.70& SHGC = 0.70
- RWT: 1,000L TO COLLECT 45 SQM OF ROOF AREA AND TO BE CONNECTED TO LANDSCAPE ONLY
- HOT WATER SYSTEM: 3STAR GAS INSTANTANEOUS OR EQUIVALENT

REFER TO BASIX AND NATHERS CERTIFICATES FOR COMPREHENSIVE LIST OF ENERGY EFFICIENCY COMMITMENTS. ALL COMMITMENTS DETAILED IN THE APPROVED BASIX CERTIFICATE MUST BE INSTALLED TO THE BUILDING.

NOTES

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PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

DESIGN  
DRAFTED

ANUPAMA SAHA  
ANUPAMA SAHA

UNIQUE DEVELOPMENTS PTY LTD

DRAWING

SECTION VIEW

SCALE  
ISSUE

1 : 100 / A3  
G 24.09.2021

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INSULATION/ENERGY EFFICIENCY REQUIREMENTS  
PROVIDE TO BUILDING IN ACCORDANCE WITH AS 2627.1-1993

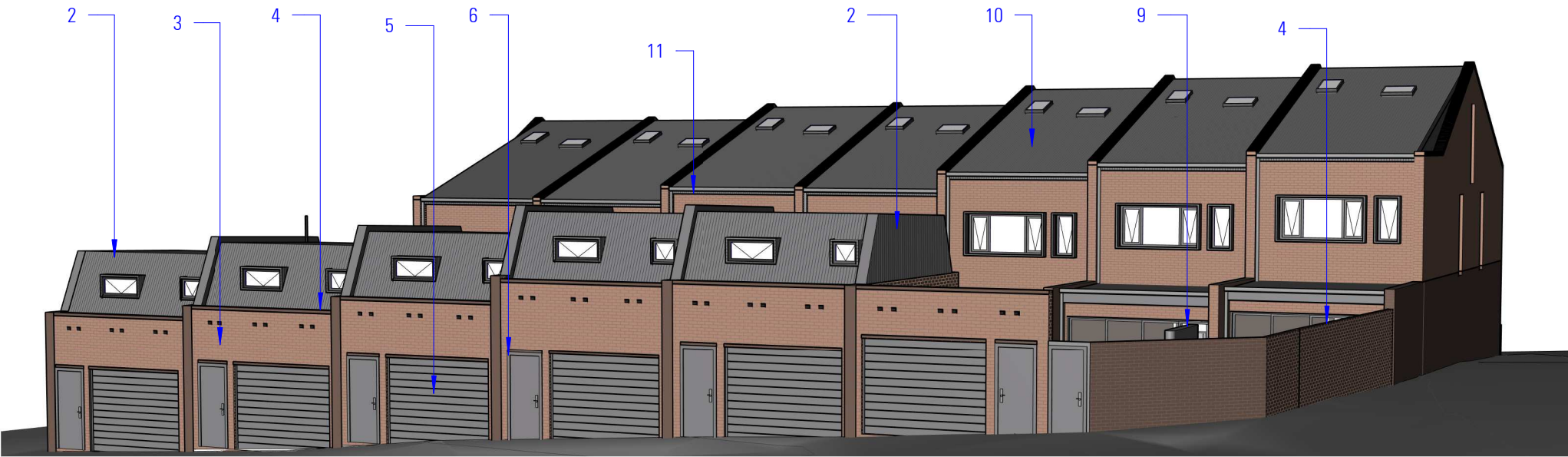


# SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES

|    |   |   |
|----|---|---|
| 1  |    | ROOF SHEETING - COLORBOND CORRUGATED IN DULUX BASALT  |
| 2  |    | ROOF SHEETING - LYSAGHT LONGLINE 305 IN DULUX BASALT  |
| 3  |    | FACE BRICK- AUSTRAL BRICKS AUSTRAL GLEDSDOOD BLEND  |
| 4  |    | FACE BRICK- AUSTRAL BRICKS AUSTRAL MONASH GREY  |
| 5  |    | GUTTERS, DOWNPIPES, FASCIA, EAVES, BALUSTRADES, FRONT FENCE (POWDER COATED ALUMINIUM), GARAGE DOOR - DULUX BASALT |
| 6  |   | POWDER-COATED ALUMINIUM WINDOWS, GLASS FRAMES AND DOORS - DULUX BASALT  |
| 7  |  | SOLID CORE TIMBER ENTRY DOORS (CEDAR) & FRONT TIMBER GATES (CEDAR)  |
| 8  |  | BOUNDARY FENCING - DULUX SHALE GREY WITH DULUX BASALT CAPPING   |
| 9  |  | RAINWATER TANKS - DULUX SHALE GREY  |
| 10 |  | ROOF SHEETING - COLORBOND KLIP LOC LYSAGHT 406 IN DULUX BASALT  |
| 11 |  | ROOF CAPPING - COLORBOND IN DULUX BASALT  |
| 12 |  | PAINT DULUX WEATHERSHIELD SURF MIST   |



