

AREAS FOR BASIX CALCULATIONS								
HOUSE No.	LANDSCAPING	ROOF AREA	HOUSE No.	LANDSCAPING	ROOF AREA	COMMON LANDSCAPING		
1	268.48	273.95	11	212.54	272.74	2,1781m ²		
2	252.94	272.74	12	207.94	272.74			
3	252.94	272.74	13	210.43	272.74			
4	242.99	272.74	14	208.17	272.74			
5	798.78	272.74	15	333.80	267.15			
6	779.75	276.39	16	825.34	254.62			
7	243.90	276.39	17	487.93	237.31			
8	248.50	276.39	18	399.74	257.46			
9	215.47	276.39	19	505.06	281.26			
10	286.10	273.95						

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684

NATIONAL TIMBER FRAMING CODE

ALL BRICKWORK TO COMPLY WITH AS 3700

MASONRY IN BUILDING

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FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING

200

300mm ON ORIGINAL

AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for Basix/ Natthers	28-01-21	AMS
B	Issued for DA	02-02-21	AMS

PROJECT :

PROPOSED SENIORS LIVING ESTATE

at LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 2 Caliope St KIAMA NSW

CLIENT : WERITON PROPERTIES

DRAWING : SITE LAYOUT PLAN

CSA JOB NO. : 610-12-331

SCALES as shown

No. IN SET 1 of 16

DATE 02-02-21

SHEET NUMBER

DRAWN BY AMS

DA01B

coble stephens architects

1 EAST STREET • MOSS VALE • NSW 2577

PO BOX 2072 • BOWRAL • NSW 2576

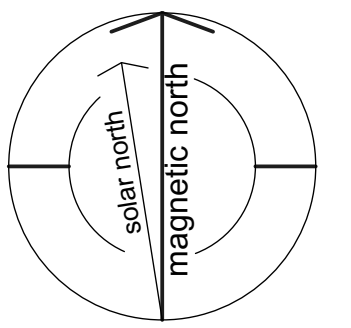
Ph 02 4869 5395 • Fax 02 4869 5495 • cs.arch@bigpond.net.au

Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

SCALE 0 1.0 2.0 3.0 4.0 5.0

THESE DRAWINGS HAVE BEEN PREPARED FOR DEVELOPMENT APPLICATION

Print date 2/02/2021



SITE PLAN - DETAIL
1:200

- LEGEND**
- accessible pathway in accordance with SEPP SL gradients
 - direction of rise of pavement
 - 1:20 gradient of ramp/ path/ road

NOTES

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AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for Basic/ Nathers	28-01-21	AMS
B	Civil chainage added	01-02-21	AMS
C	Issued for DA	02-02-21	AMS

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**SITE PLAN - DETAIL
HOUSES 1, 2, 3, 8, 9,
10, 11, 12 & 13**

CSA JOB NO. : **610-12-331**

SCALES **as shown**

No. IN SET **2 of 16**

DATE **02-02-21**

SHEET
NUMBER

DRAWN BY
AMS

DA 02 C

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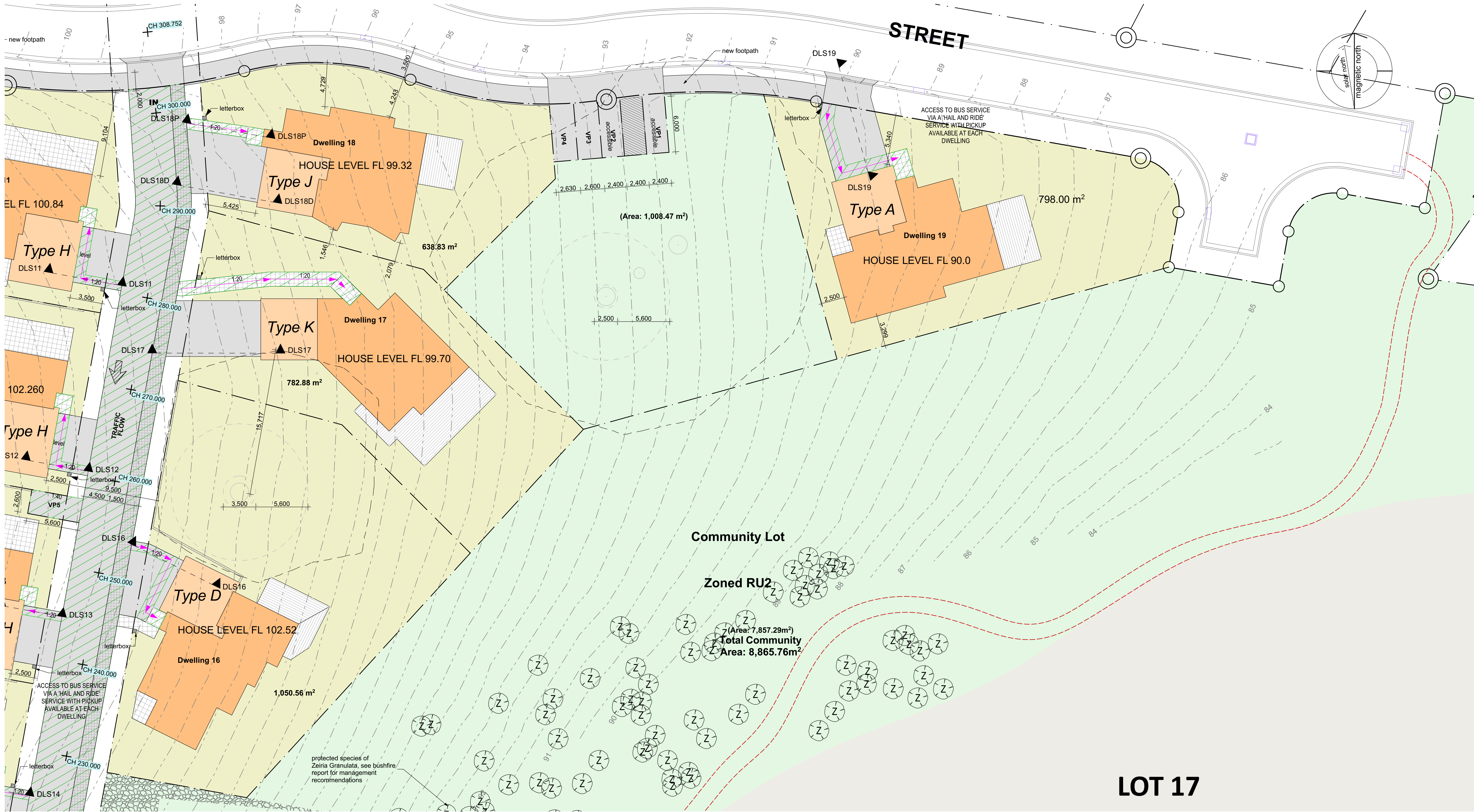
SCALE
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DEVELOPMENT APPLICATION

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING

300mm ON ORIGINAL

Print date 2/02/2021

A1 0 10 20 30 40 50 60 70 80 90 100 ALL DIMENSIONS TO BE CHECKED ON SITE



SITE PLAN - DETAIL
1:200

NOTES

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AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for Basic/ Nathers	28-01-21	AMS
B	Civil chainage added	01-02-21	AMS
C	Issued for DA	02-02-21	AMS

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**SITE PLAN - DETAIL
HOUSES 16, 17, 18 &
19**

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **3 of 16**

DATE **02-02-21**

DRAWN BY
AMS

SHEET
NUMBER

DA 03 C

LEGEND

- accessible pathway in accordance
with SEPP SL gradients
- direction of rise of pavement
- 1:20 gradient of ramp/ path/ road

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FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING

300mm ON ORIGINAL

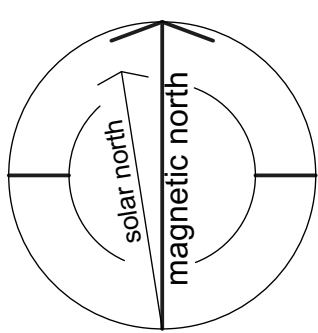
A1 0 10 20 30 40 50 60 70 80 90 100 ALL DIMENSIONS TO BE CHECKED ON SITE

OLD SADDLEBA

BOUNDARY 106

BOUNDARY 25.435m

SITE PLAN - DETAIL
1:200



NOTES

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FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING

300mm ON ORIGINAL

AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for Basic/ Nathers	28-01-21	AMS
B	Civil chainage added	01-02-21	AMS
C	Issued for DA	02-02-21	AMS

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

CLIENT : **WERITON
PROPERTIES**

DRAWING :
**SITE PLAN - DETAIL
HOUSES 4, 5, 6, 7, 14 &
15**

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **4 of 16**

DATE **02-02-21** SHEET
NUMBER

DRAWN BY **AMS** **DA04C**

Print date 2/02/2021

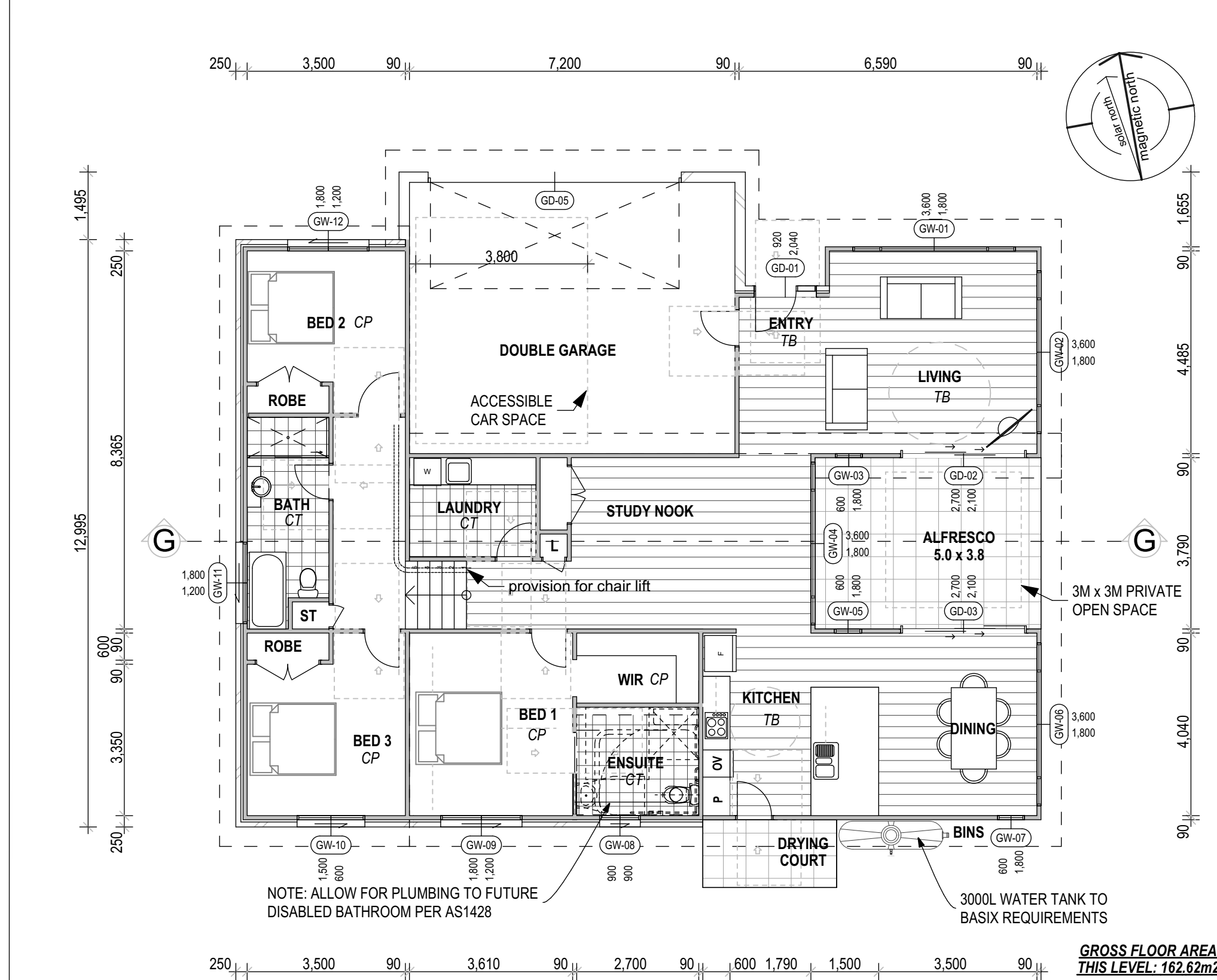
LEGEND

- accessible pathway in accordance
with SEPP SL gradients
- direction of rise of pavement
1:20 gradient of ramp/ path/ road

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SCALE
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DEVELOPMENT APPLICATION



TYPE G - HOUSE 1 & 10 - FLOOR PLAN
1:100

GROSS FLOOR AREA
THIS LEVEL: 162.62m²

BUSHFIRE NOTE: All houses to reach BAL 29 bushfire construction level - see notes for compliance and construction measures required

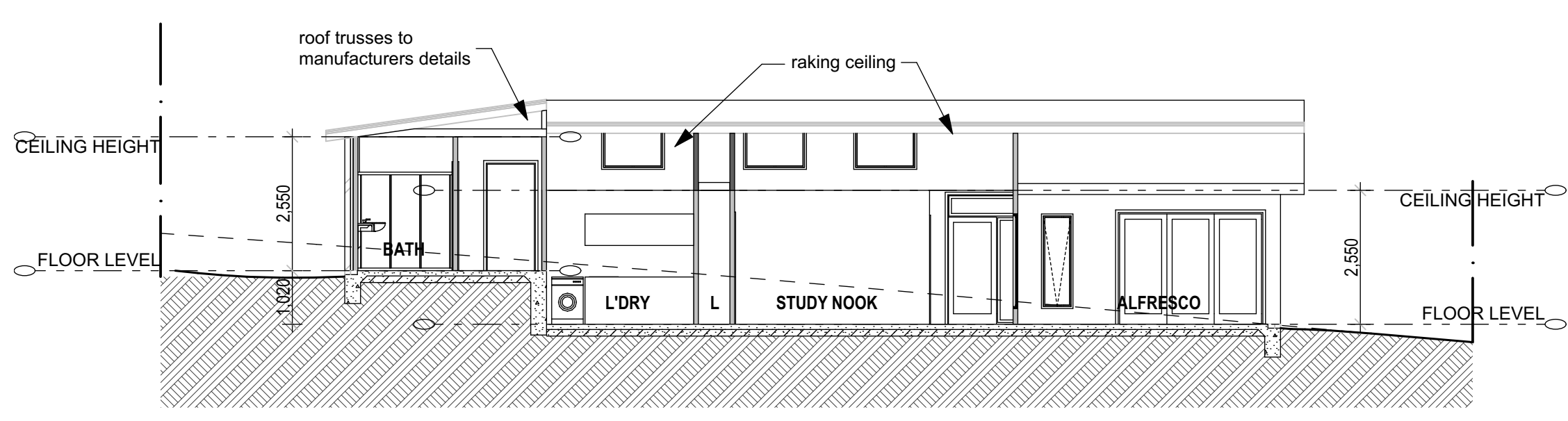
DOOR SCHEDULE TYPE G HOUSE 1, 10					
ID	GD-01	GD-02	GD-03	GD-04	GD-05
Height	2,040	2,100	2,100	2,040	2,350
Width	920	2,700	2,700	820	5,600
3D Front View					

DOOR SCHEDULE TYPE G HOUSE 1 & 10

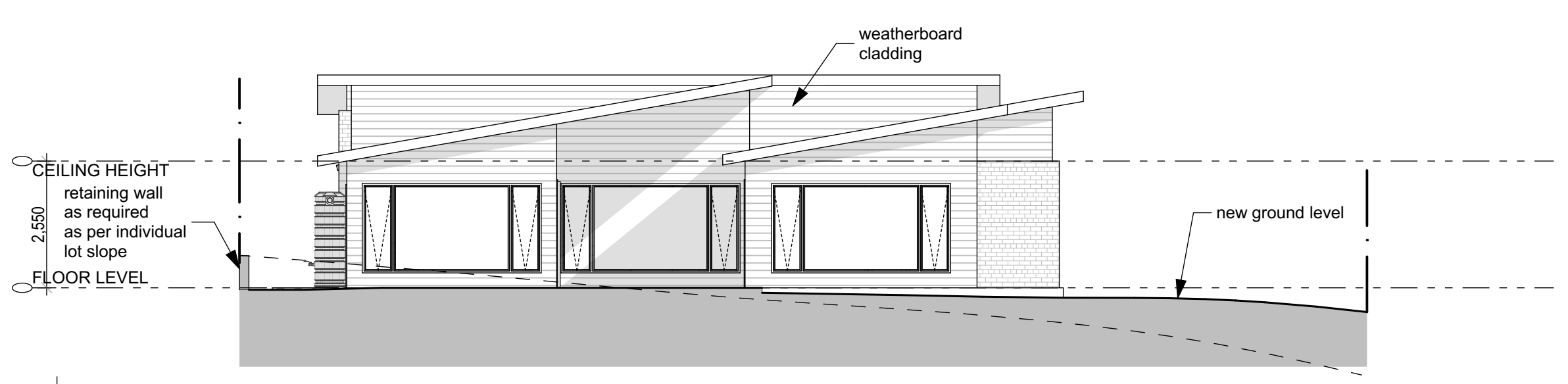
WINDOW SCHEDULE TYPE G HOUSE 1, 10								
ID	GW-01	GW-02	GW-03	GW-04	GW-05	GW-06	GW-07	GW-08
Height	1,800	1,800	1,800	1,800	1,800	1,800	1,800	900
Width	3,600	3,600	600	3,600	600	3,600	600	900
3D Front View								

GW-09	GW-10	GW-11	GW-12	GW-13	GW-14	GW-15
1,200	600	1,200	1,200	900	900	900
1,800	1,500	1,800	1,800	1,200	1,200	1,200

WINDOW SCHEDULE TYPE G HOUSE 1 & 10



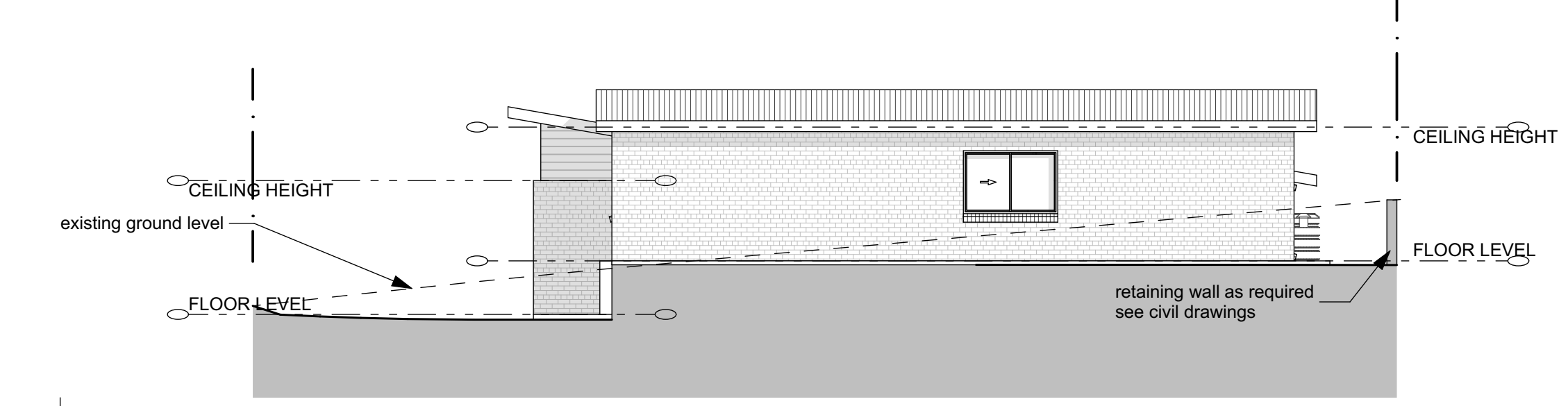
TYPE G HOUSE 1 & 10 - SECTION
1:100



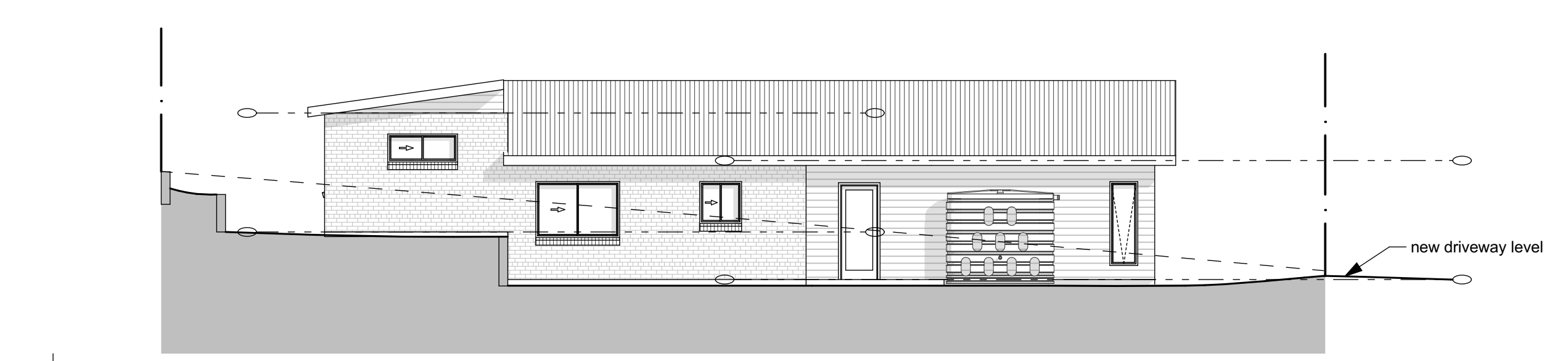
TYPE G - HOUSE 1 & 10 EAST ELEVATION
1:100



TYPE G - HOUSE 1 & 10 NORTH ELEVATION
1:100



TYPE G - HOUSE 1 & 10 WEST ELEVATION
1:100



TYPE G - HOUSE 1 & 10 SOUTH ELEVATION
1:100

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684 NATIONAL TIMBER FRAMING CODE

ALL BRICKWORK TO COMPLY WITH AS 3700 MASONRY IN BUILDING

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WALL LEGEND

- 90mm timber stud
- 250mm brick veneer with wall insulation
- 230mm double brick

ELECTRICAL LEGEND

- double fluorescent light
- LED recessed downlight
- LED pendant or ceiling mounted
- combined heat lamp/ exhaust fan
- LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.

