

29 November 2023

Our ref: 23NEW6315

Salamander Properties Pty Ltd
147 Soldiers Point Road
Soldiers Point, NSW 2317

Attention: Peter Bacon

Dear Peter,

MOD 4 advice letter for redevelopment of the Bannisters Hotel site 147 Soldiers Point Road, Soldiers Point

Eco Logical Australia Pty Ltd (ELA) was engaged by Salamander Properties Pty Ltd (the proponent) in 2022 to complete a biodiversity assessment for a proposed redevelopment/modification of the existing Bannisters Resort at 147 Soldiers Point Road, Soldiers Point NSW.

Minor changes have been made to the Concepts Approval (No. MP06-0183 (MOD2)), and therefore a review of the previous conclusions, provided within the Salamander Shores Biodiversity Development Assessment Report –Streamlined Assessment Module (Small Area) (ELA 2022) are required to ensure they are appropriate for the new design. This advice letter details the previous conclusions, the changes to the design and determines whether the previous conclusions (ELA 2022) are applicable to MOD 4.

Should you have any questions, please contact Lily Gorrell on lilyg@ecoaus.com.au or 0418636625.

Regards,



Lily Gorrell
Senior Ecologist/BAM Accredited Assessor

STREAMLINED ASSESSMENT BDAR (ELA 2022)

Vegetation and habitat assessments were completed by Ecologists in 2021 and 2022, with remaining native vegetation within the Development Site (Figure 1) aligning with PCT 1626, *Smooth-barked Apple - Broad-leaved Mahogany - Red Bloodwood healthy low open forest on hills at Nelson Bay*. Other areas of the Development Site include mown exotic lawns and planted ornamental species.

The previous report considered all impacts of the proposal, including; the proposed project footprint and the construction and operational footprint for any clearing associated with temporary/ancillary construction facilities and infrastructure to be contained within the Development Site (Figure 1). The areas (ha) of native vegetation are provided below in Table 1.

Table 1: Native vegetation within the Development Site

Vegetation Zone	PCT ID	Condition	PCT Name	Direct impact (ha)
1	1626	High	Smooth-barked Apple - Broad-leaved Mahogany - Red Bloodwood healthy low open forest on hills at Nelson Bay	0.05 ha
2	1626	Low	Smooth-barked Apple - Broad-leaved Mahogany - Red Bloodwood healthy low open forest on hills at Nelson Bay	0.09 ha
Total				0.14

UPDATED BUILDING FOOTPRINT (MOD 4) AND IMPACTS ASSESSED

Figure 1 below shows the updated building footprint, overlayed with the previous Development Footprint and Development Site. The updated footprint (November 2023) is wholly contained within the original Development Site.

As all impacts and credits calculated are based on the removal of all native vegetation within the Development Site, the area of impacts remains unchanged. Based on this the Salamander Shores Biodiversity Development Assessment Report (BDAR) – Streamlined Assessment Module (Small Area) completed by ELA in 2022 is considered to be valid for the updated MOD 4 footprint and no further impacts or credit calculations are required.

The original streamlined BDAR indicated presence of three Hollow-Bearing Trees (HBTs) within/ or in close proximity to the Development Site (Figure 1). The HBT in the north, outside the Development Site boundary will not be impacted. The updated Development Footprint (2023) should be able to avoid impacts to the remaining two HBTs, and it is proposed that these trees be marked and delineated to avoid, to the greatest extent possible, impacting these trees during construction.

The final set of Concept Plans listed below for the modified concept proposed under MOD 4 were relied upon for this assessment:

- Concept Plans prepared by Bates Smart, including:
- Landscape Plan, Drawing No. P01.100, Revision 4, dated 6 November 2023.
- Movement Diagram – Vehicular, Drawing No. P01.200, Revision 4, dated 6 November 2023.
- Movement Diagram – Pedestrian and Cycle, Drawing No. P01.300, Revision 4, dated 6 November 2023.

- Basement Plan 01, Drawing No. P03.B01, Revision 4, dated 6 November 2023.
- Basement Plan 02, Drawing No. P03.B02, Revision 4, dated 6 November 2023.
- Ground Level Plan, Drawing No. P03.000, Revision 4, dated 6 November 2023.
- Level 1 Plan, Drawing No. P03.001, Revision 4, dated 6 November 2023.
- Level 2 Plan, Drawing No. P03.002, Revision 4, dated 6 November 2023.
- Level 3 Plan, Drawing No. P03.003, Revision 4, dated 6 November 2023.
- Level 4 Plan, Drawing No. P03.004, Revision 4, dated 6 November 2023.
- Level 5 Plan, Drawing No. P03.005, Revision 4, dated 6 November 2023.
- Level 6 Plan, Drawing No. P03.006, Revision 4, dated 6 November 2023.
- Level 7 Plan, Drawing No. P03.007, Revision 4, dated 6 November 2023.
- Level 8 Plan, Drawing No. P03.008, Revision 4, dated 6 November 2023.
- Roof Plan, Drawing No. P03.100, Revision 4, dated 6 November 2023.
- Sections Sheet 01 & 02, Drawing No. P09.100, Revision 3, dated 6 November 2023.
- Sections Sheet 03, Drawing No. P09.101, Revision 3, dated 6 November 2023.
- Sections Sheet 04 & 05, Drawing No. P09.102, Revision 3, dated 6 November 2023.
- Elevations Sheet – Soldiers Point Road & East, Drawing No. P09.000, Revision 2, dated 6 July 2023.
- Elevations Sheet – North & South, Drawing No. P09.001, Revision 2, dated 6 July 2023.