NORTH ELEVATION  
AS SEEN FROM GILPIN STREET



SOUTH ELEVATION  
AS SEEN FROM TRADE LANE

NOT FOR CONSTRUCTION

**NOTES**  
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ACCREDITED  
BUILDING DESIGNER

**PROPOSED ATTACHED DWELLINGS**

29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

**DESIGN** ANUPAMA SAHA  
**DRAFTED** ANUPAMA SAHA  
UNIQUE DEVELOPMENTS PTY LTD

**DRAWING**

SCHEDULE OF EXTERNAL MATERIALS,  
COLOURS AND FINISHES

**SCALE** NTS / A3  
**ISSUE** G 24.09.2021

**DWG No.** 20153 - 14

A diagram of a circular molecule, possibly a nucleic acid, with a central 'N' and pink lines indicating interactions.



AS SEEN FROM GILPIN STREET

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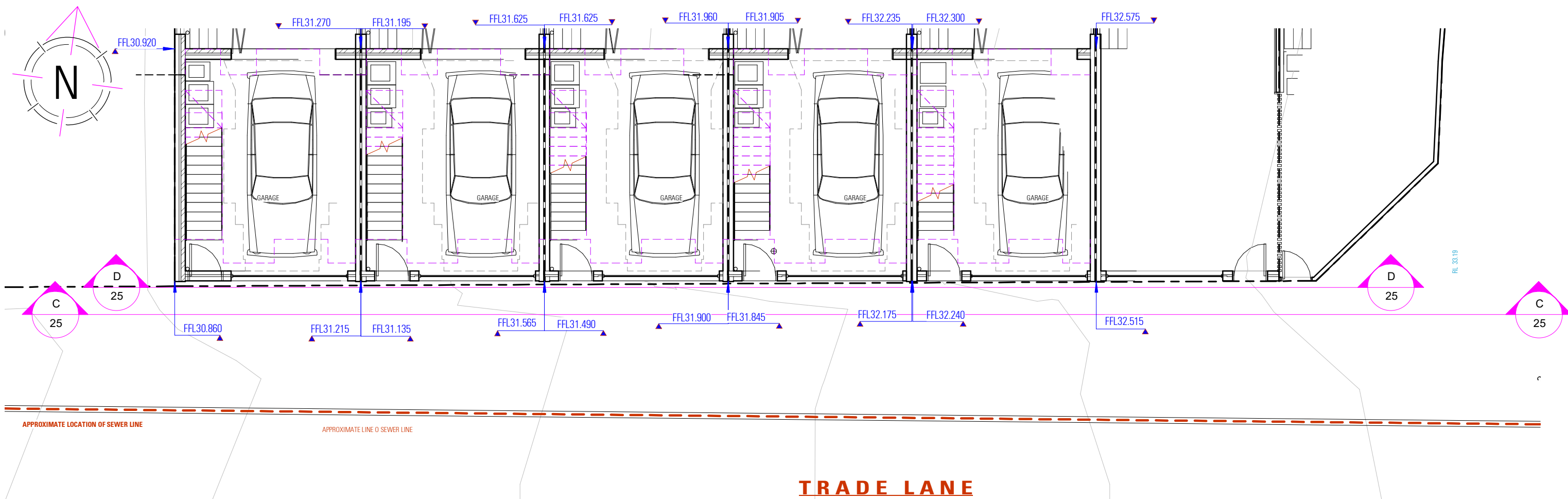