Circulation space required around doorways

Circulation space required for showers

Circulation space required around toilets

Circulation space required around handbasins

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING

200

300mm ON ORIGINAL

AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for Basic/ Natthers	28-01-21	AMS
B	Issued for DA	02-02-21	AMS

PROJECT :

PROPOSED SENIORS LIVING ESTATE

at LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 2 Caliope St KIAMA NSW

CLIENT : WERITON PROPERTIES

DRAWING : TYPE G - HOUSE 1 & 10 - PLANS, ELEVATIONS, SECTION

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **5 of 16**

DATE **02-02-21** SHEET NUMBER

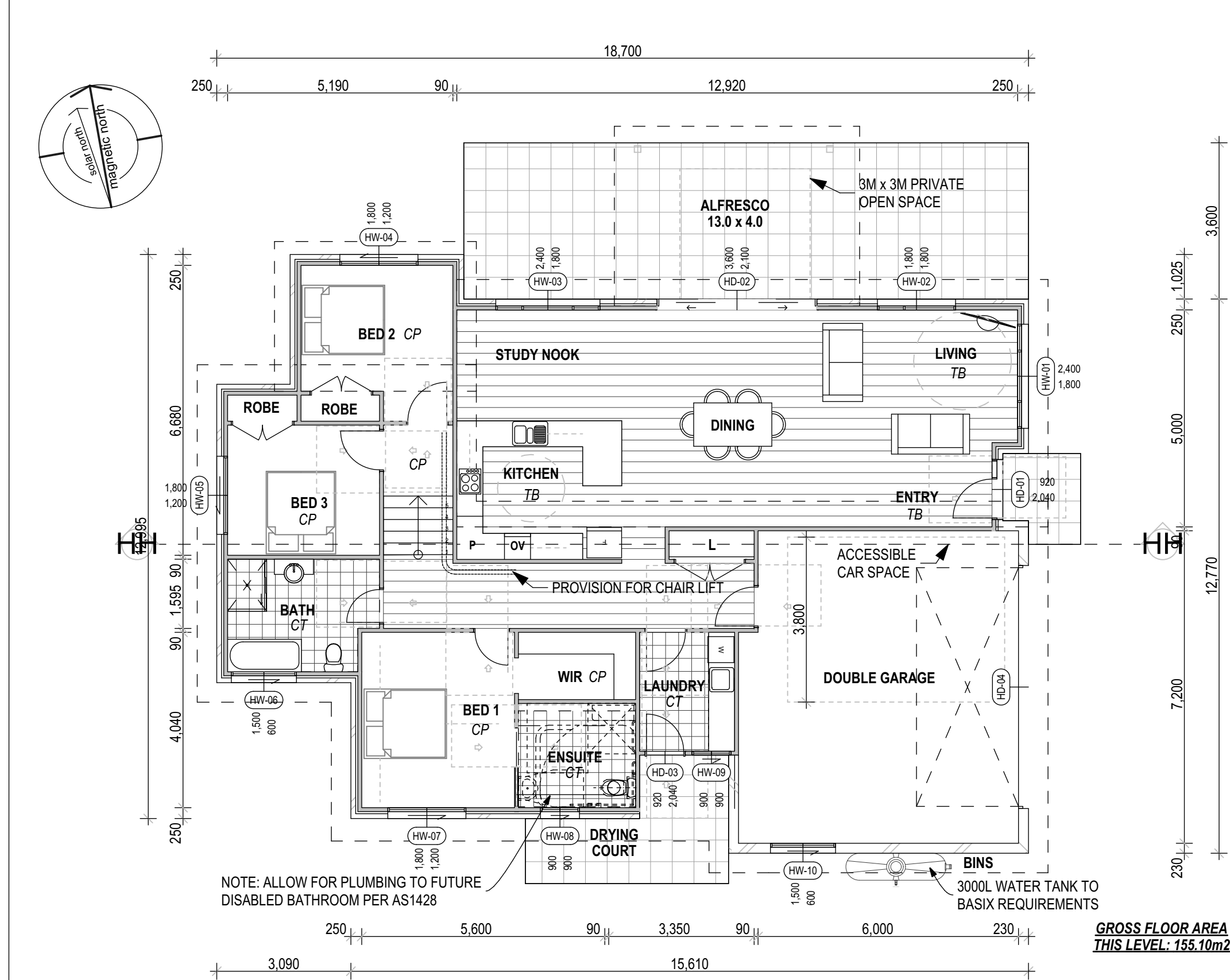
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Print date 2/02/2021

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SCALE 0 1.0 2.0 3.0 4.0 5.0
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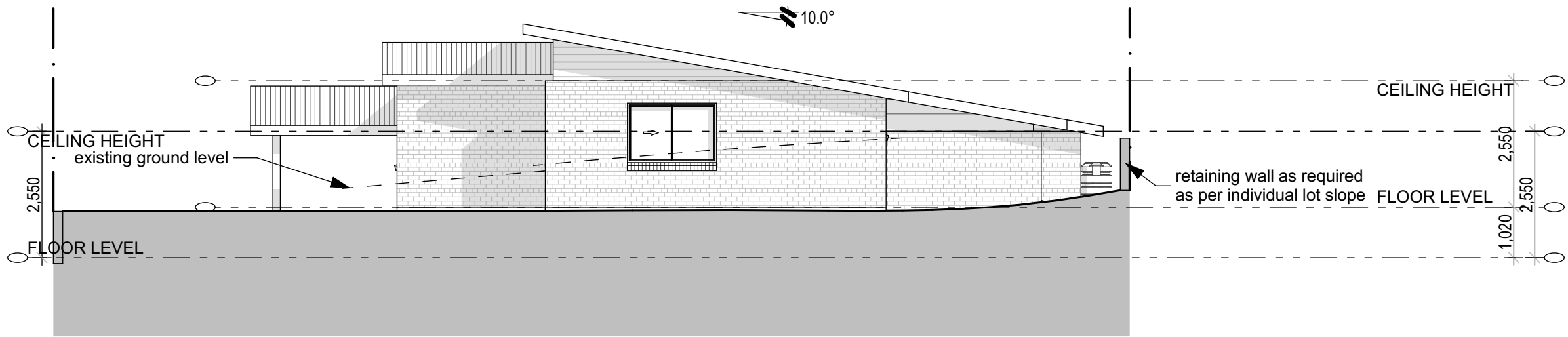


TYPE H - HOUSES 2, 3, 4, 5, 11, 12, 13, 14 PLAN
1:100

BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE H - HOUSES 2, 3, 4, 5, 11, 12, 13, 14 EAST ELEVATION
1:100



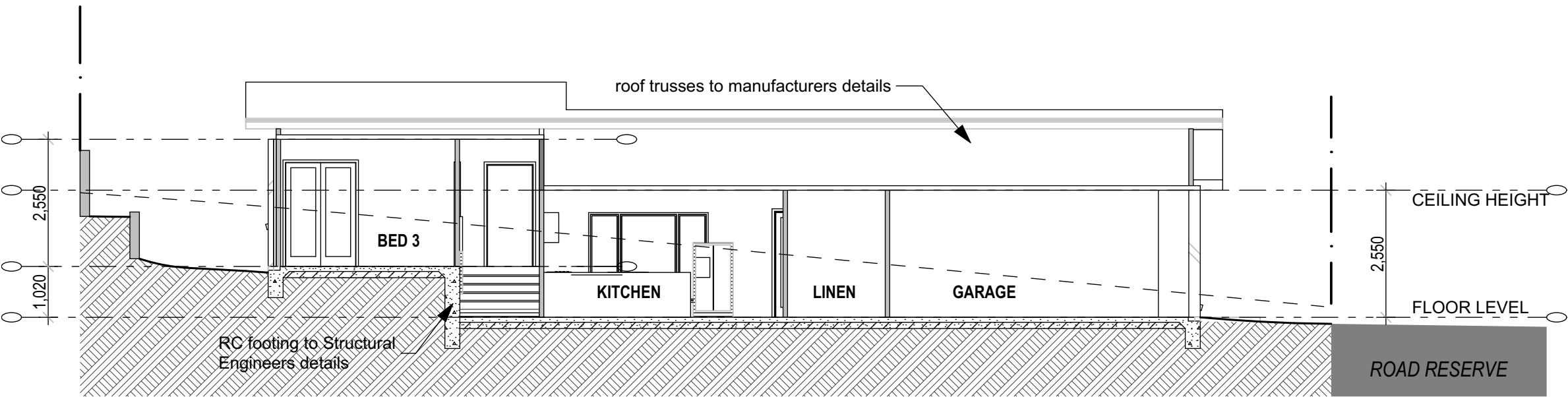
TYPE H - HOUSES 2, 3, 4, 5, 11, 12, 13, 14 WEST ELEVATION
1:100

DOOR SCHEDULE TYPE H HOUSE 2, 3, 4, 5, 11, 12, 13, 14					
ID	HD-01	HD-02	HD-03	HD-04	HD-04
Height	2,040	2,100	2,040	2,040	2,350
Width	920	3,600	920	920	5,600
3D Front View					

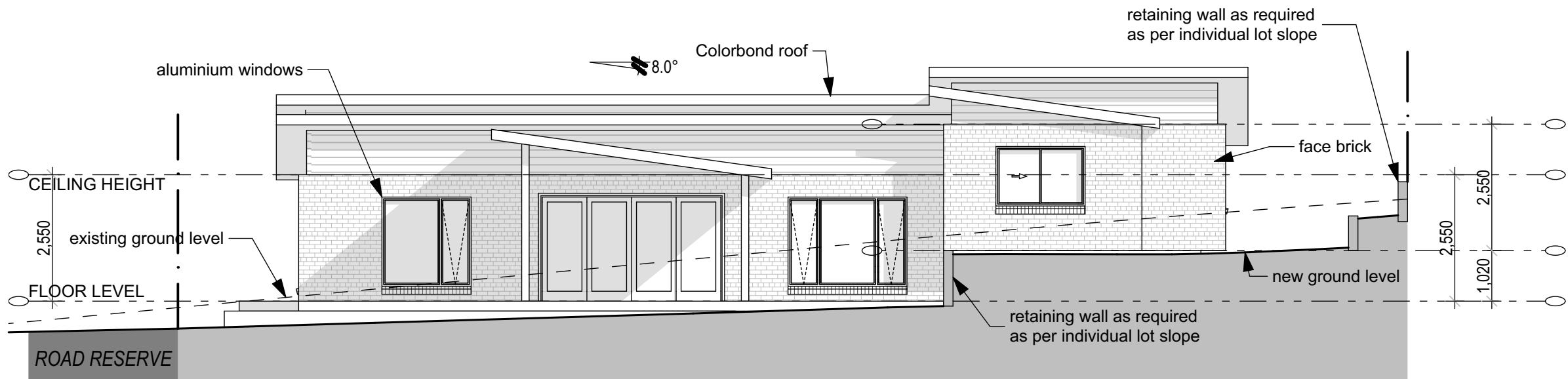
DOOR SCHEDULE TYPE H HOUSE 2, 3, 4, 5, 11, 12, 13, 14

WINDOW SCHEDULE TYPE H HOUSE 2, 3, 4, 5, 11, 12, 13, 14									
ID	HW-01	HW-02	HW-03	HW-04	HW-05	HW-06	HW-07	HW-08	HW-09
Height	1,800	1,800	1,800	1,200	1,200	600	1,200	900	900
Width	2,400	1,800	2,400	1,800	1,800	1,500	1,800	900	900
3D Front View									

WINDOW SCHEDULE TYPE H HOUSE 2, 3, 4, 5, 11, 12, 13, 14



TYPE H - SECTION HH
1:100



TYPE H - HOUSES 2, 3, 4, 5, 11, 12, 13, 14 NORTH ELEVATION
1:100



TYPE H - HOUSES 2, 3, 4, 5, 11, 12, 13, 14 SOUTH ELEVATION
1:100

BASIX Project Commitments		
Proposed:	Multi-dwelling houses	
Address:	43 Old Saddleback Road, Kiama NSW 2533	
Lot No / DP:	100/751279	
Water (All dwellings)		
Fixtures	Specification	
Shower head rating	3 star (> 4.5 but <= 6 L/min)	
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	3000L	
Connected to:	Garden and lawn areas	
All toilets	Yes	
Laundry	Yes	
Thermal Comfort		
External walls	Requirements	
Brick veneer	All houses excl. 19 & 20, unseparated walls as per plans	Medium colour, R1.5bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, unseparated walls as per plans	Medium colour, R2.1bulk + Foil (reflective both sides)
Internal walls	Requirements	
Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls	Requirements	
Brick, plasterboard	No insulation	
Ceiling	Requirements	
External ceiling - Plasterboard	All houses	R4.0 bulk insulation
Roof	Requirements	
Corrugated iron	All houses	Light Colour (solar absorptance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Floors	Requirements	
Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation
Windows	Requirements	
Aluminium frame ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Argon fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bifold, awning and tilt 'n' turn type windows/doors)
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Arg. Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double casement)
Downlights	Requirements	
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of 1 per 10m²	
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of 1 per 10m²	
Overshadowing details	Requirements	
Site	Orientation of nominal north elevation	
Orientation of nominal north elevation	As shown on plans	
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed to all bathrooms, ensuites and internal laundry's at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and NCC/BSI protocols. Contact the assessor above if alterations are required.		
Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star
Ventilation	Requirements	
Bathroom exhaust	Individual fan, not ducted	
Kitchen exhaust	Manual switch on/off	
Laundry	Individual fan, not ducted	
Control switch	Manual switch on/off	
Cooling	Requirements	
Individual systems - living areas	1-phase airconditioning	
Individual systems - bedroom areas	1-phase airconditioning	
Heating	Requirements	
Individual systems - living areas	1-phase airconditioning	
Individual systems - bedroom areas	1-phase airconditioning	
Appliances	Requirements	
Cooktop/oven	Gas cooktop & electric oven	
Ventilated fridge space	Yes	
Private outdoor clothes drying line	Yes	

NOTES

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WALL LEGEND

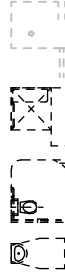
90mm timber stud
250mm brick veneer with wall insulation
230mm double brick

ELECTRICAL LEGEND

double fluorescent light
LED recessed downlight
LED pendant or ceiling mounted
combined heat lamp/ exhaust fan
LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.



Circulation space required around doorways

Circulation space required for showers

Circulation space required around toilets

Circulation space required around handbasins

AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for BASIX/ NatHERS	28-01-21	AMS
B	Issued for DA	02-02-21	AMS

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**TYPE H - HOUSE 2, 3,
4, 5, 11, 12, 13, 14 -
PLANS, ELEVATIONS,
SECTION**