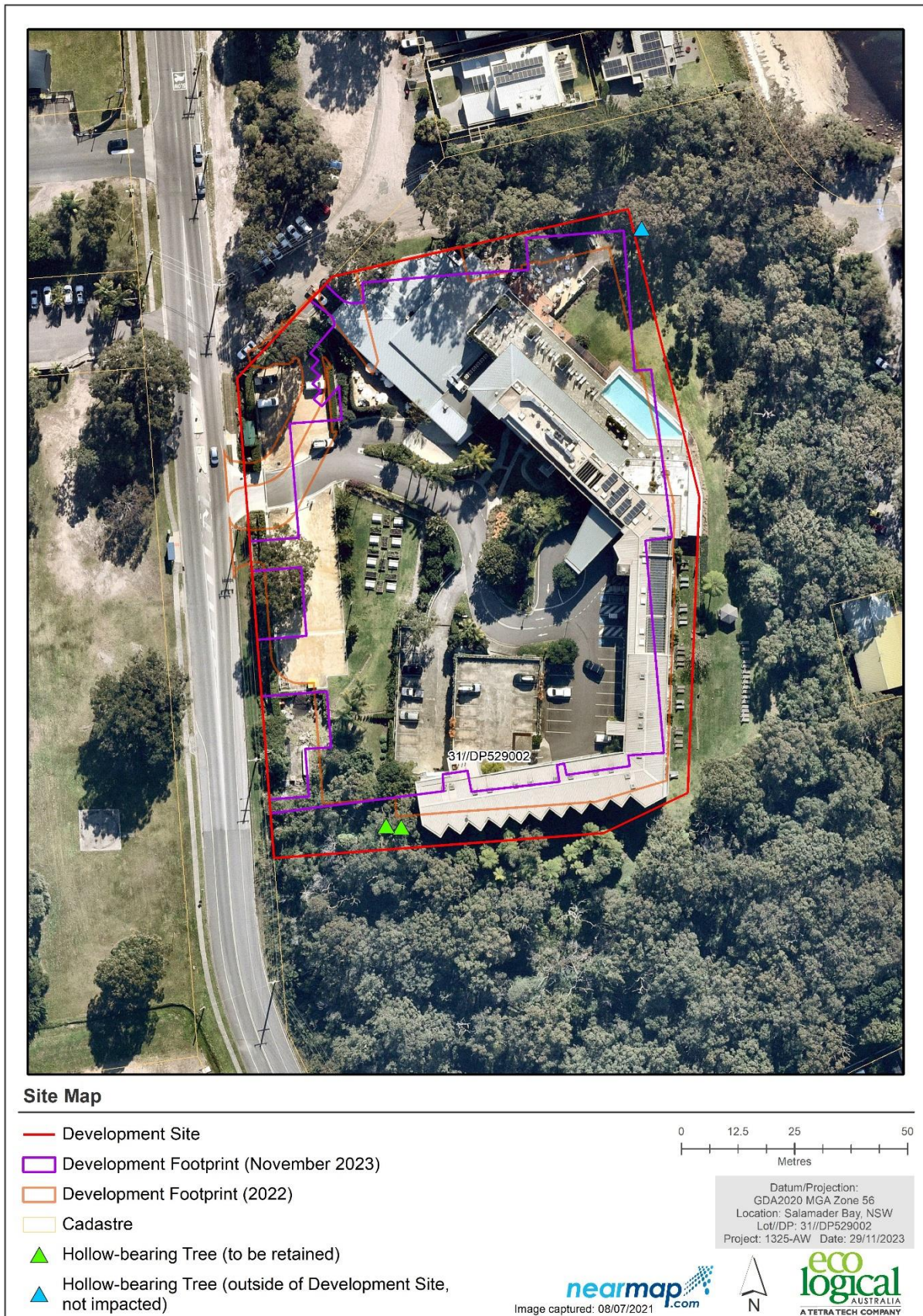


Figure 1: Development Footprint in 2022 and updated in November 2023