29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

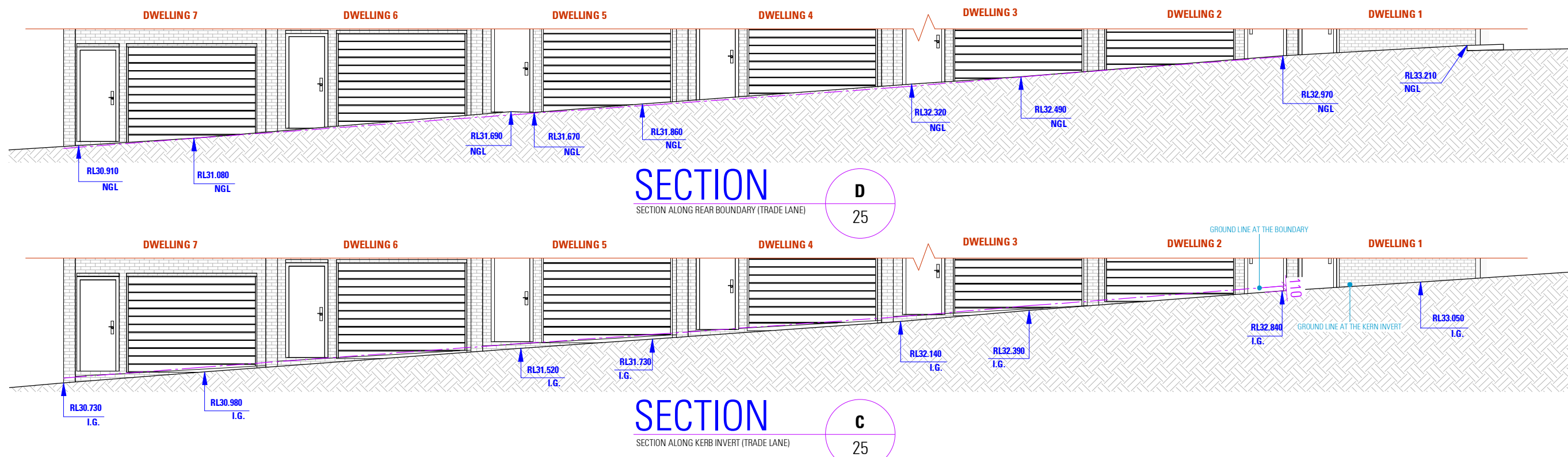
## FRONT FENCE DETAILS

UNIQUE DEVELOPMENTS PTY LTD

DWG No. 20153 - 15



## PLAN VIEW (GARAGE / LANEWAY)



NOT FOR CONSTRUCTION

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### PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA  
DRAFTED JOHNNY NGUYEN

UNIQUE DEVELOPMENTS PTY LTD

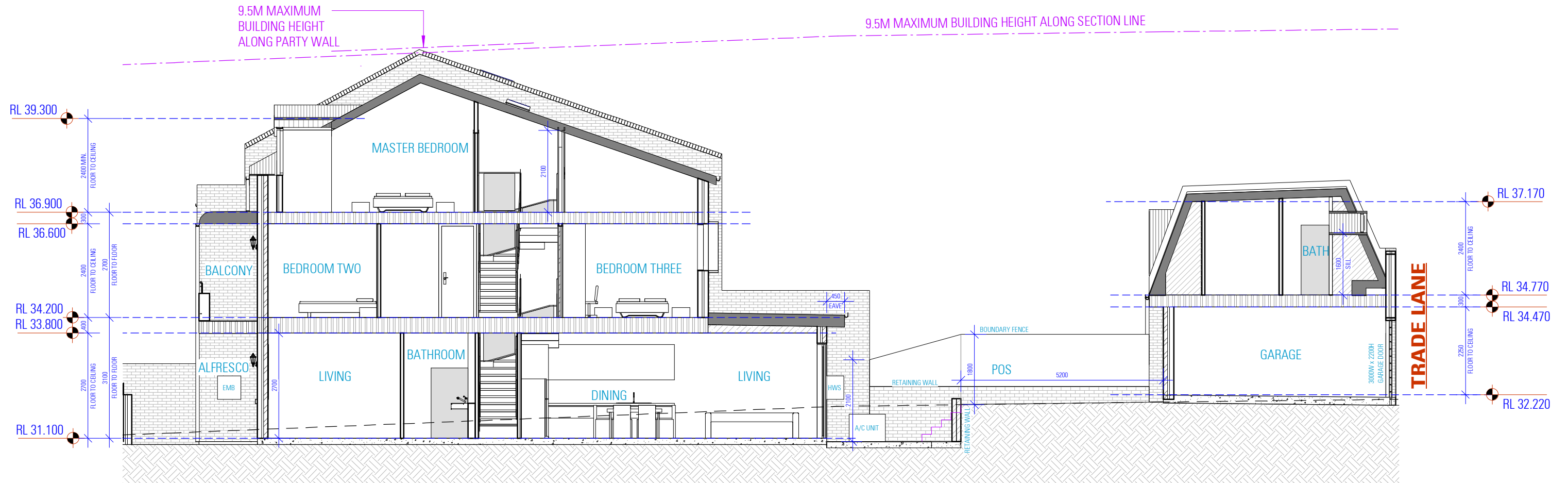
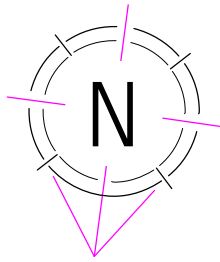
### DRAWING