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **6 of 16**

DATE **02-02-21**

DRAWN BY **AMS**

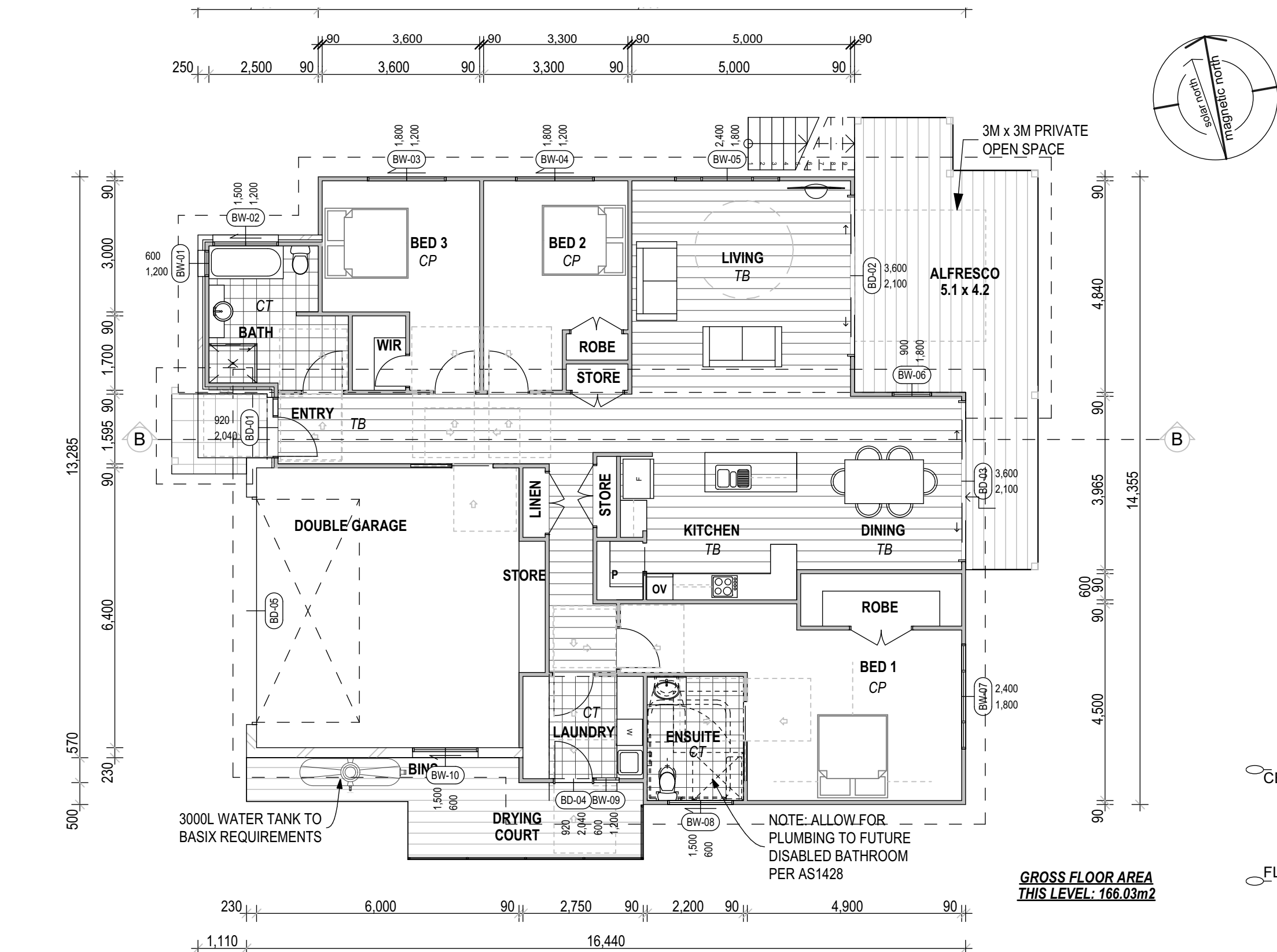
SHEET **DA 06 B**

NUMBER

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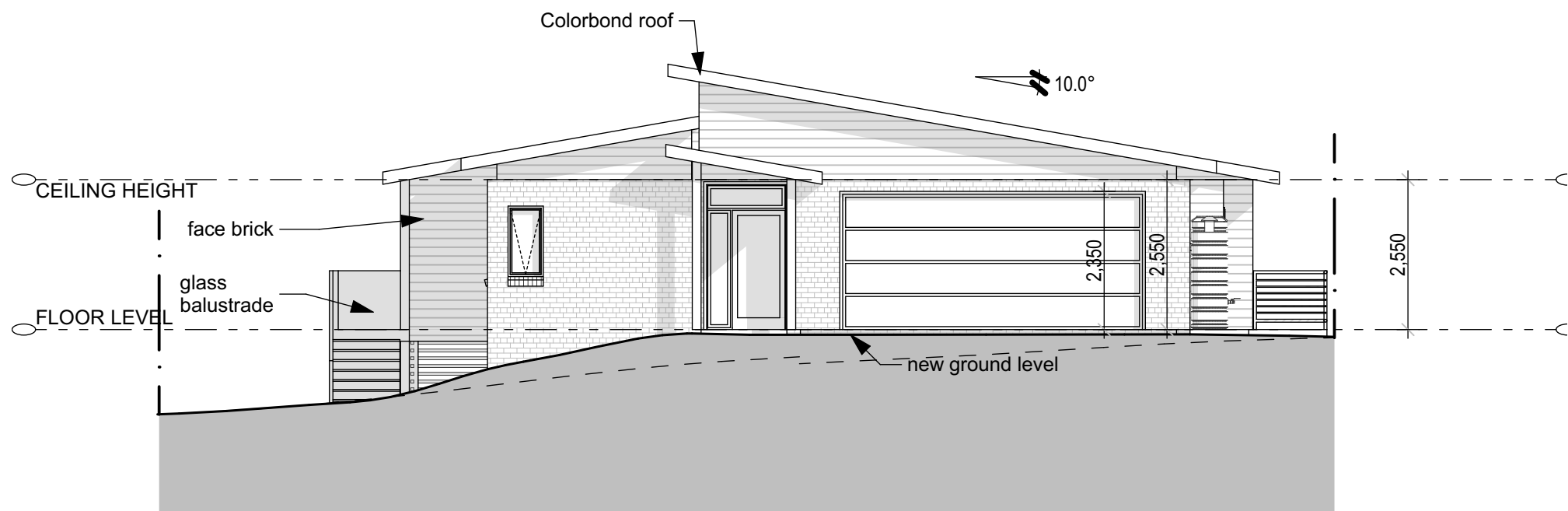
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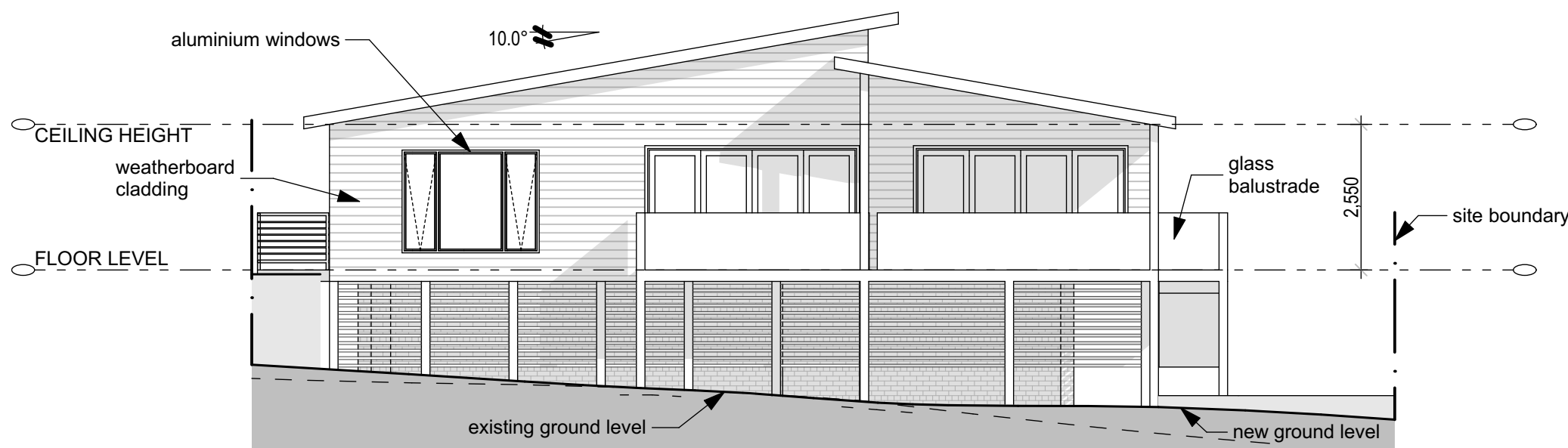


TYPE B - HOUSE 6, 7, 8, 9 PLAN
1:100

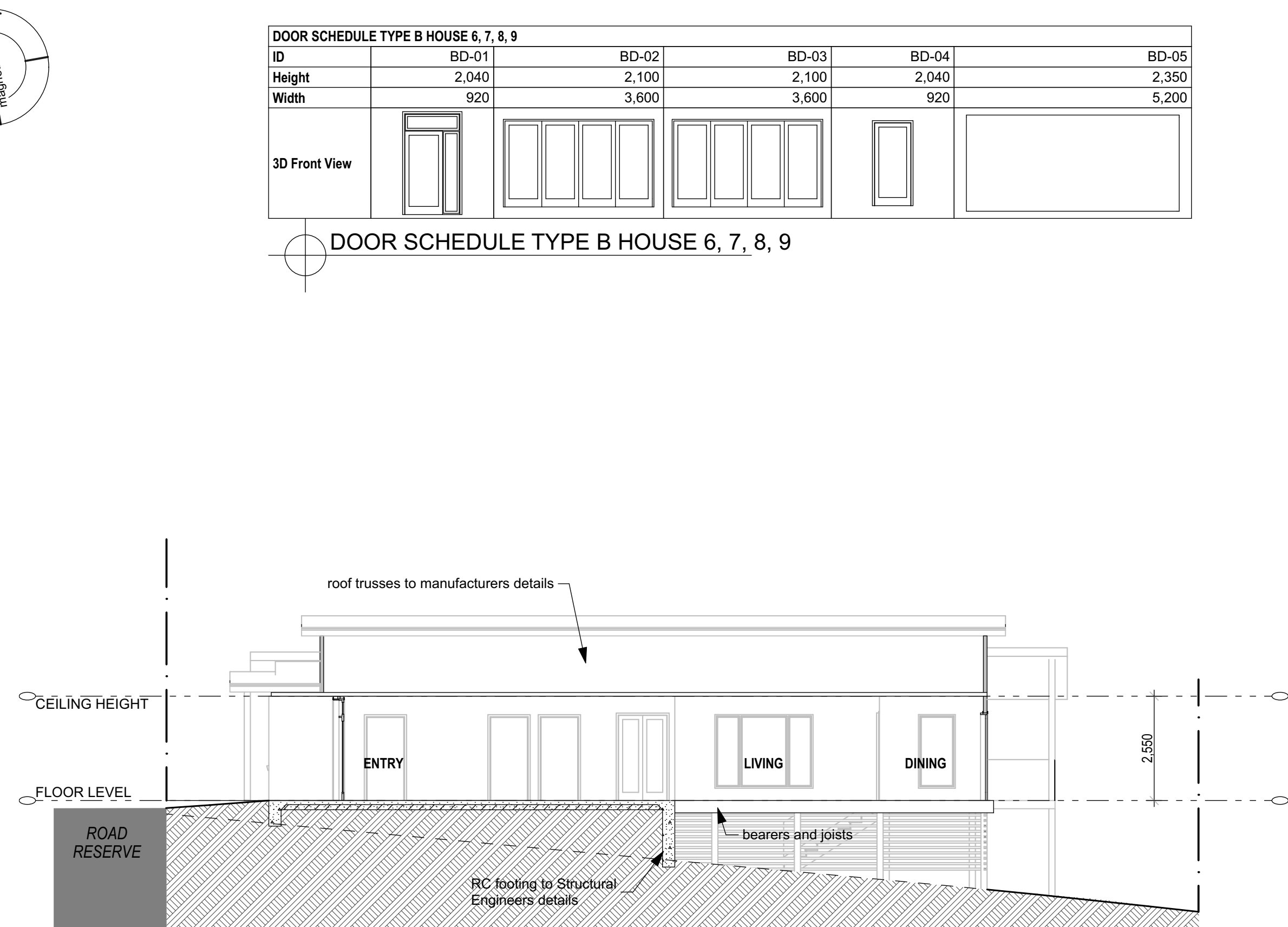
BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE B - HOUSE 6, 7, 8, 9 - WEST ELEVATION
1:100



TYPE B - HOUSE 6, 7, 8, 9 - EAST ELEVATION
1:100

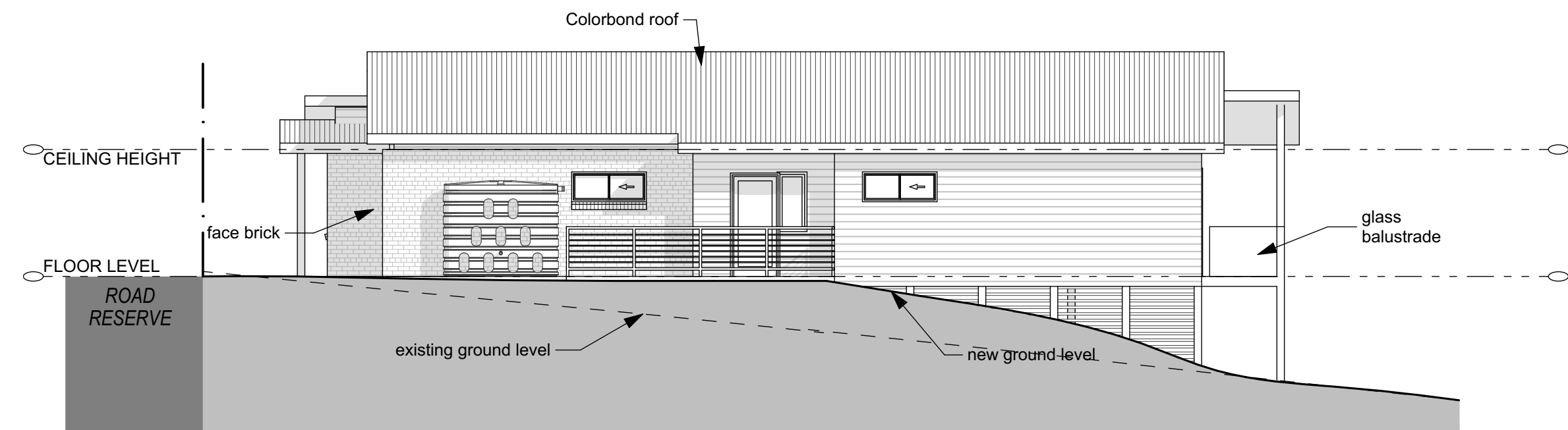


TYPE B - SECTION BB
1:100



TYPE B - HOUSE 6, 7, 8, 9 - NORTH ELEVATION
1:100

LEVELS FOR ELEVATIONS MODELLED FROM HOUSE 11 - ALL LOTS WILL VARY



TYPE B - HOUSE 6, 7, 8, 9 - SOUTH ELEVATION
1:100

DOOR SCHEDULE TYPE B HOUSE 6, 7, 8, 9					
ID	BD-01	BD-02	BD-03	BD-04	BD-05
Height	2,040	2,100	2,100	2,040	2,350
Width	920	3,600	3,600	920	5,200
3D Front View					

DOOR SCHEDULE TYPE B HOUSE 6, 7, 8, 9

BASIX Project Commitments		
Proposed: Multi-dwelling houses		
Address: 43 Old Saddleback Road, Kiama NSW 2533		
Lot No / DP: 100/751279		
Water (All dwellings)		
Features	Specification	
Shower head rating	3 star (> 4.5 but <= 6 L/min)	
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	300L	
Connected to: Gardens and lawn areas	Yes	
All toilets	Yes	
Laundry	Yes	
Thermal Comfort		
External walls		
Requirements		
Brick veneer	All houses excl. 19 & 20, uncoated walls as per plans	Medium colour, R1.8 Bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, uncoated walls as per plans	Medium colour, R2.1 Bulk + Foil (reflective both sides)
Internal walls		
Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls		
Brick, plasterboard	No insulation	
Ceiling		
External ceiling - Plasterboard	All houses	R4.0 bulk insulation
Roof		
Corrugated iron	All houses	Light Colour (solar absorptance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Floors		
Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 13, 19, 20 & 21	R1.0 bulk insulation
Windows		
Aluminium frame ALM-003-01	All houses; awning windows and hinge doors	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung)
Downlights		
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where	
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Overshadowing details		
		Adjoining units calculated into model calculations
Site		
Orientation of nominal north elevation		As shown on plans
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed to all bathrooms, ensuite and internal laundry's at the rate of 0.04 meters squared per exhaust fan penetration. IF ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and NCC/BS protocols. Contact the assessor above if alterations are required.		
Energy (All Dwellings)		
Hot water		
Individual system		Specification Gas instantaneous
		Rating 6 star
Ventilation		
Bathroom exhaust		Individual fan, not ducted
Control switch		Manual switch on/off
Kitchen exhaust		Individual fan, not ducted
Control switch		Manual switch on/off
Laundry		Individual fan, not ducted
Control switch		Manual switch on/off
Cooling		
Individual systems - living areas		1-phase air conditioning
Individual systems - bedroom areas		1-phase air conditioning
		5 star
Heating		
Individual systems - living areas		1-phase air conditioning
Individual systems - bedroom areas		1-phase air conditioning
		5 star
Appliances		
Cooktop/oven		Gas cooktop & electric oven
Ventilated fridge space		Yes
Private outdoor clothes drying line		Yes

WINDOW SCHEDULE TYPE B HOUSE 6, 7, 8, 9					
ID	BW-01	BW-02	BW-03	BW-04	BW-05
Height	1,200	1,200	1,200	1,200	1,800
Width	600	1,500	1,800	1,800	2,400
3D Front View					

BW-06	BW-07	BW-08	BW-09	BW-10
1,800	1,800	600	1,200	600
900	2,400	1,500	600	1,500

WINDOW SCHEDULE TYPE B HOUSE 6, 7, 8, 9

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684
NATIONAL TIMBER FRAMING CODE
ALL BRICKWORK TO COMPLY WITH AS 3700
MASONRY IN BUILDING

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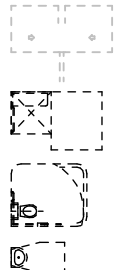
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Any discrepancy in the document is to be referred to the company for clarification before proceeding with any work.

WALL LEGEND

	90mm timber stud
	250mm brick veneer with wall insulation
	230mm double brick
ELECTRICAL LEGEND	
	double fluorescent light
	LED recessed downlight
	LED pendant or ceiling mounted
	combined heat lamp/ exhaust fan
	LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.



Circulation space required around doorways

Circulation space required for showers

Circulation space required around toilets

Circulation space required around handbasins

AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for Basix/ Nateths	28-01-21	AMS
B	Issued for DA	02-02-21	AMS

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**TYPE B - HOUSE 6, 7,
8, 9 - PLANS,
ELEVATIONS,
SECTION**

CSA JOB NO. : 610-12-331

SCALES as shown No. IN SET 7 of 16

DATE 02-02-21 SHEET

DRAWN BY NUMBER

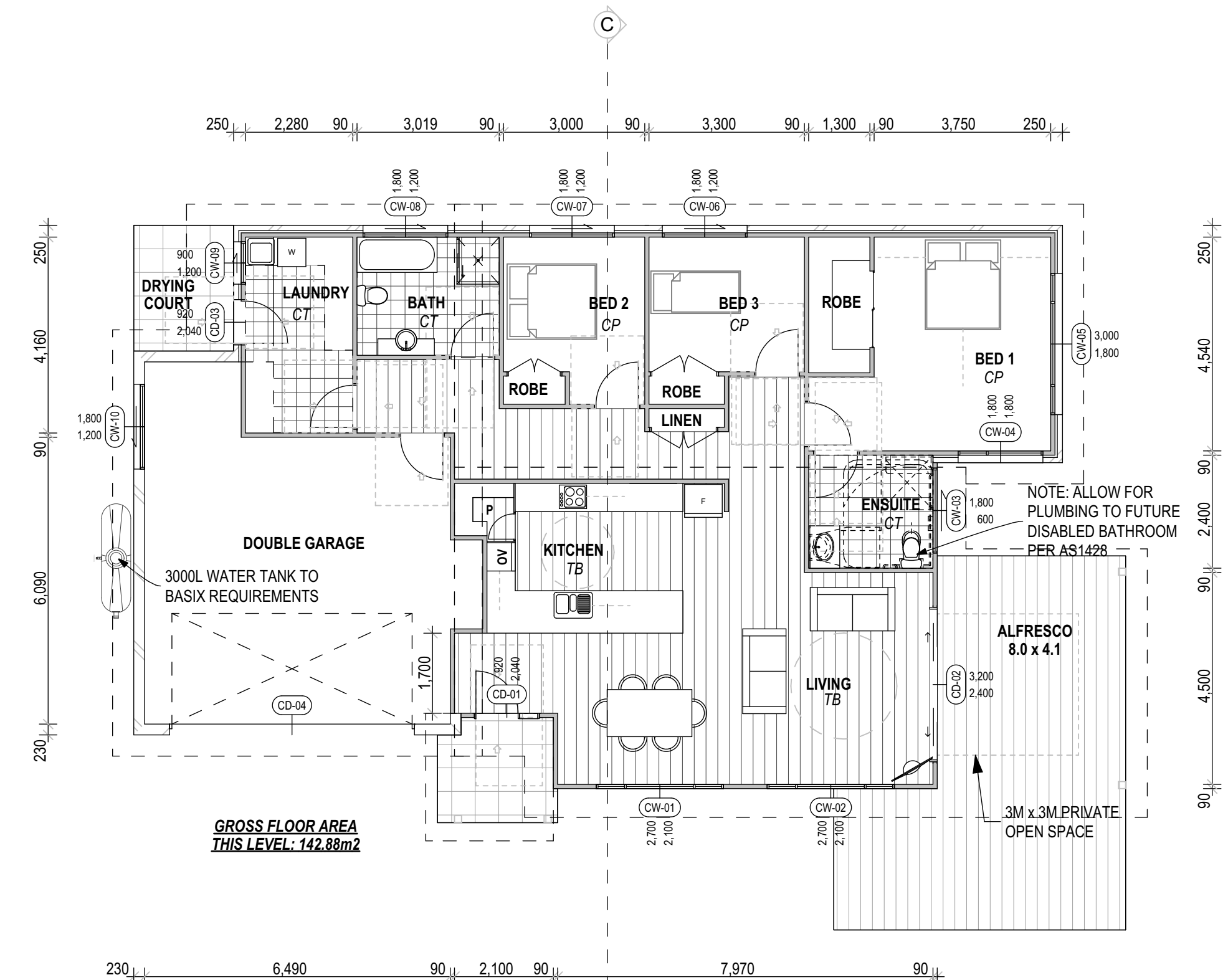
AMS DA07B

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Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

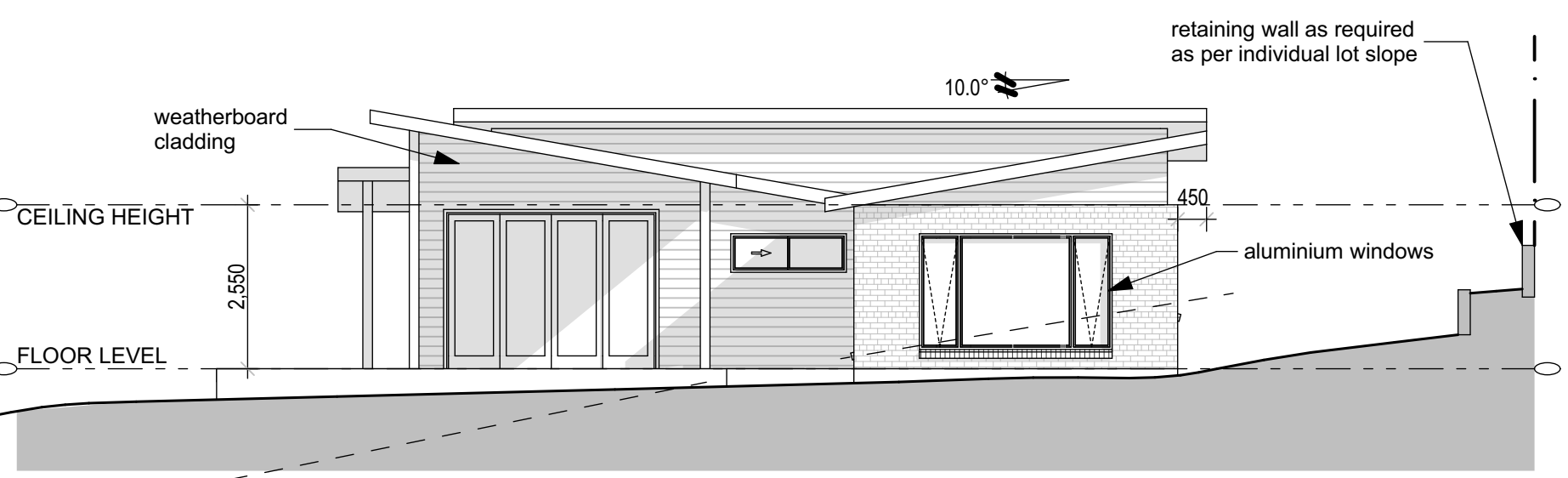
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THESE DRAWINGS HAVE BEEN PREPARED FOR
DEVELOPMENT APPLICATION

Print date 2/02/2021



TYPE C - HOUSE 15 PLAN
1:100

BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE C - NORTH ELEVATION
1:100



TYPE C - SOUTH ELEVATION
1:100

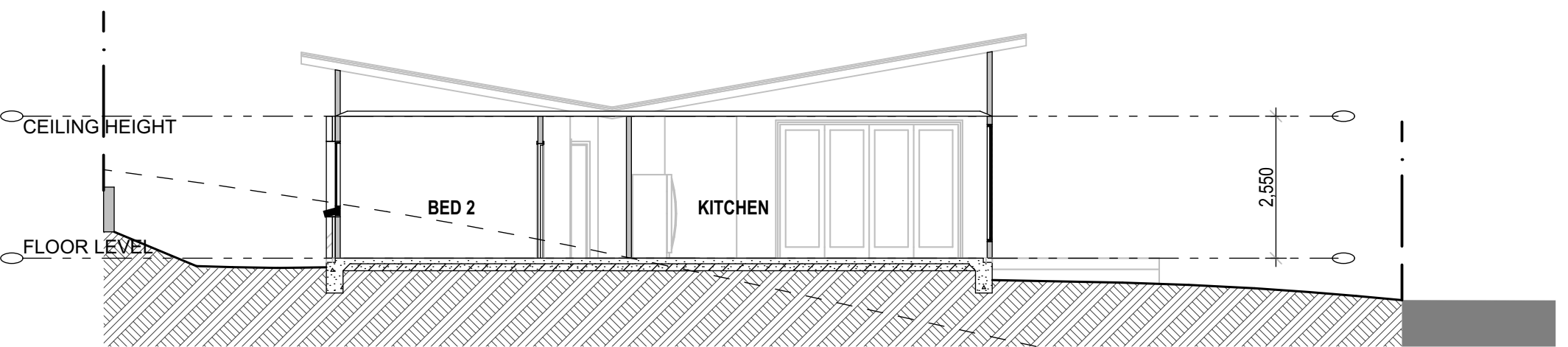
WINDOW SCHEDULE TYPE C HOUSE 15								
ID	CW-01	CW-02	CW-03	CW-04	CW-05	CW-06	CW-07	CW-08
Height	2,100	2,100	600	1,800	1,800	1,200	1,200	1,200
Width	2,700	2,700	1,800	1,800	3,000	1,800	1,800	1,800
3D Front View								

CW-09	CW-10
1,200	1,200
900	1,800

WINDOW SCHEDULE TYPE C HOUSE 15

DOOR SCHEDULE TYPE C HOUSE 15			
ID	CD-01	CD-02	CD-03
Height	2,040	2,400	2,040
Width	920	3,200	920
CD-04	5,200		
3D Front View			

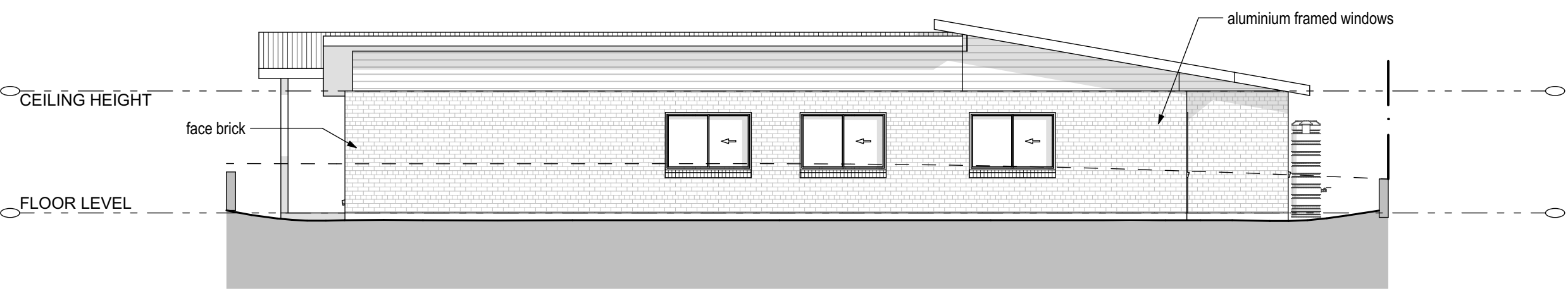
DOOR SCHEDULE TYPE C HOUSE 15



TYPE C - SECTION CC
1:100



TYPE C - EAST ELEVATION
1:100



TYPE C - WEST ELEVATION
1:100

NOTES
ALL DIMENSIONS TO BE CONFIRMED ON-SITE.
ALL TIMBER WORKS TO COMPLY WITH AS 1684
NATIONAL TIMBER FRAMING CODE
ALL BRICKWORK TO COMPLY WITH AS 3700
MASONRY IN BUILDING
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WALL LEGEND	
	90mm timber stud
	250mm brick veneer with wall insulation
	230mm double brick
ELECTRICAL LEGEND	
	double fluorescent light
	LED recessed downlight
	LED pendant or ceiling mounted
	combined heat lamp/ exhaust fan
	LED wall mounted light

SEPP REQUIREMENTS
Note: This building is to comply with the provisions of SEPP
(Housing for Seniors or People with a Disability) 2004. This
encompasses access requirements which refer to AS1428
Design for Access and Mobility. The Builder must familiarise
himself with both documents, and the conditions which relate
to construction, and implement such access requirements
therein, whether expressly detailed in these plans or not.
Any amendments to the plans require adherence to the
same guidelines.

- Circulation space required around doorways
- Circulation space required for showers
- Circulation space required around toilets
- Circulation space required around handbasins

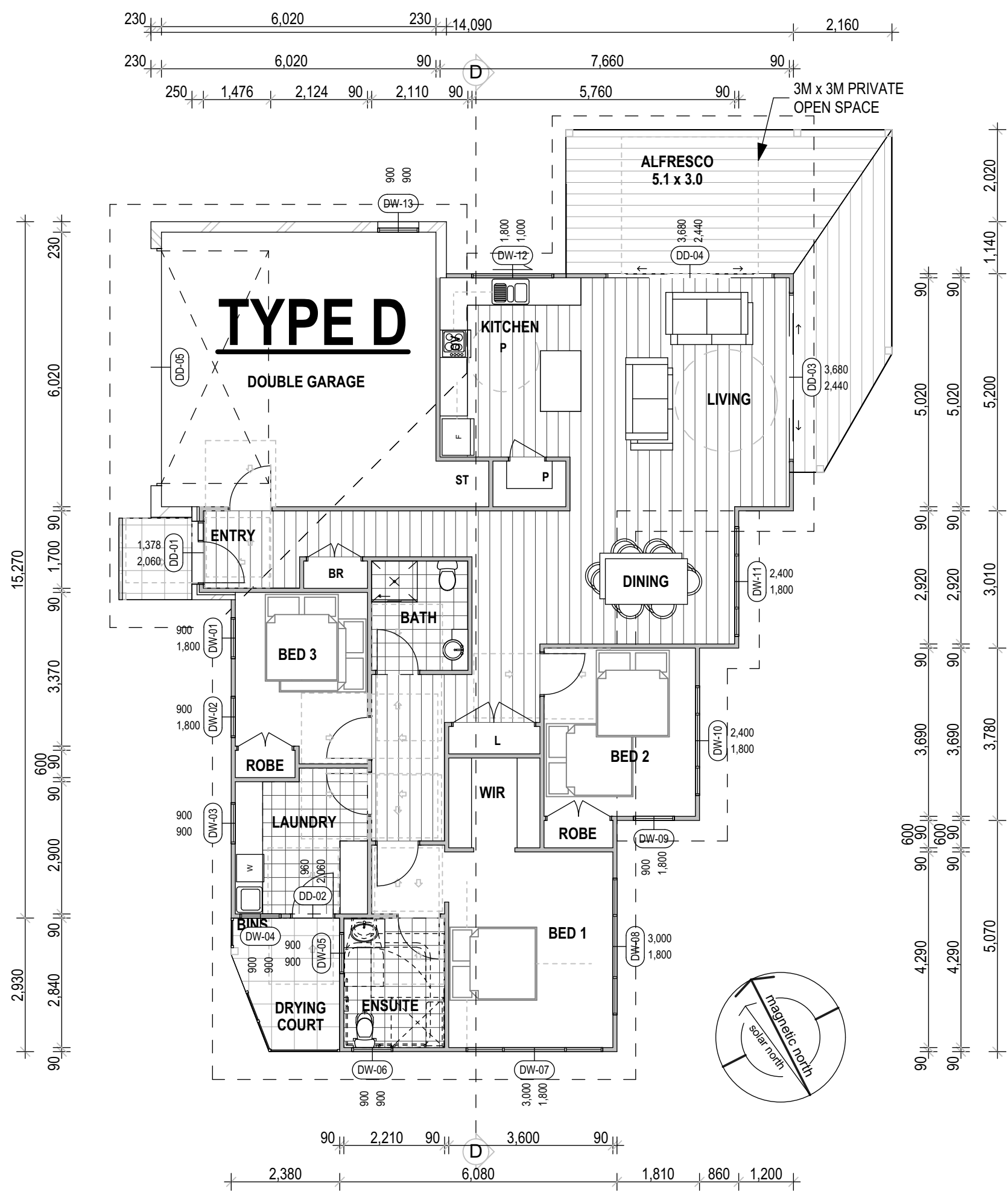
AMENDMENTS			
REV	AMENDMENT	DATE	BY
A	Issued for Basic/ Nathers	28-01-21	AMS
B	Issued for DA	02-02-21	AMS

PROJECT :
**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

**CLIENT : WERITON
PROPERTIES**
DRAWING :
**TYPE C - HOUSE 15 -
PLANS, ELEVATIONS,
SECTION**

CSA JOB NO. :	610-12-331
SCALES	as shown
No. IN SET	8 of 16
DATE	02-02-21
SHEET NUMBER	DA08B
DRAWN BY	AMS
Print date	2/02/2021

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SCALE 0 1.0 2.0 3.0 4.0 5.0
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DEVELOPMENT APPLICATION



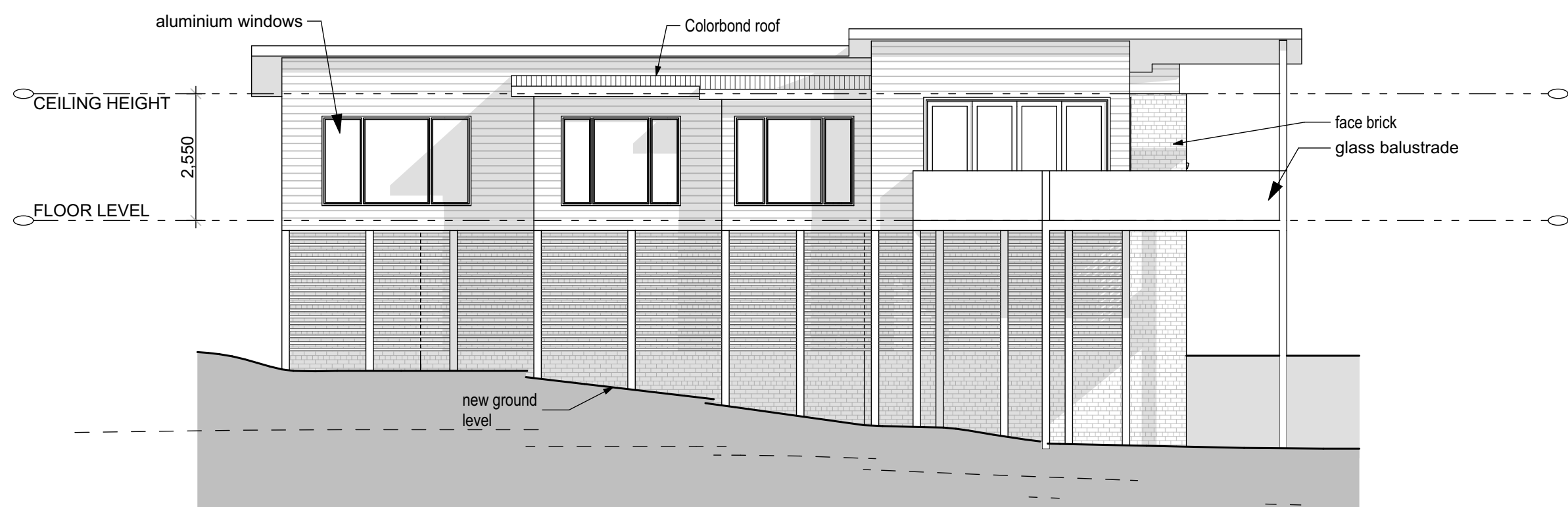
BASIX Project Commitments		
Proposed:	Multi-dwelling houses	
Address:	43 Old Saddleback Road, Kiama NSW 2533	
Lot No / DP:	100/751279	
Water (All dwellings)		
Fixtures	Specification	Rating
Shower head rating	3 star > 4.5 but <= 6 L/min	4 star
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	3000L	
Connected to:	Garden and lawn areas	Yes
	All toilets	Yes
	Laundry	Yes
Thermal Comfort		
External walls	Requirements	
Brick veneer	All houses excl. 19 & 20, unsealed walls as per plans	Medium colour, R1.5Bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, unsealed walls as per plans	Medium colour, R2.1Bulk + Foil (reflective both sides)
Internal walls		
Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls		
Brick, plasterboard		No insulation
Ceiling		
External ceiling - Plasterboard	All houses	R4.0 bulk insulation
Roof		
Corrugated iron	All houses	Light Colour (solar absorbance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Floors		
Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation
Windows		
Aluminium frame ALM-003-01	All houses; swing windows and hinge doors	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (swing, bifold, casement and tilt 'n' turn type windows/doors)
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung)
Downlights		
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Lighting specification		
Overshadowing details	Adjoining units calculated into model calculations	
Site		
Orientation of nominal north elevation	As shown on plans	
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed to all bathrooms, ensuites and internal laundry's at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required.		
Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star
Ventilation		
Bathroom exhaust	Individual fan, not ducted	Manual switch on/off
Kitchen exhaust	Individual fan, not ducted	Manual switch on/off
Control switch	Manual switch on/off	
Laundry	Individual fan, not ducted	Manual switch on/off
Control switch	Manual switch on/off	
Cooling		
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star
Heating		
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star
Appliances		
Cooktop/oven	Gas cooktop & electric oven	
Ventilated fridge space	Yes	
Private outdoor clothes drying line	Yes	

TYPE D - HOUSE 16 - FLOOR PLAN

BUSHFIRE NOTE: All houses to reach BAL 29 bushfire construction level - see notes for compliance and construction measures required



TYPE D - NORTH WEST ELEVATION



TYPE D - SOUTH EAST ELEVATION

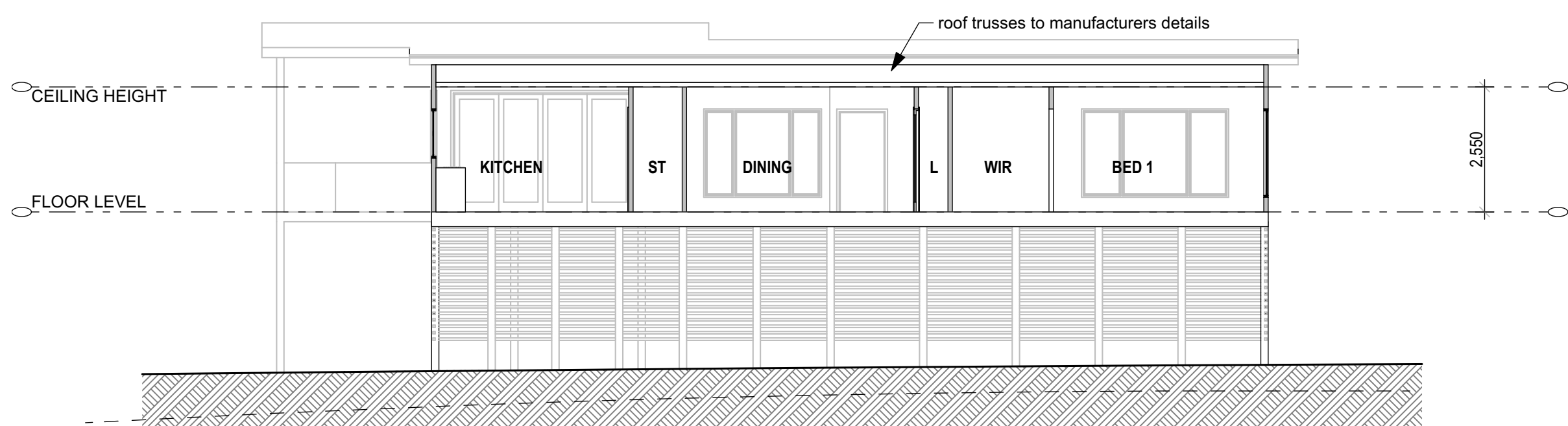
WINDOW SCHEDULE TYPE D HOUSE 16										
ID	DW-01	DW-02	DW-03	DW-04	DW-05	DW-06	DW-07	DW-08	DW-09	DW-10
Height	1,800	1,800	900	900	900	900	1,800	1,800	1,800	1,800
Width	900	900	900	900	900	900	3,000	3,000	900	2,400
3D Front View										

DW-11	DW-12	DW-13
1,800	1,000	900
2,400	1,800	900

WINDOW SCHEDULE TYPE D HOUSE 16

DOOR SCHEDULE TYPE D HOUSE 16				
ID	DD-01	DD-02	DD-03	DD-04
Height	2,040	2,040	2,400	2,400
Width	920	920	3,600	3,600
3D Front View				