LONG SECTIONS ALONG TRADE LANE

SCALE 1:100 / A3  
ISSUE G 24.09.2021

DWG No. 20153 - 25





## SECTION THROUGH INDIVIDUAL SITE (TYPICAL)

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### NOTES

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### PROPOSED ATTACHED DWELLINGS

29-37A GILPIN STREET  
CAMPERDOWN NSW 2050

DESIGN ANUPAMA SAHA  
DRAFTED Author

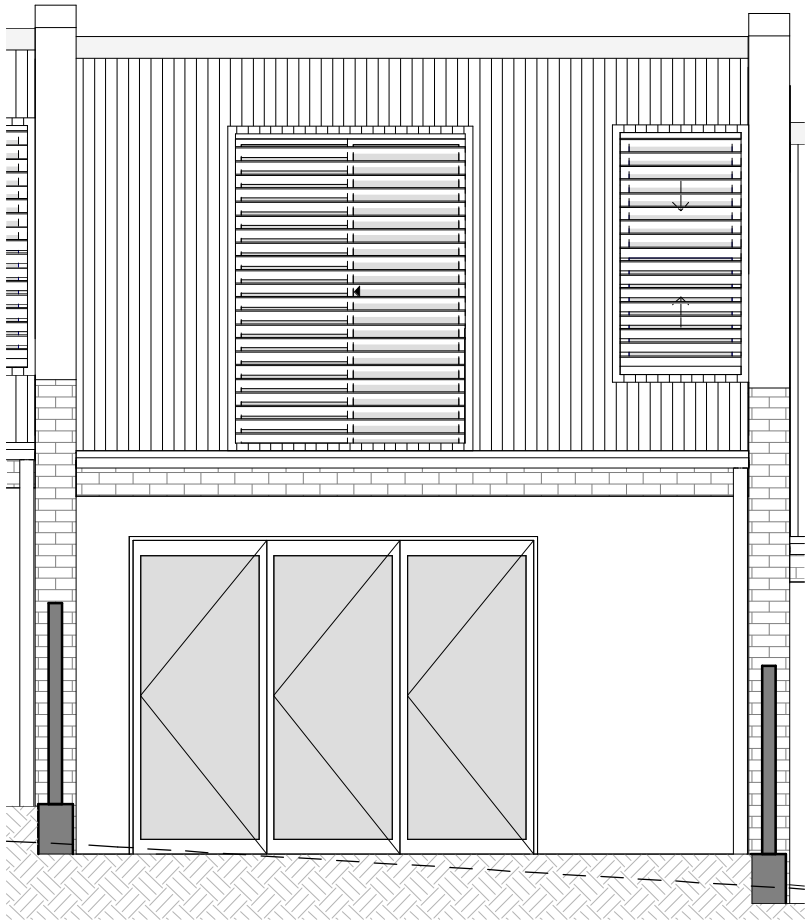