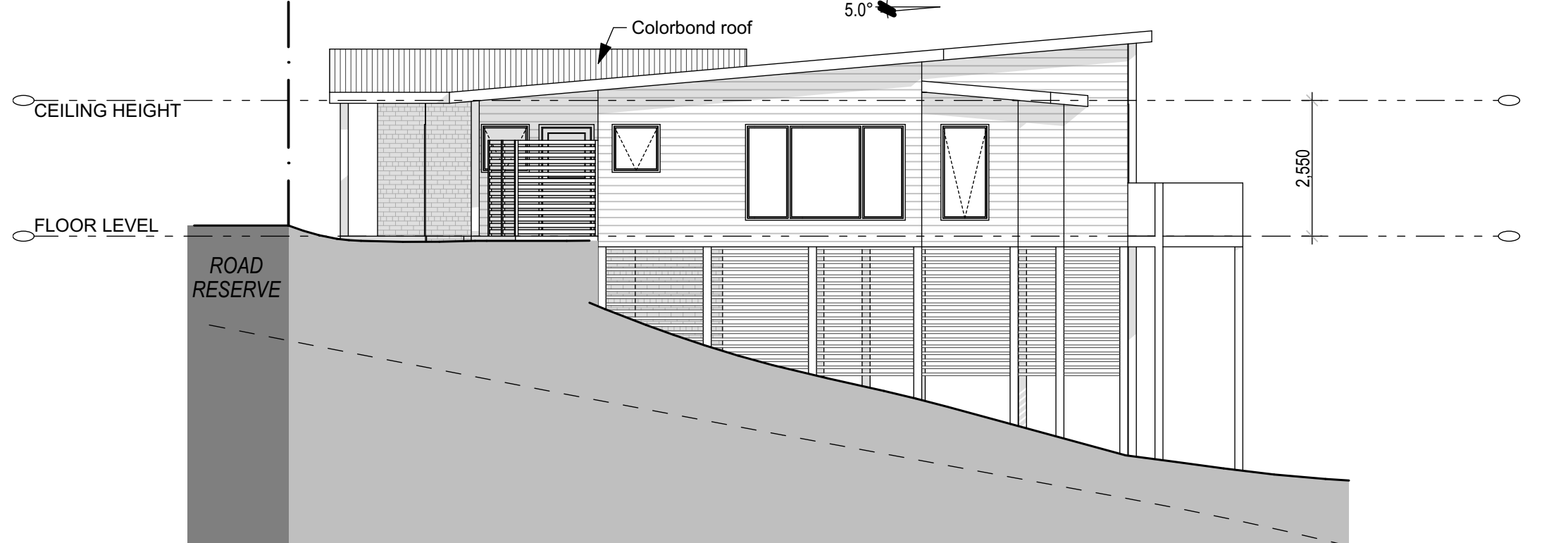
DOOR SCHEDULE TYPE D HOUSE 16



TYPE D - SECTION DD



TYPE D - NORTH EAST ELEVATION



TYPE D - SOUTH WEST ELEVATION

WALL LEGEND	
	90mm timber stud
	250mm brick veneer with wall insulation
	230mm double brick
ELECTRICAL LEGEND	
	double fluorescent light
	LED recessed downlight
	LED pendant or ceiling mounted
	combined heat lamp/exhaust fan
	LED wall mounted light

SEPP REQUIREMENTS
Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684 NATIONAL TIMBER FRAMING CODE

ALL BRICKWORK TO COMPLY WITH AS 3700 MASONRY IN BUILDING

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AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for Basis/ Nathers	28-01-21	AMS
B	Issued for DA	02-02-21	AMS

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Ph 02 4869 5395 ■ Fax 02 4869 5495 ■ cs.arch@bigpond.net.au
Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

PROJECT :

PROPOSED SENIORS LIVING ESTATE

at

LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 2 Caliope St KIAMA NSW

CLIENT :

WERITON PROPERTIES

DRAWING :

TYPE D - HOUSE 16 - PLANS, ELEVATIONS, SECTION

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **9 of 17**

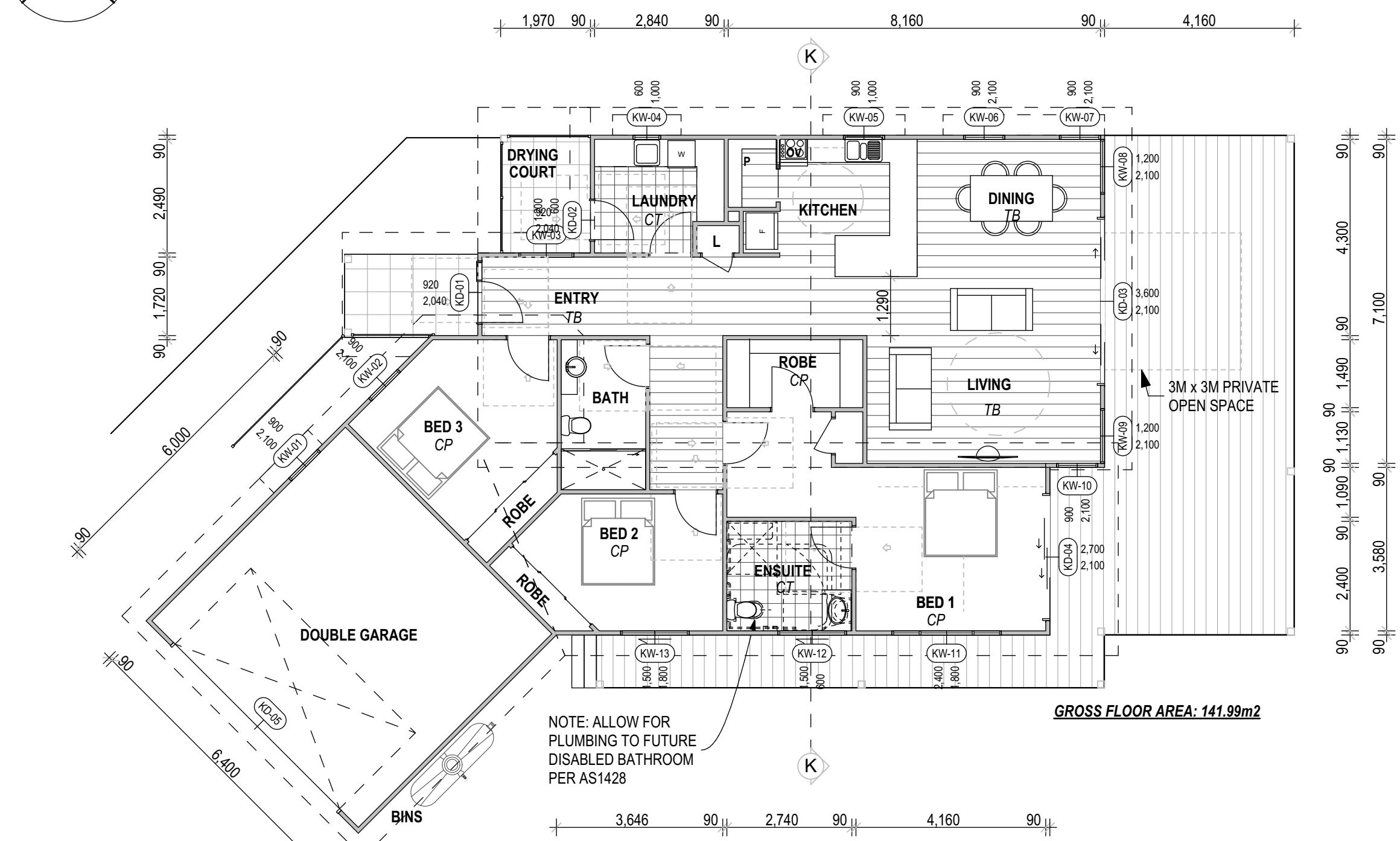
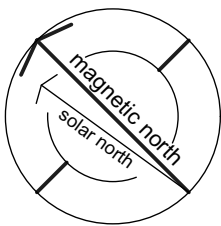
DATE **02-02-21** SHEET NUMBER

DRAWN BY **AMS** **DA09B**

SCALE 0 1.0 2.0 3.0 4.0 5.0

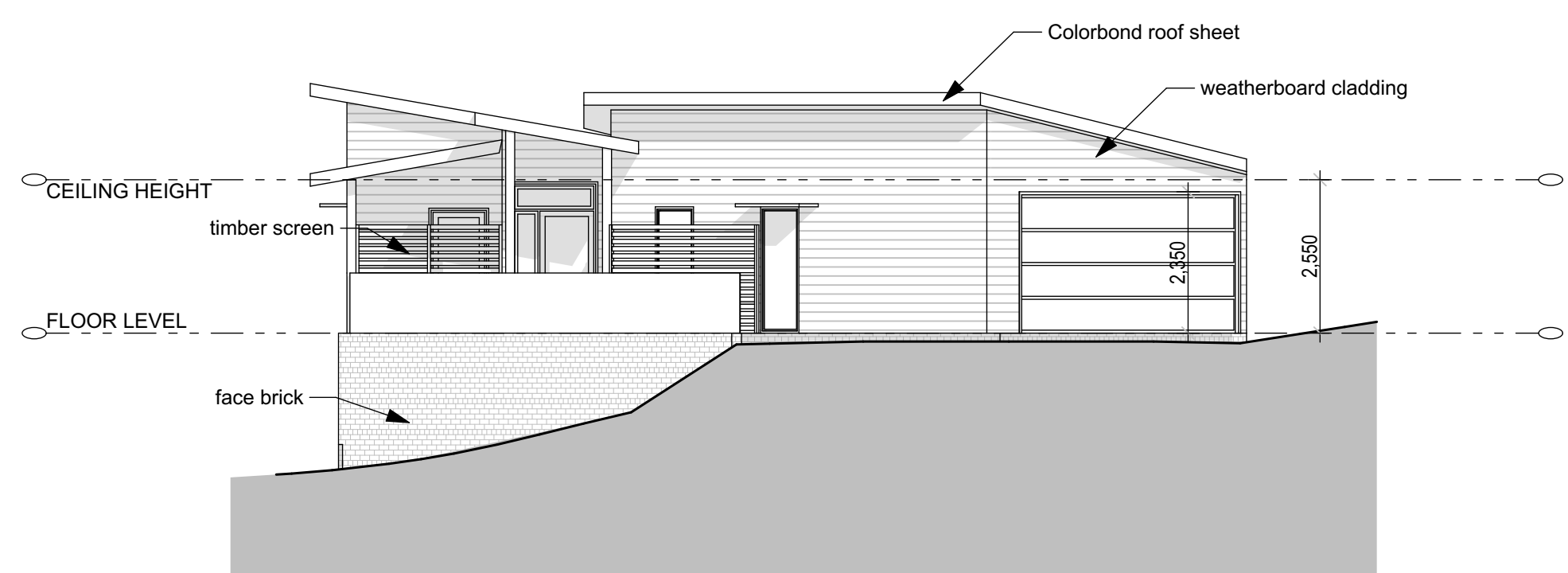
THESE DRAWINGS HAVE BEEN PREPARED FOR DEVELOPMENT APPLICATION

Print date 2/02/2021

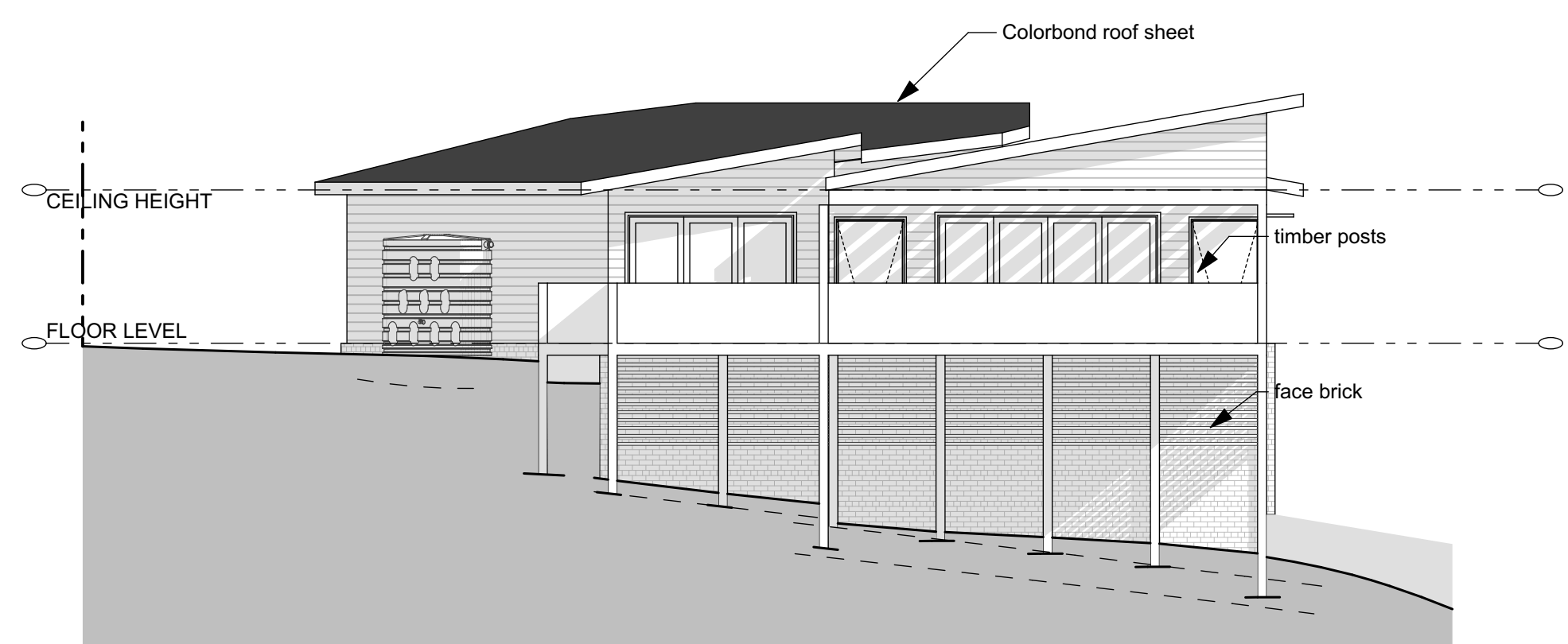


TYPE K - HOUSE 17 - FLOOR PLAN
1:100

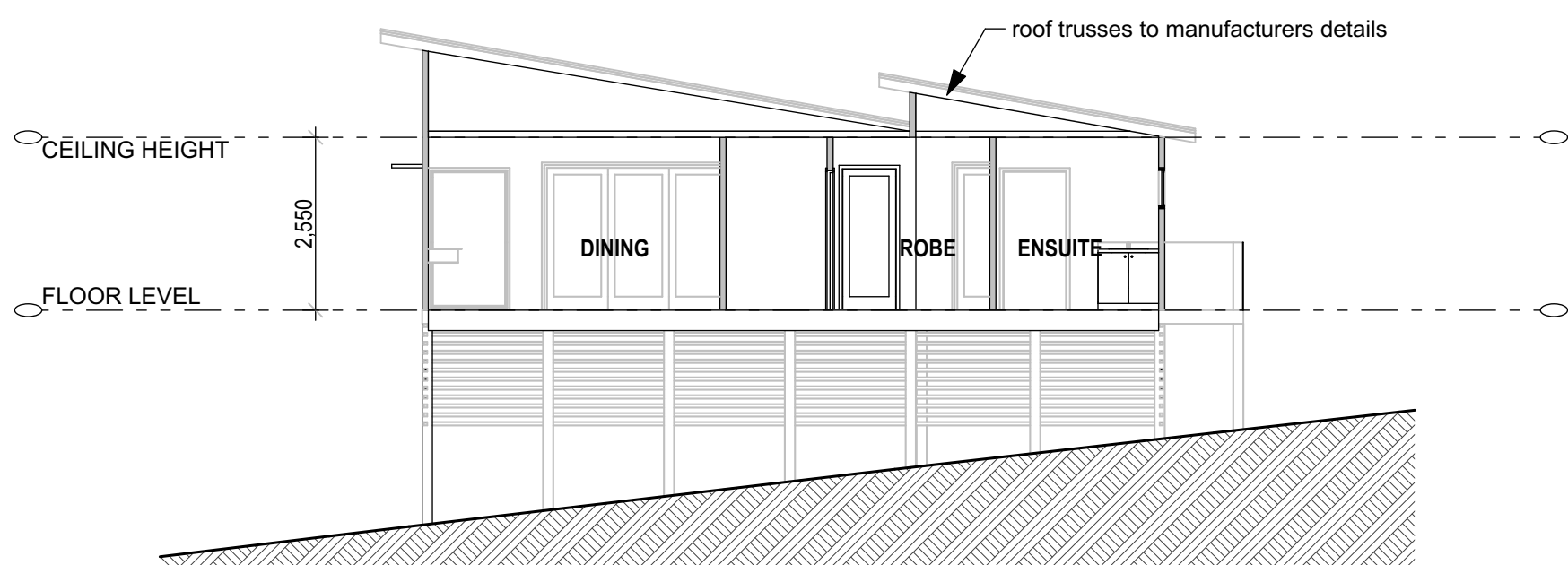
BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE K - WEST ELEVATION
1:100



TYPE K - EAST ELEVATION
1:100



TYPE K - SECTION KK
1:100

DOOR SCHEDULE TYPE K HOUSE 17					
ID	KD-01	KD-02	KD-03	KD-04	KD-05
Height	2,040	2,040	2,100	2,100	2,350
Width	920	920	3,600	2,700	5,200
3D Front View					

DOOR SCHEDULE TYPE K HOUSE 17



TYPE K - SOUTH ELEVATION
1:100



TYPE K - NORTH ELEVATION
1:100

BASIX Project Commitments		
Proposed:	Multi-dwelling houses	
Address:	41 Old Saddleback Road, Kiama NSW 2531	
Lot No / DP:	100/751279	
Water (All Dwellings)		
Future:	Specification	
Shower head rating	3 star (> 4.5 but <= 6 L/min)	
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	300L	
Connected to:	Garden and lawn areas	
All toilets	Yes	
Laundry	Yes	
Thermal Comfort		
External walls	Requirements	
Brick veneer	All houses excl. 19 & 20, unselected walls as per plans Medium colour, R1.5Bul + Foil (reflective both sides)	
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, unselected walls as per plans Medium colour, R2.1Bul + Foil (reflective both sides)	
Internal walls	All houses	
Cavity wall, direct fix plasterboard	No insulation	
Brick, plasterboard	No insulation	
Ceiling	All houses	
External ceiling - Plasterboard	R4.0 bulk insulation	
Roof	All houses	
Corrugated iron	Light Colour (solar absorbance <0.475) Anticon Blunkit HP R1.8 (Bul + Foil, Reflective Side Down, Anti glare up)	
Floors	All houses	
Concrete slab on ground	No insulation	
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 16, 19, 20 & 21 R1.0 bulk insulation	
Windows	All houses; awning windows and hinge doors	
Aluminium frame ALMA-003-01	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)	
Aluminium frame ALMA-004-01	All houses; sliding Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, casement and tilt 'n' turn type windows/doors)	
Downlights	Approved fireproof downlight covers must be installed to all downlights in ceilings where lighting specification	
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Overshadowing details	Adjoining units calculated into model calculations	
Site	As shown on plans	
Orientation of nominal north elevation	As shown on plans	
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required.		
Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star
Ventilation	Individual fan, not ducted	
Bathroom exhaust	Manual switch on/off	
Kitchen exhaust	Individual fan, not ducted	
Laundry	Manual switch on/off	
Cooling	Individual system - living areas	
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star
Heating	Individual system - living areas	
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star
Appliances	Gas cooktop & electric oven	
Cooktop/oven	Yes	
Ventilated Ridge space	Private outdoor clothes drying line	
Private outdoor clothes drying line	Yes	

WINDOW SCHEDULE TYPE K HOUSE 17				
ID	KW-01	KW-02	KW-03	KW-04
Height	2,100	2,100	600	1,000
Width	900	900	1,200	600
3D Front View				

KW-05	KW-06	KW-07	KW-08	KW-09
1,000	2,100	2,100	2,100	2,100
900	900	900	1,200	1,200

KW-10	KW-11	KW-12	KW-13
2,100	1,800	600	1,800
900	2,400	1,500	1,500

WINDOW SCHEDULE TYPE K HOUSE 17

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.
ALL TIMBER WORKS TO COMPLY WITH AS 1684
NATIONAL TIMBER FRAMING CODE
ALL BRICKWORK TO COMPLY WITH AS 3700
MASONRY IN BUILDING
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WALL LEGEND	
	90mm timber stud
	250mm brick veneer with wall insulation
	230mm double brick
ELECTRICAL LEGEND	
	double fluorescent light
	LED recessed downlight
	LED pendant or ceiling mounted
	combined heat lamp/ exhaust fan
	LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.

	Circulation space required around doorways
	Circulation space required for showers
	Circulation space required around toilets
	Circulation space required around handbasins

AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for Basic/ NatHERS	28-01-21	AMS
B	Issued for DA	02-02-21	AMS

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**TYPE K - HOUSE 17 -
PLANS, ELEVATIONS,
SECTION**

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **10 of 16**

DATE **02-02-21**

DRAWN BY **AMS**

SHEET
NUMBER
DA10B

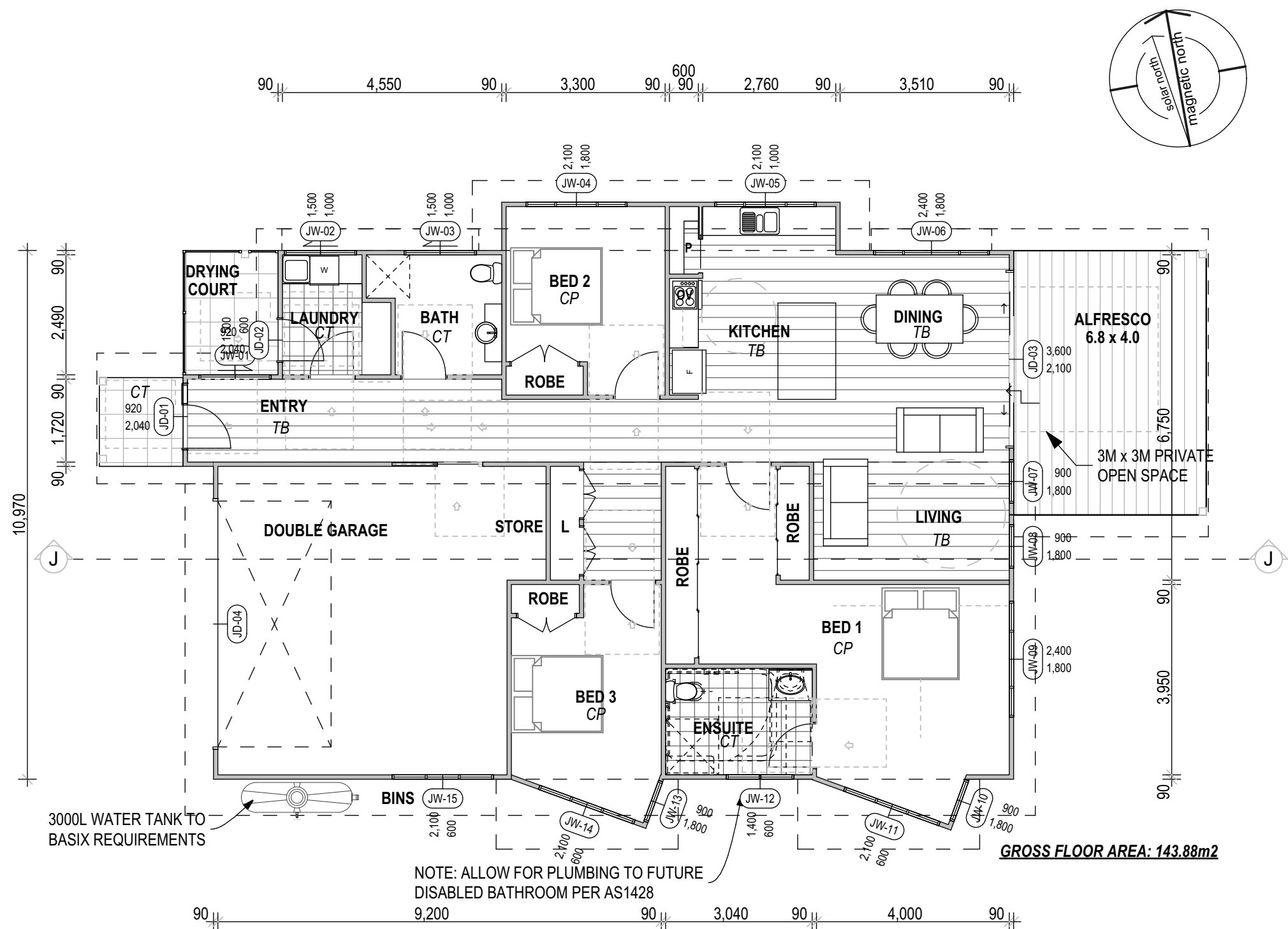
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PO BOX 2072 ■ BOWRAL ■ NSW 2576
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Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

SCALE
0 1.0 2.0 3.0 4.0 5.0
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DEVELOPMENT APPLICATION

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING 200

300mm ON ORIGINAL

Print date 2/02/2021

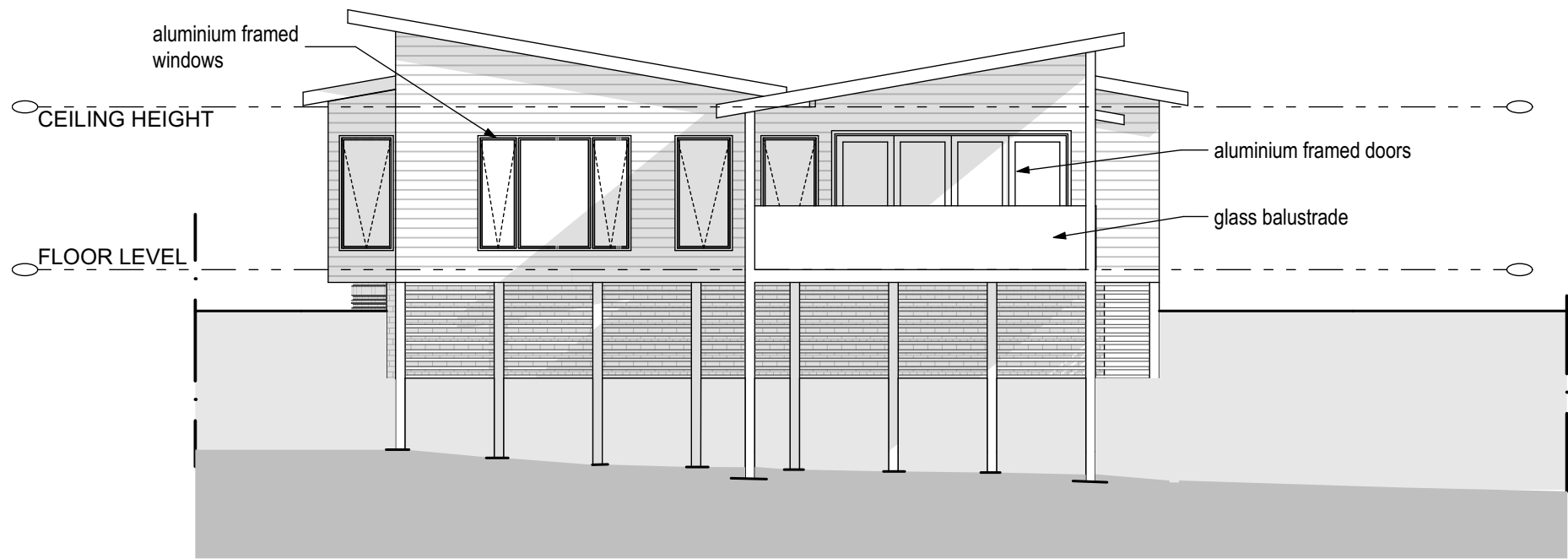


TYPE J - HOUSE 18 - FLOOR PLAN
1:100

BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE J - WEST ELEVATION
1:100



TYPE J - EAST ELEVATION
1:100

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.
ALL TIMBER WORKS TO COMPLY WITH AS 1684
NATIONAL TIMBER FRAMING CODE
ALL BRICKWORK TO COMPLY WITH AS 3700
MASONRY IN BUILDING
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WALL LEGEND

90mm timber stud
250mm brick veneer with wall insulation
230mm double brick
ELECTRICAL LEGEND
double fluorescent light
LED recessed downlight
LED pendant or ceiling mounted
combined heat lamp/ exhaust fan
LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP
(Housing for Seniors or People with a Disability) 2004. This
encompasses access requirements which refer to AS1428
Design for Access and Mobility. The Builder must familiarise
himself with both documents, and the conditions which relate
to construction, and implement such access requirements
therein, whether expressly detailed in these plans or not.
Any amendments to the plans require adherence to the
same guidelines.

Circulation space required around doorways
Circulation space required for showers
Circulation space required around toilets
Circulation space required around handbasins

AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for Basix/ Natthers	28-01-21	AMS
B	Issued for DA	02-02-21	AMS

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**TYPE J - HOUSE 18 -
PLANS, ELEVATIONS,
SECTION**

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **11 of 16**

DATE **02-02-21** SHEET
NUMBER

DRAWN BY **AMS** **DA11B**

Print date 2/02/2021

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SCALE
0 1.0 2.0 3.0 4.0 5.0
THESE DRAWINGS HAVE BEEN PREPARED FOR
DEVELOPMENT APPLICATION

WINDOW SCHEDULE TYPE J HOUSE 18						
ID	JW-01	JW-02	JW-03	JW-04	JW-05	JW-06
Height	600	1,000	1,000	1,800	1,000	1,800
Width	1,500	1,500	1,500	2,100	2,100	2,400
3D Front View						

JW-07	JW-08	JW-09	JW-10	JW-11	JW-12	JW-13
1,800	1,800	1,800	1,800	600	600	1,800
900	900	2,400	900	2,100	1,400	900

JW-14	JW-15
600	600
2,100	2,100

WINDOW SCHEDULE TYPE J HOUSE 18

DOOR SCHEDULE TYPE J HOUSE 18				
ID	JD-01	JD-02	JD-03	JD-04
Height	2,040	2,040	2,100	2,350
Width	920	920	3,600	5,200
3D Front View				

DOOR SCHEDULE TYPE J HOUSE 18

BASIX Project Commitments

Proposed: Multi-dwelling houses
Address: 43 004 Saddelback Road, Kiama NSW 2533
Lot No / CP: 100/751279

Water (All dwellings)

Features	Specification
Shower head rating	3 star (4-5 but <= 6 U/min)
Foiled rating	4 star
Kitchen taps rating	3 star
Bathroom taps rating	3 star

Alternative water details

Rainwater tank size for every single dwelling	3000L
Connected to: Garden and lawn areas	Yes
All toilets	Yes
Laundry	Yes

Thermal Comfort

External walls	Requirements
Brick veneer	All houses excl. 19 & 20, unselected walls as per plans Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, unselected walls as per plans Medium colour, R1.5Bulk + Foil (reflective both sides)
Weatherboard	Medium colour, R2.1Bulk + Foil (reflective both sides)

Internal walls

Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls	Brick, plasterboard	No insulation

Ceiling

External ceiling - Plasterboard	All houses	R4.0 bulk insulation
---------------------------------	------------	----------------------

Roof

Corrugated iron	All houses	Light Colour (solar absorbance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
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Floors

Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 15, 19, 20 & 21	R1.0 bulk insulation

Windows

Aluminium frame ALM-003-01	All houses, awning windows and hinge doors	Double glazed, Air Fil, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Air Fil, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung,

Downlights

Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where
Lighting specification	All kitchen/living/hallways on this project will install 1200mm diameter LED downlights at a rate of

Overshadowing details

Adjoining units calculated into model calculations
--

Site

Orientation of nominal north elevation	As shown on plans
--	-------------------

* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration.
If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and NATHERS protocols. Contact the assessor above if alterations are required.

Energy (All Dwellings)

Hot water	Specification	Rating
Individual system	Gas instantaneous	6 star

Ventilation

Bathroom exhaust	Individual fan, not ducted	Manual switch on/off
Kitchen exhaust	Individual fan, not ducted	Manual switch on/off
Control switch	Individual fan, not ducted	Manual switch on/off
Laundry	Individual fan, not ducted	Manual switch on/off
Control switch	Individual fan, not ducted	Manual switch on/off

Cooling

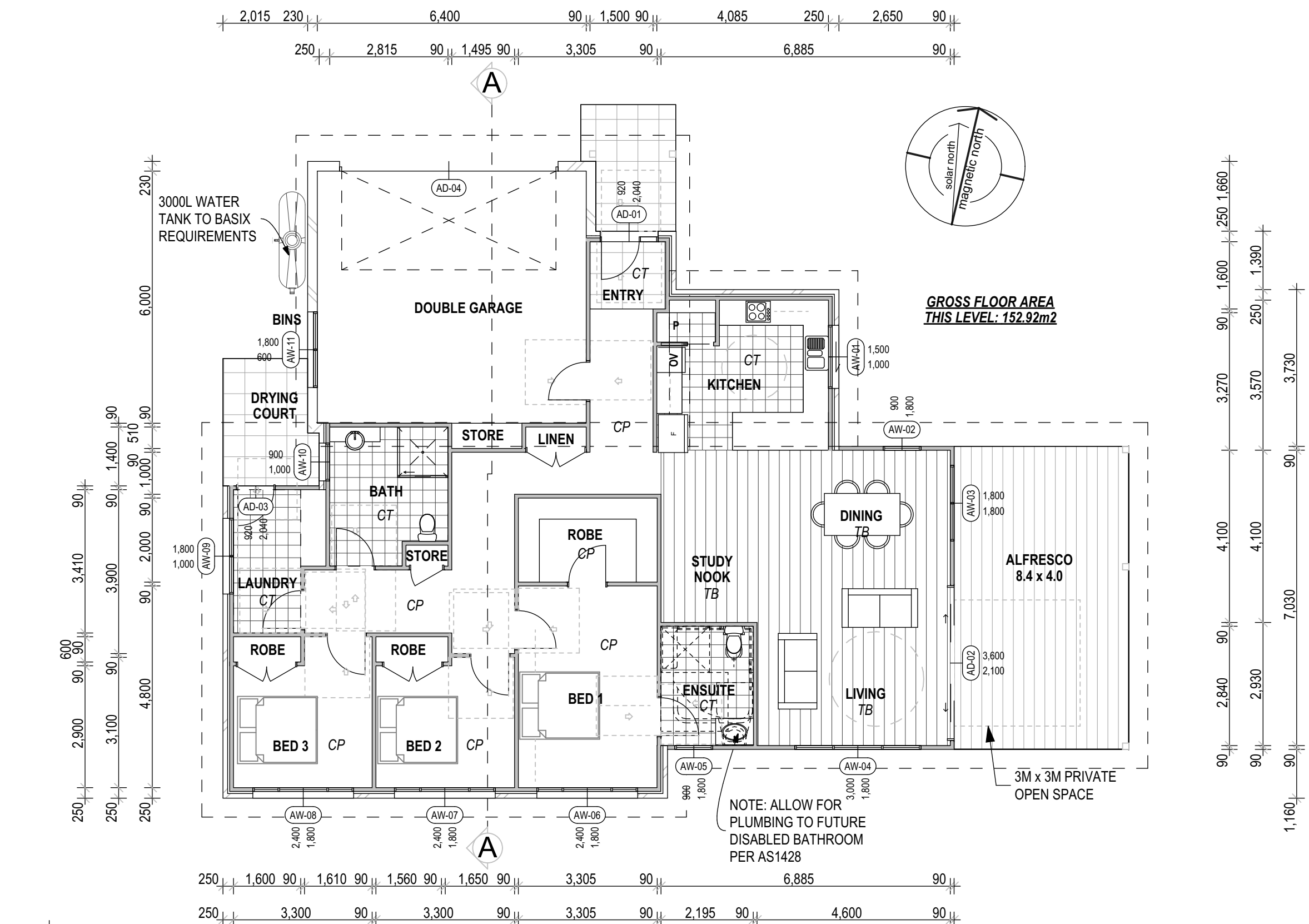
Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star

Heating

Individual systems - living areas	1-phase airconditioning	5 star
Individual systems - bedroom areas	1-phase airconditioning	5 star

Appliances

Cooktop/oven	Gas cooktop & electric oven
Ventilated fridge space	Yes
Private outdoor clothes drying line	Yes



TYPE A - HOUSE 19 PLAN
1:100




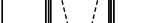




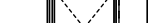





BUSHFIRE NOTE: All houses to reach
BAL 29 bushfire construction level - see notes
for compliance and construction measures required



TYPE A - NORTH ELEVATION
1:100



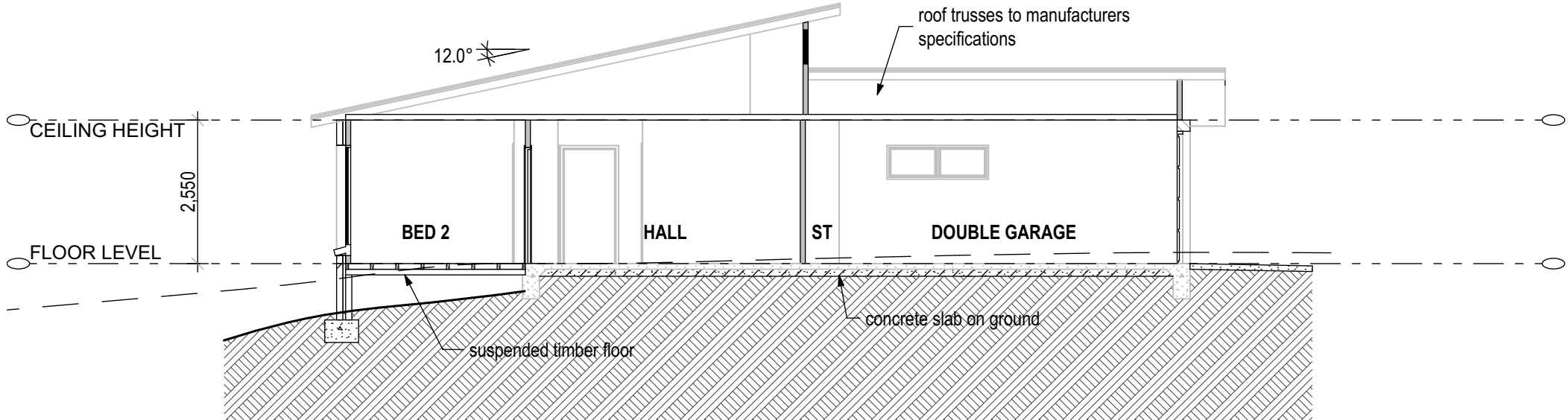
TYPE A - SOUTH ELEVATION
1:100

WINDOW SCHEDULE TYPE A HOUSE 19														
ID	AW-01	AW-02	AW-03	AW-04	AW-05	AW-06	AW-07	AW-08	AW-09	AW-10	AW-11	AW-12	AW-13	AW-14
Height	1,000	1,800	1,800	1,800	1,800	1,800	1,800	1,800	1,000	1,000	600	1,200	600	600
Width	1,500	900	1,800	3,000	900	2,400	2,400	2,400	1,800	900	1,800	900	2,700	900
3D Front View														

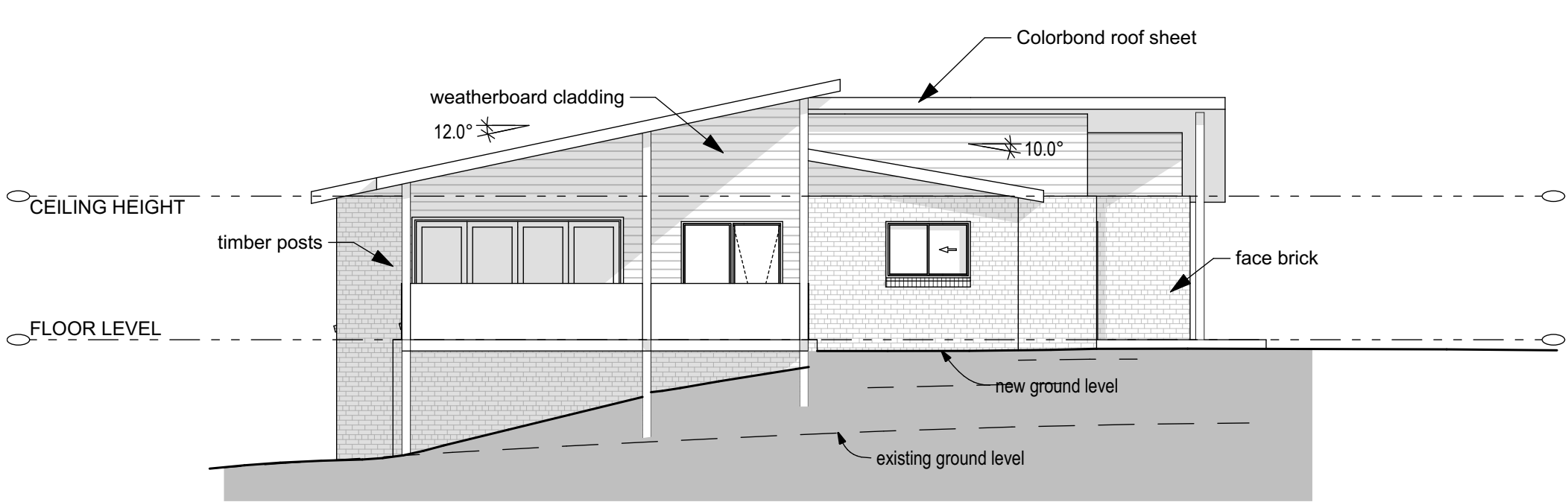
WINDOW SCHEDULE TYPE A HOUSE 19

DOOR SCHEDULE TYPE A HOUSE 19				
ID	AD-01	AD-02	AD-03	AD-04
Height	2,040	2,100	2,040	2,350
Width	920	3,600	920	5,200
3D Front View				

DOOR SCHEDULE TYPE A HOUSE 19



TYPE A - SECTION AA
1:100



TYPE A - EAST ELEVATION
1:100



TYPE A - WEST ELEVATION
1:100

BASIX Project Commitments		
Proposed:	Multi-dwelling houses	
Address:	43 Old Saddelback Road, Kiama NSW 2533	
Lot No / DP:	100/751279	
Water (All dwellings)		
Fixtures	Specification	
Shower head rating	3 star (> 4.5 but <= 6.1/mm)	
Toilet rating	4 star	
Kitchen taps rating	3 star	
Bathroom taps rating	3 star	
Alternative water details		
Rainwater tank size for every single dwelling	3000L	
Connected to:	Garden and lawn areas	Yes
	All toilets	Yes
	Laundry	Yes
Thermal Comfort		
External walls		Requirements
Brick veneer	All houses excl. 19 & 20, unseparated walls as per plans	Medium colour, R1.5Bulk + Foil (reflective both sides)
Weatherboard	Houses 1, 7, 8, 10, 11, 12, 13, 17, 18, 19, 20 & 21, unseparated walls as per plans	Medium colour, R2.1Bulk + Foil (reflective both sides)
Internal walls		Requirements
Cavity wall, direct fix plasterboard	All houses	No insulation
Partition walls		Requirements
Brick, plasterboard	All houses	No insulation
Ceiling		Requirements
External ceiling - Plasterboard	All houses	R4.0 bulk insulation
Roof		
Corrugated iron	All houses	Light Colour (solar absorbance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Floors		Requirements
Concrete slab on ground	All houses	No insulation
Suspended concrete slab	Units 7, 8, 9, 10, 11, 12, 18, 19, 20 & 21	R1.0 bulk insulation
Windows		
Aluminium frame ALM-003-01	All houses; swing windows and lunge doors	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.51 for Group A windows (swing, bifold, casement and tilt 'n' turn type windows/doors)
Aluminium frame ALM-004-01	All houses; sliding	Double glazed, Air Fill, Clear with U-value 4.8 and SHGC 0.59 for Group B windows (double hung, double glazed, tilt 'n' turn type windows/doors)
Downlights		
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where	
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of	
Overshadowing details		
	Adjoining units calculated into model calculations	
Site		
Orientation of nominal north elevation	As shown on plans	
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed to (all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration. If ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required.		