UNIQUE DEVELOPMENTS PTY LTD

### DRAWING

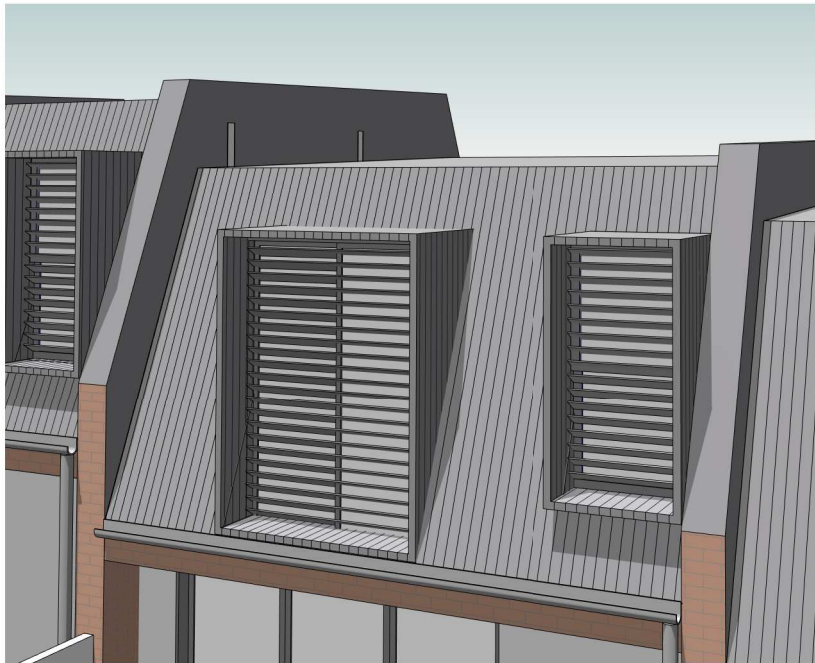
TYPICAL SECTION

SCALE 1 : 100 /  
ISSUE G 24.09.2021

DWG No. 20153 - 30



NORTH ELEVATION



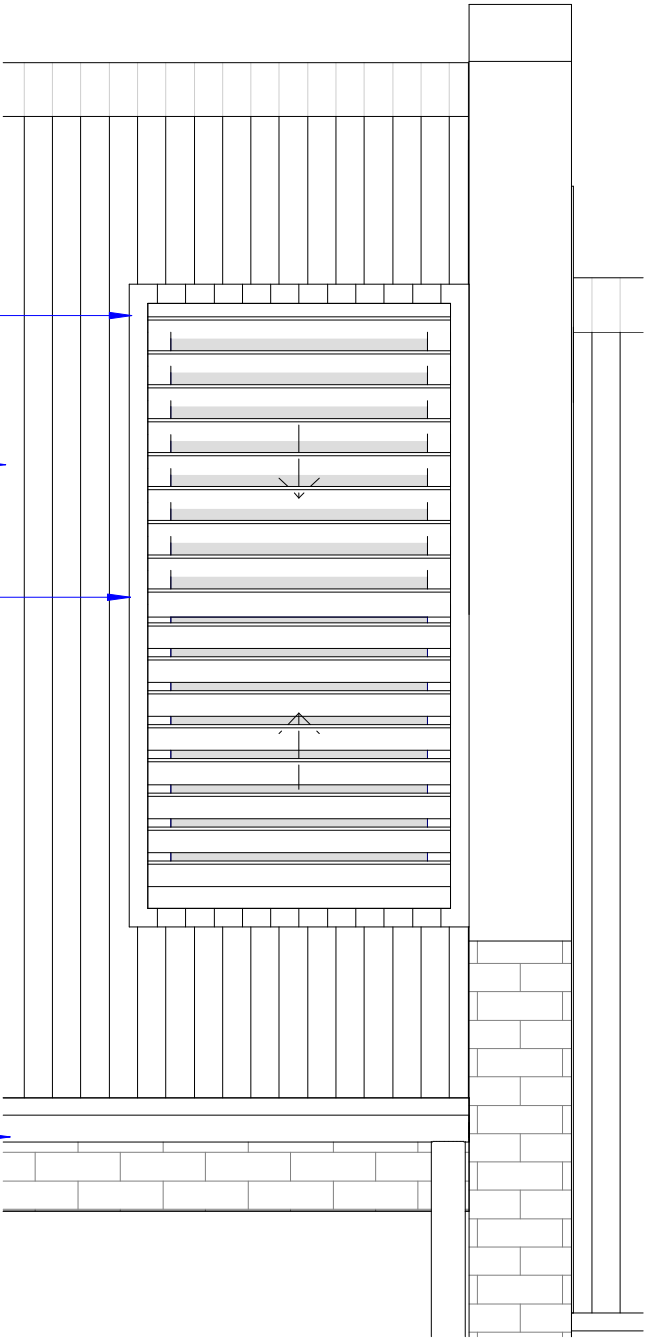
3D VIEW

WINDOW FRAME IN  
COLOURBOND DULUX BASALT

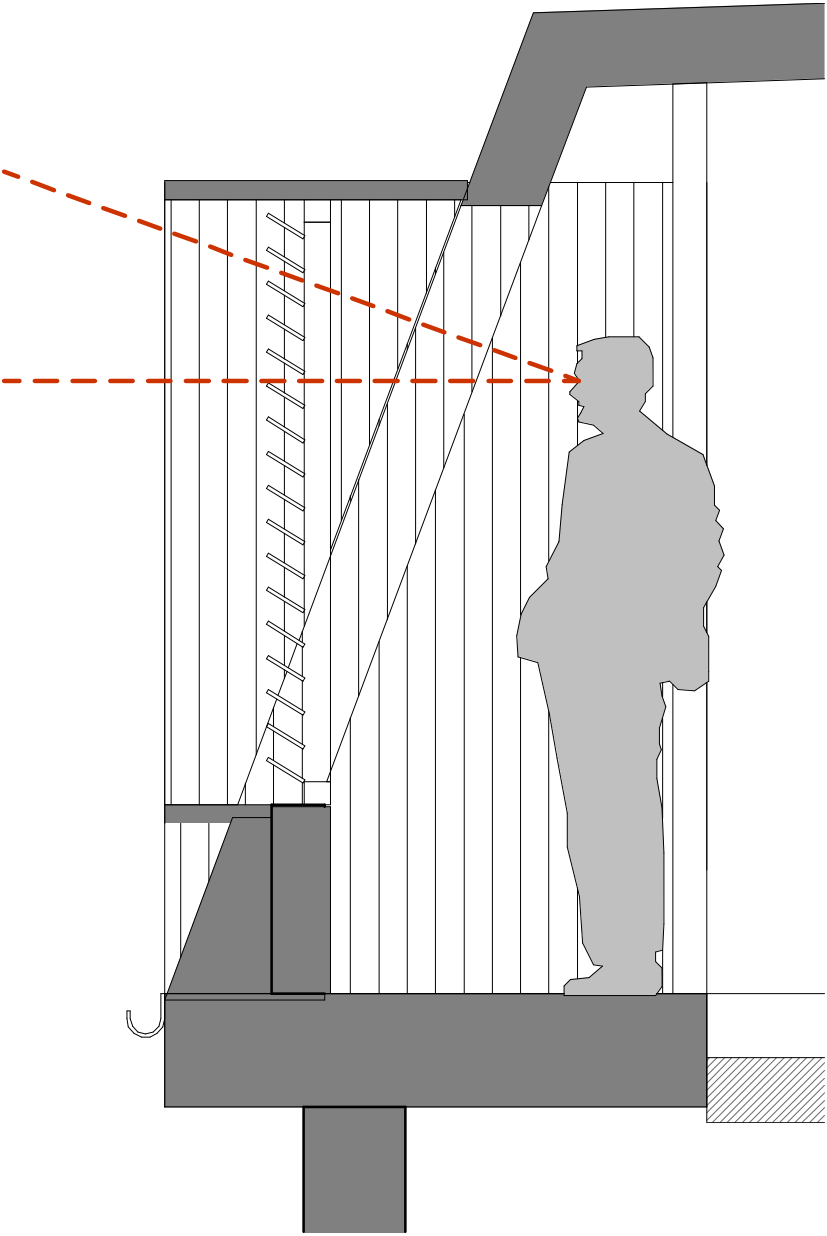
ROOF SHEETING  
LYSAGHT LONGLINE 305  
IN DULUX BASALT

FIXED PRIVACY SCREENS (LOUVERS)  
IN DULUX BASALT

FACE BRICK  
AUSTRAL BRICKS  
GLEDSDOOD BLEND



ELEVATION



SECTION THROUGH PRIVACY LOUVRE

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**PROPOSED ATTACHED DWELLINGS**  
29-37A GILPIN STREET  
CAMPERDOWN NSW 2050  
**DESIGN** ANUPAMA SAHA  
**DRAFTED** VERONIKA OSMANLI UNIQUE DEVELOPMENTS PTY LTD

**DRAWING**  
PRIVACY SCREEN DETAILS  
**SCALE** As / A3  
**ISSUE** 01/2021

**DWG No.** 20153 - 31