Energy (All Dwellings)		
Hot water	Specification	Rating
Individual system	Gas instantaneous	4 star
Ventilation	Requirements	
Bathroom exhaust	Individual fan, not ducted	Manual switch on/off
Kitchen exhaust	Individual fan, not ducted	Manual switch on/off
Laundry	Individual fan, not ducted	Manual switch on/off
Cooling	Requirements	
Individual systems - living areas	1-phase air conditioning	5 star
Individual systems - bedroom areas	1-phase air conditioning	5 star
Heating	Requirements	
Individual systems - living areas	1-phase air conditioning	5 star
Individual systems - bedroom areas	1-phase air conditioning	5 star
Appliances	Requirements	
Cooktop/oven	Gas cooktop & electric oven	Yes
Ventilated fridge space	Yes	
Private outdoor clothes drying line	Yes	

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684 NATIONAL TIMBER FRAMING CODE

ALL BRICKWORK TO COMPLY WITH AS 3700 MASONRY IN BUILDING

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WALL LEGEND

- 90mm timber stud
- 250mm brick veneer with wall insulation
- 230mm double brick

ELECTRICAL LEGEND

- double fluorescent light
- LED recessed downlight
- LED pendant or ceiling mounted combined heat lamp/ exhaust fan
- LED wall mounted light

SEPP REQUIREMENTS

Note: This building is to comply with the provisions of SEPP (Housing for Seniors or People with a Disability) 2004. This encompasses access requirements which refer to AS1428 Design for Access and Mobility. The Builder must familiarise himself with both documents, and the conditions which relate to construction, and implement such access requirements therein, whether expressly detailed in these plans or not. Any amendments to the plans require adherence to the same guidelines.

- Circulation space required around doorways
- Circulation space required for showers
- Circulation space required around toilets
- Circulation space required around handbasins

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING

ALL DIMENSIONS TO BE CHECKED ON SITE

AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for Basic/ NatHERS	28-01-21	AMS
B	Issued for DA	02-02-21	AMS

PROJECT :

PROPOSED SENIORS LIVING ESTATE

at LOT 17 DP 1210621 (Formerly Part Lot 100 DP 751279), 2 Caliope St KIAMA NSW

CLIENT : **WERITON PROPERTIES**

DRAWING : **TYPE A - HOUSE 19 - PLANS, ELEVATIONS, SECTION**

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **12 of 16**

DATE **02-02-21** SHEET NUMBER

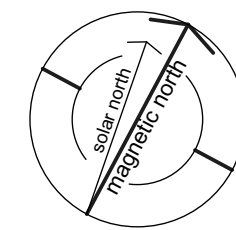
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Print date 2/02/2021

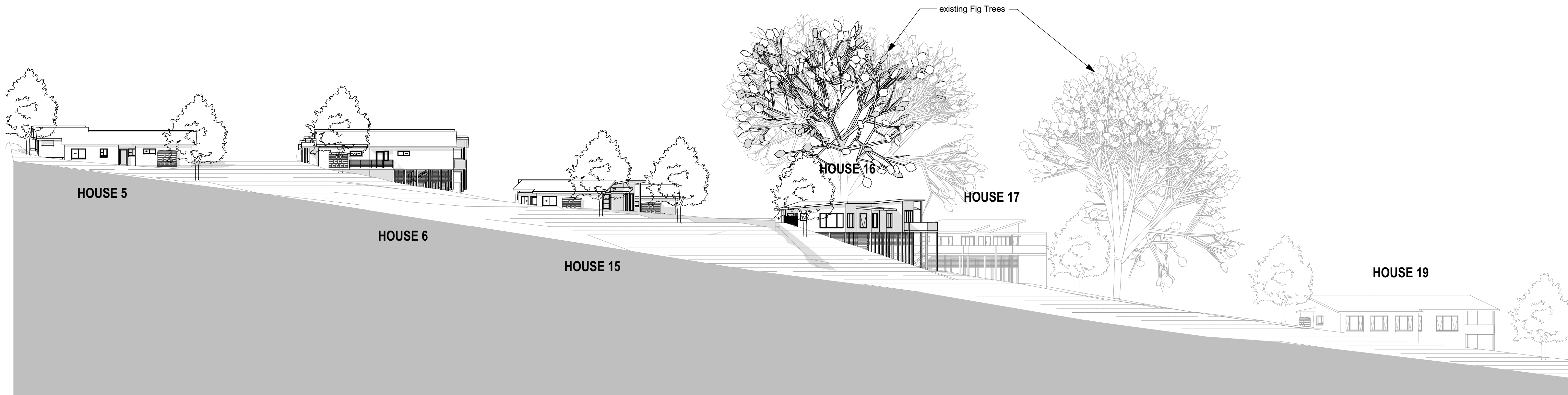
coble stephens architects

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Ph 02 4869 5395 ■ Fax 02 4869 5495 ■ cs.arch@bigpond.net.au
Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

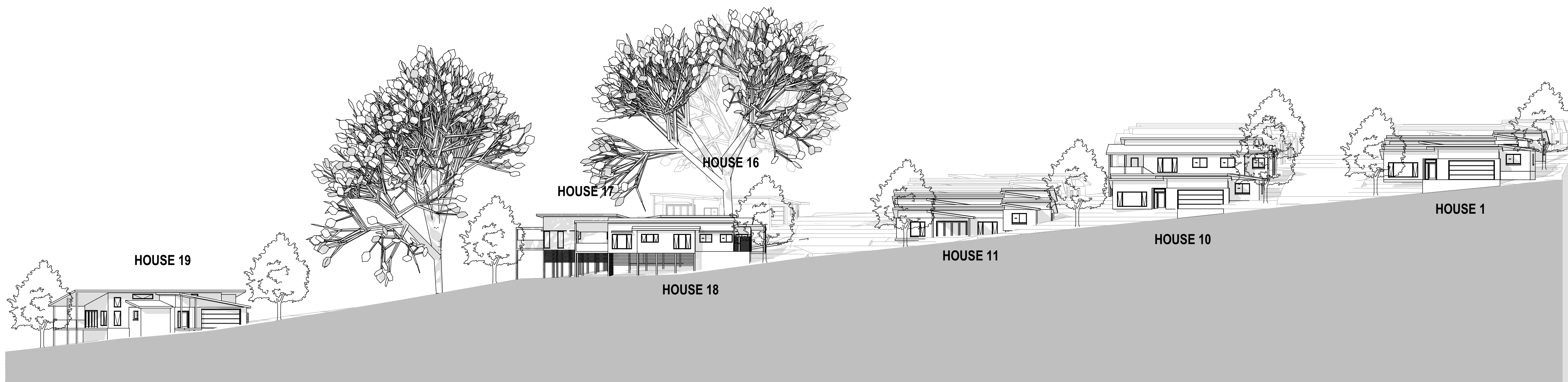
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THESE DRAWINGS HAVE BEEN PREPARED FOR DEVELOPMENT APPLICATION



OLD SADDLEBACK ROAD ELEVATION
1:300



SOUTHERN SITE ELEVATION
1:300



CALIOPE STREET ELEVATION
1:300

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.
ALL TIMBER WORKS TO COMPLY WITH AS 1684
NATIONAL TIMBER FRAMING CODE
ALL BRICKWORK TO COMPLY WITH AS 3700
MASONRY IN BUILDING
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AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for DA	02-02-21	AMS

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**
DRAWING :
SITE ELEVATIONS

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **13 of 16**

DATE **02-02-21** SHEET
NUMBER

DRAWN BY **AMS** **DA13A**

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SCALE 0 1.0 2.0 3.0 4.0 5.0
THESE DRAWINGS HAVE BEEN PREPARED FOR
DEVELOPMENT APPLICATION

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING 200

300mm ON ORIGINAL

A1 0 10 20 30 40 50 60 70 80 90 100 ALL DIMENSIONS TO BE CHECKED ON SITE



NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684

NATIONAL TIMBER FRAMING CODE

ALL BRICKWORK TO COMPLY WITH AS 3700

MASONRY IN BUILDING

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AMENDMENTS			
REV	AMENDMENT	DATE	BY
A	Issued for DA	02-02-21	AMS

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**

at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

CLIENT : **WERITON
PROPERTIES**

DRAWING :
SITE ANALYSIS PLAN

CSA JOB NO. : 610-12-331	No. IN SET 15 of 16
SCALES as shown	SHEET NUMBER
DATE 02-02-21	DA 15A
DRAWN BY AMS	

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0 1.0 2.0 3.0 4.0 5.0
SCALE
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DEVELOPMENT APPLICATION

COLOUR SCHEDULE



WALLS
cladding

Fibre cement

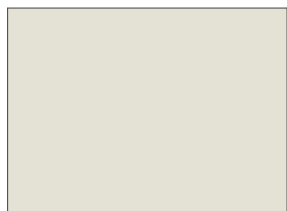
Dulux - China White



WALLS
- brick

Brick

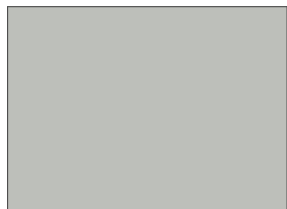
Range - Austral Everyday Life
Colour - Leisure



ROOFS

Colorbond roof sheet

Colorbond Surfmist



ROOFS

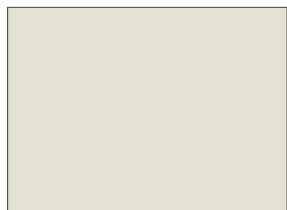
Colorbond roof sheet

Colorbond Shale Grey



WINDOWS Aluminium

White



GARAGE
DOOR

Colorbond steel

Colorbond Surfmist



METAL
FIRE
BARRIER
FENCE

Colorbond steel

Colorbond Woodland Grey

PROPOSED SENIORS LIVING ESTATE at

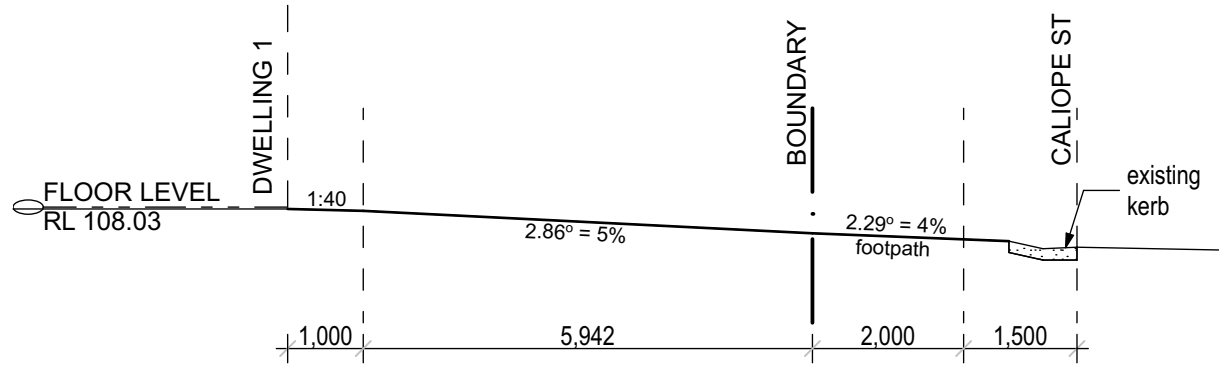
LOT 17 DP 1210621 (Formerly Part Lot 100 DP
751279), 2 Caliope St KIAMA NSW
WERITON PROPERTIES

02-02-21

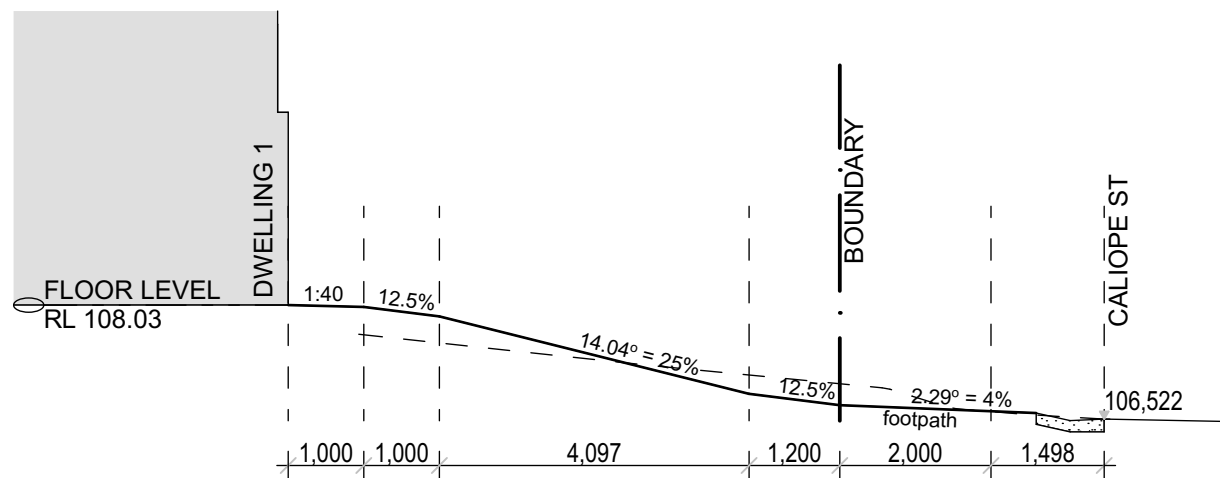
coble **stephens**

a r c h i t e c t s

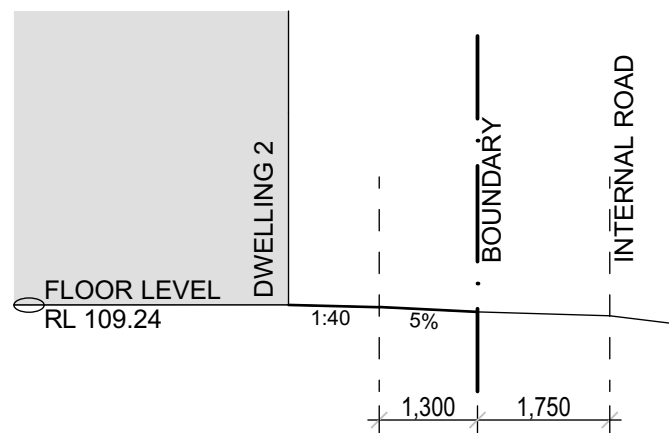
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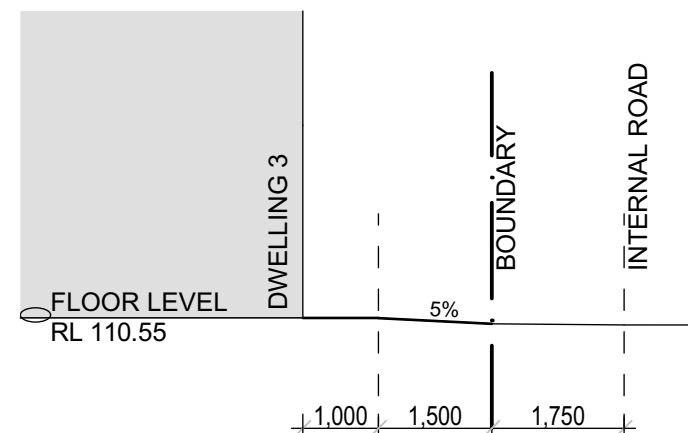
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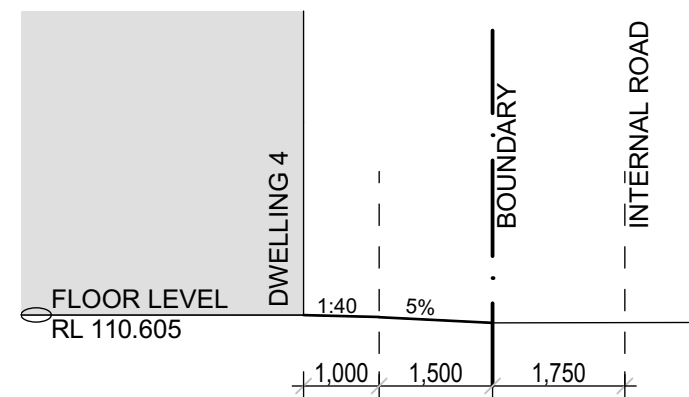
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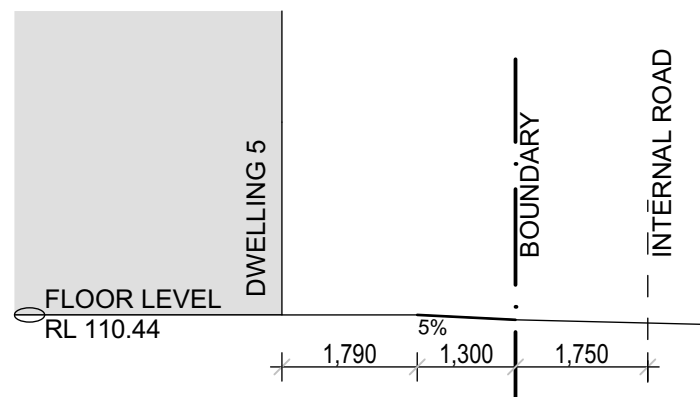
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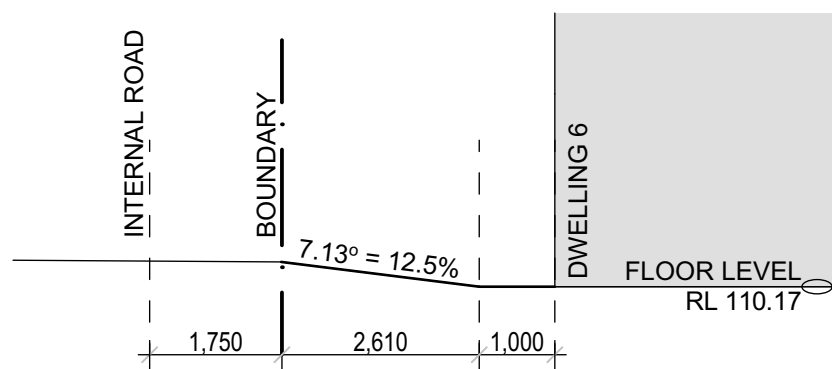
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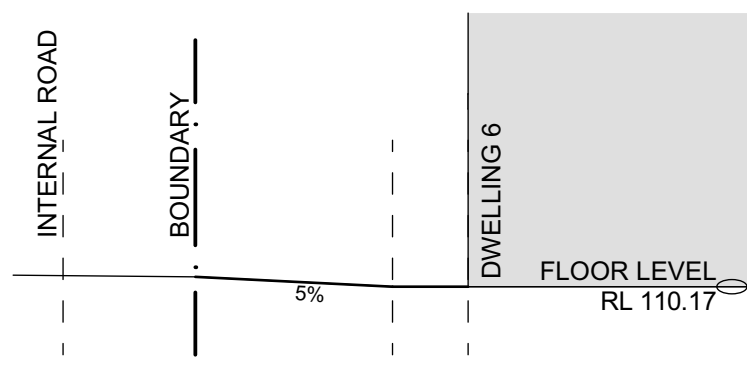
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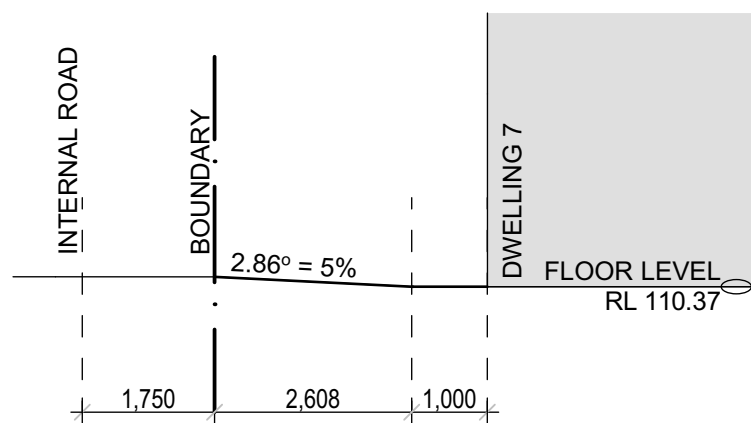
DLS5 DRIVEWAY 5
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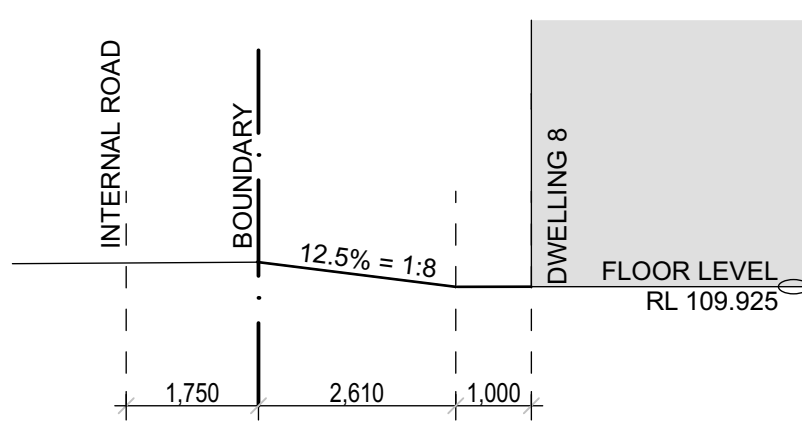
DLS6D DRIVEWAY 6
1:100



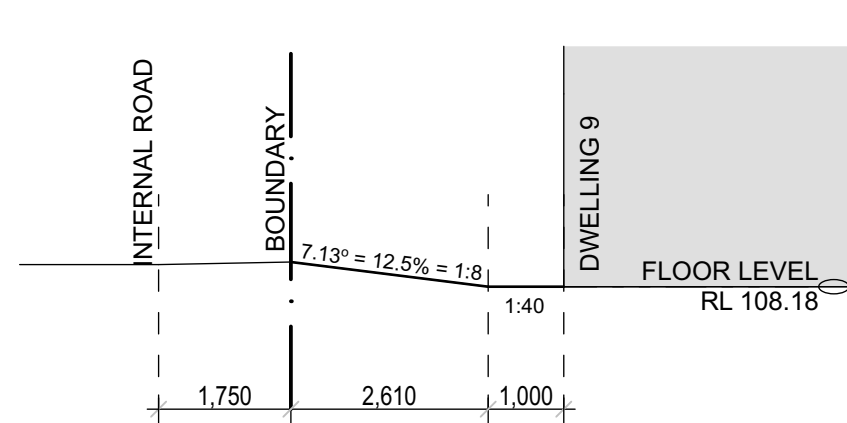
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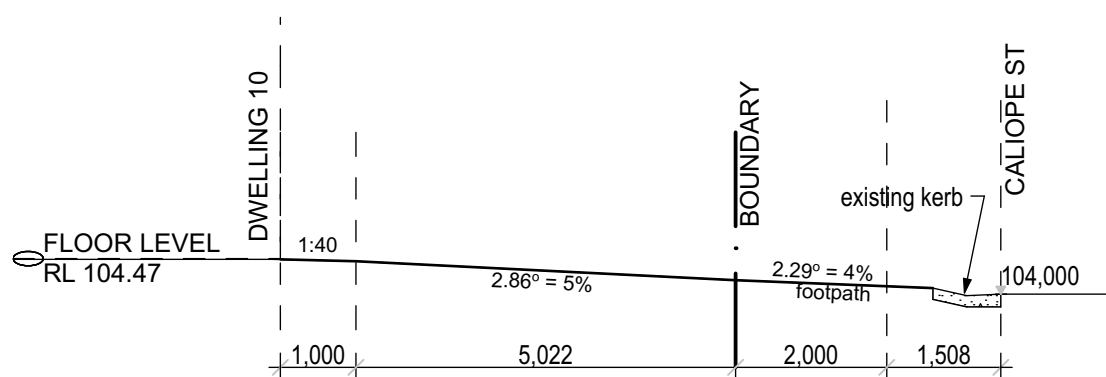
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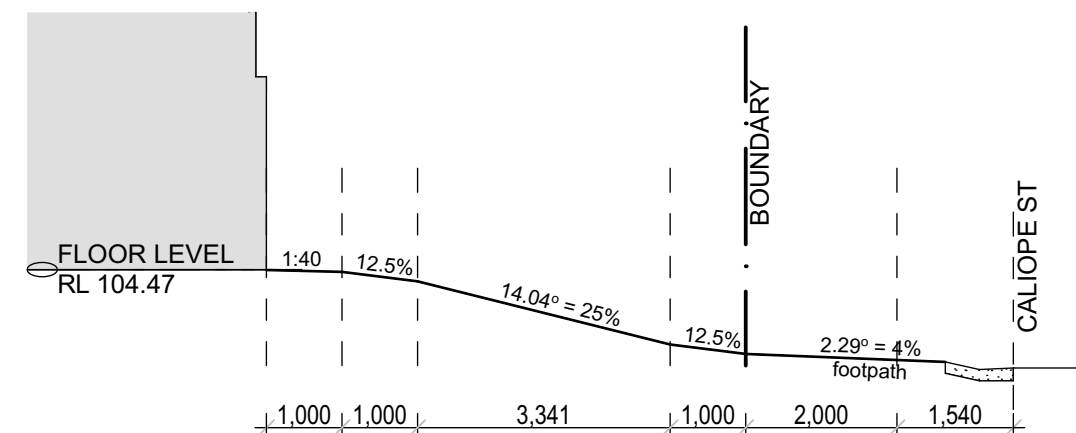
DLS8 DRIVEWAY 8
1:100



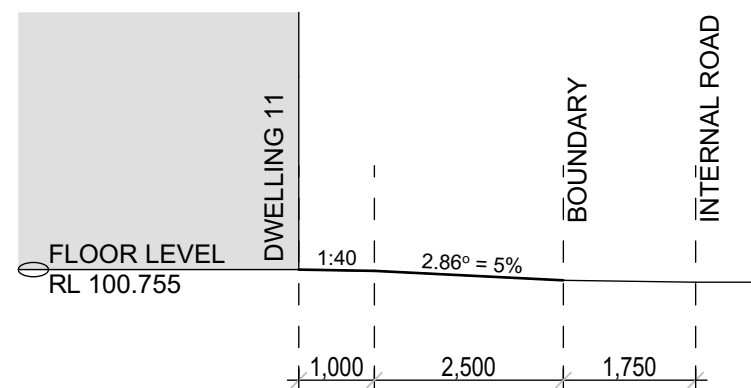
DLS9 DRIVEWAY 9
1:100



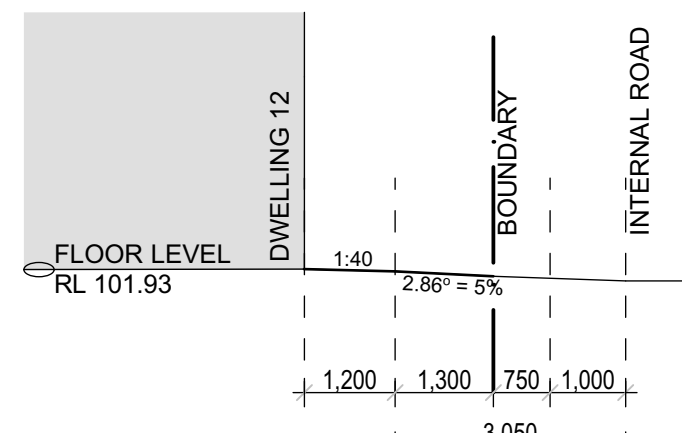
DLS10P PATH 10
1:100



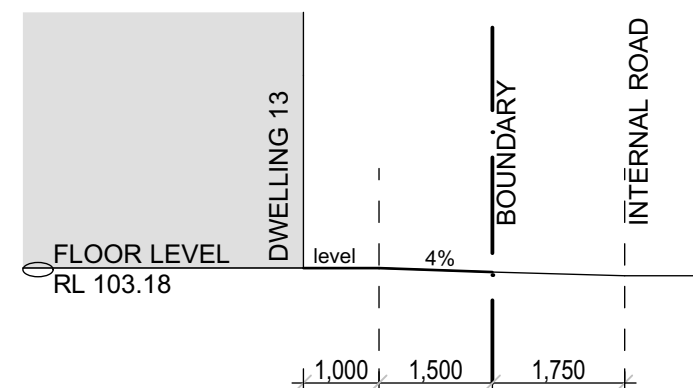
DRIVEWAY 10
1:100



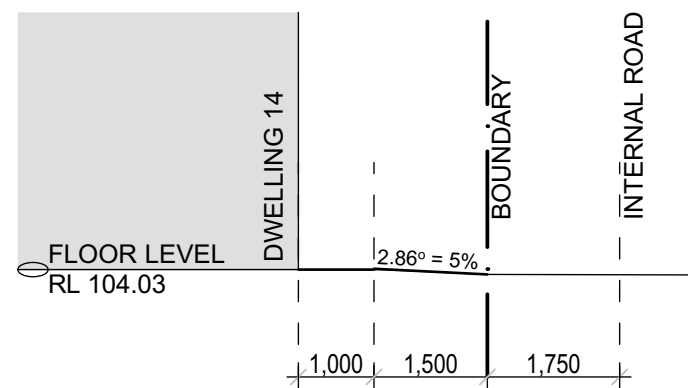
DLS11 DRIVEWAY 11
1:100



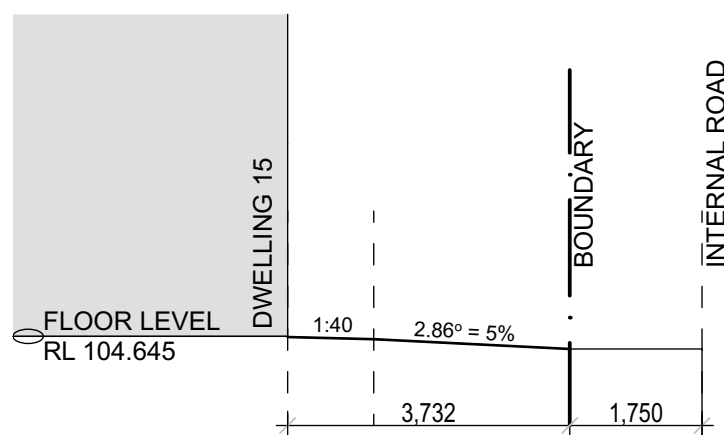
DLS12 DRIVEWAY 12
1:100



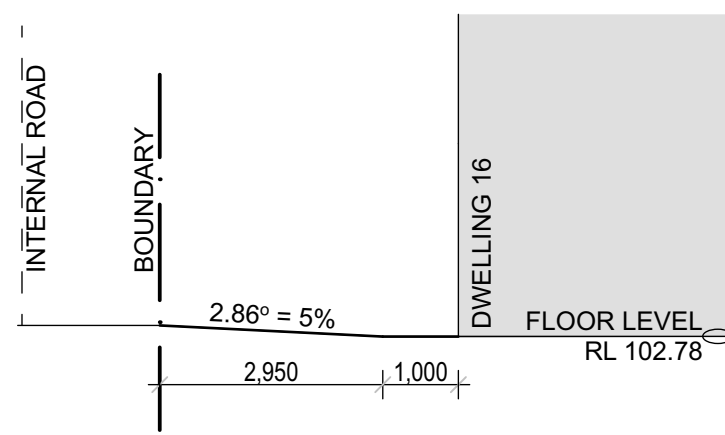
DLS13 DRIVEWAY 13
1:100



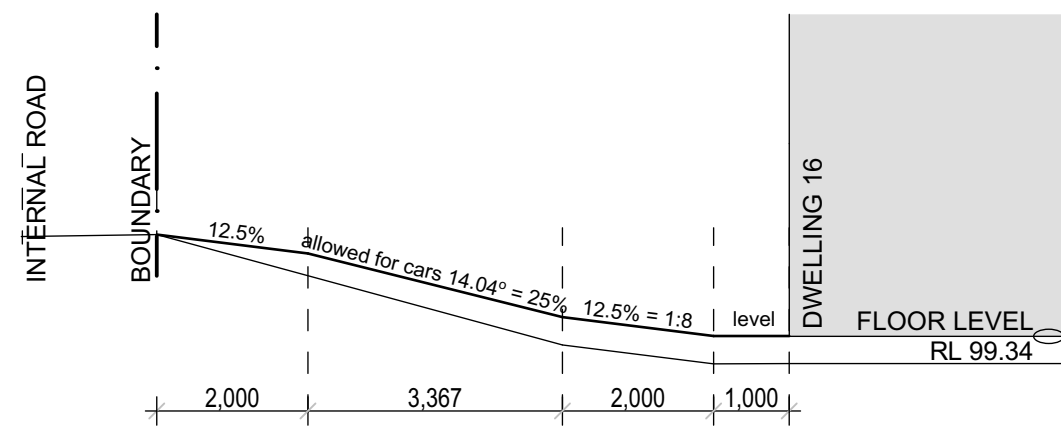
DLS14 DRIVEWAY 14
1:100



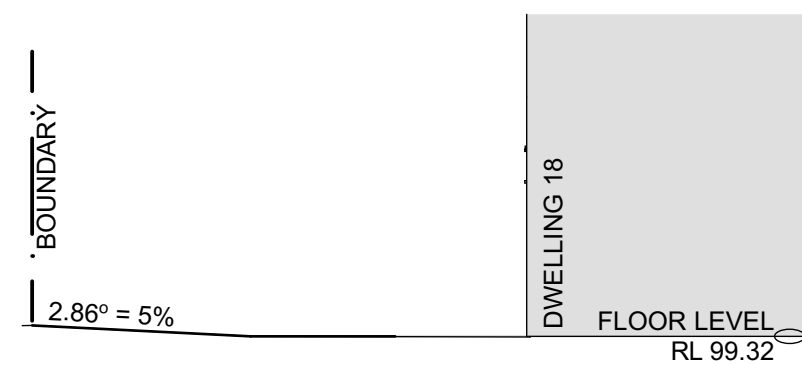
DLS15 DRIVEWAY 15
1:100



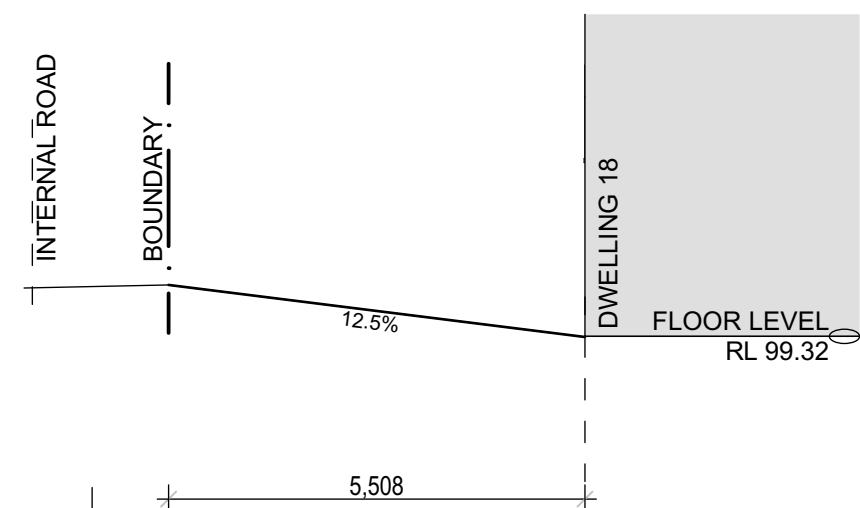
DRIVEWAY 16
1:100



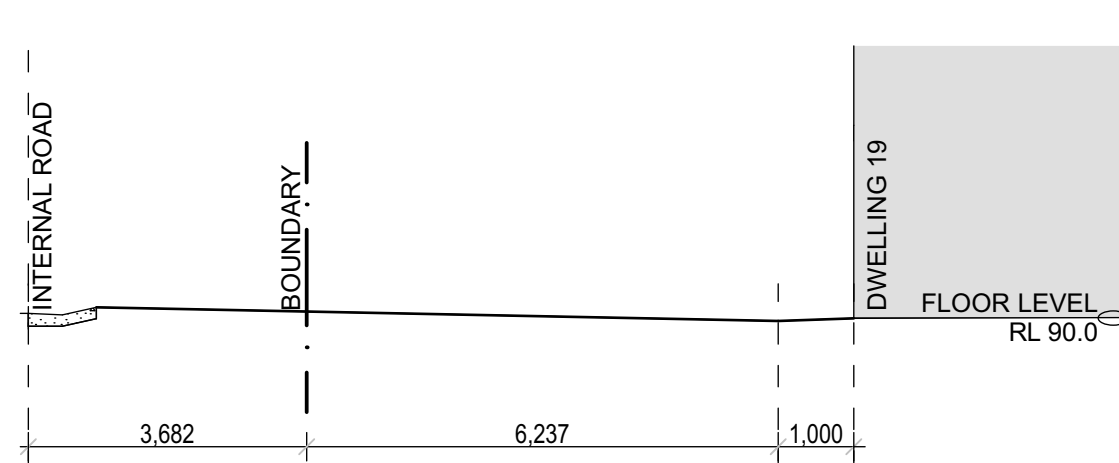
DLS17 DRIVEWAY 17
1:100



PATH 18
1:100



DLS18D DRIVEWAY 18
1:100



DLS19 DRIVEWAY 19
1:100

NOTES

ALL DIMENSIONS TO BE CONFIRMED ON-SITE.

ALL TIMBER WORKS TO COMPLY WITH AS 1684
NATIONAL TIMBER FRAMING CODE
ALL BRICKWORK TO COMPLY WITH AS 3700
MASONRY IN BUILDING

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Any discrepancy in the document is to be referred to the
company for clarification before proceeding with any work.

AMENDMENTS

REV	AMENDMENT	DATE	BY
A	Issued for DA	02-02-21	AMS

PROJECT :

**PROPOSED SENIORS
LIVING ESTATE**
at LOT 17 DP 1210621 (Formerly Part
Lot 100 DP 751279), 2 Caliope St
KIAMA NSW

CLIENT :

**WERITON
PROPERTIES**

DRAWING :

**DRIVEWAY CROSS
SECTIONS**

CSA JOB NO. : **610-12-331**

SCALES **as shown** No. IN SET **16 of 16**

DATE **02-02-21**

DRAWN BY
AMS

SHEET
NUMBER

DA 16 A

coble stephens
architects

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Andrew Coble Architects Registration 6922 Alison Stephens Architects Registration 6678

SCALE
0 1.0 2.0 3.0 4.0 5.0
THESE DRAWINGS HAVE BEEN PREPARED FOR
DEVELOPMENT APPLICATION

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALING

300mm ON ORIGINAL

A1 0 10 20 30 40 50 60 70 80 90 100 ALL DIMENSIONS TO BE CHECKED ON SITE