

01 ROOF AND SITE PLAN 1:200

Amendments

B	ROOM NUMBERS INCREASED TO 8	01/06/19
C	OUTDOOR SPACE RELOCATED	25/03/20
D	ROOM NUMBERS REDUCED TO 6	20/07/20
E	BINS RELOCATED	28/06/21
F	OPEN SPACE RELOCATED TO NORTHWEST	10/09/21

Architect

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Project Details

NEW BOARDING HOUSE AT

**14 NYRANG ROAD
ORANGE NSW 2800**

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Drawn JG	Approved JG	Date Printed 10/9/21
Job Number	1917	
Scale	As shown @ A3	

Drawing name

ROOF AND SITE PLAN

Drawing Number

DA-01

Amendment

F



01 GROUND FLOOR PLAN 1:150

OPEN SPACE RELOCATED TO		
F	NORTHWEST	10/09/21
E	BINS RELOCATED	28/06/21
D	ROOM NUMBERS REDUCED TO 6	20/07/20
C	OUTDOOR SPACE RELOCATED	25/03/20
B	ROOM NUMBERS INCREASED TO 8	01/06/19

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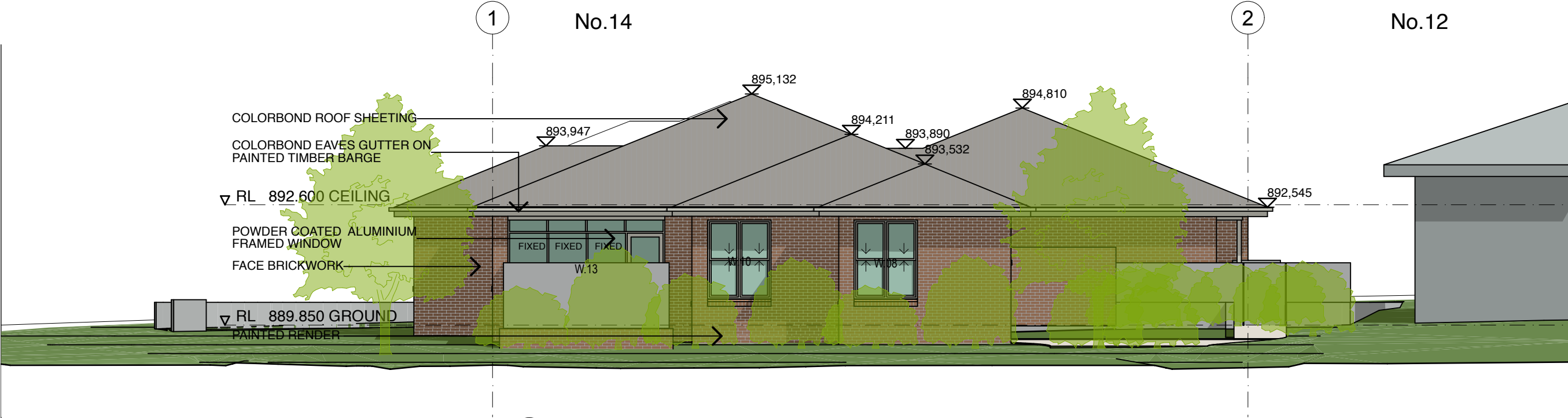
GROUND FLOOR PLAN

Drawing Number
DA-02

Amendment
F



01 NORTH ELEVATION 1:100



02 WEST ELEVATION 1:100

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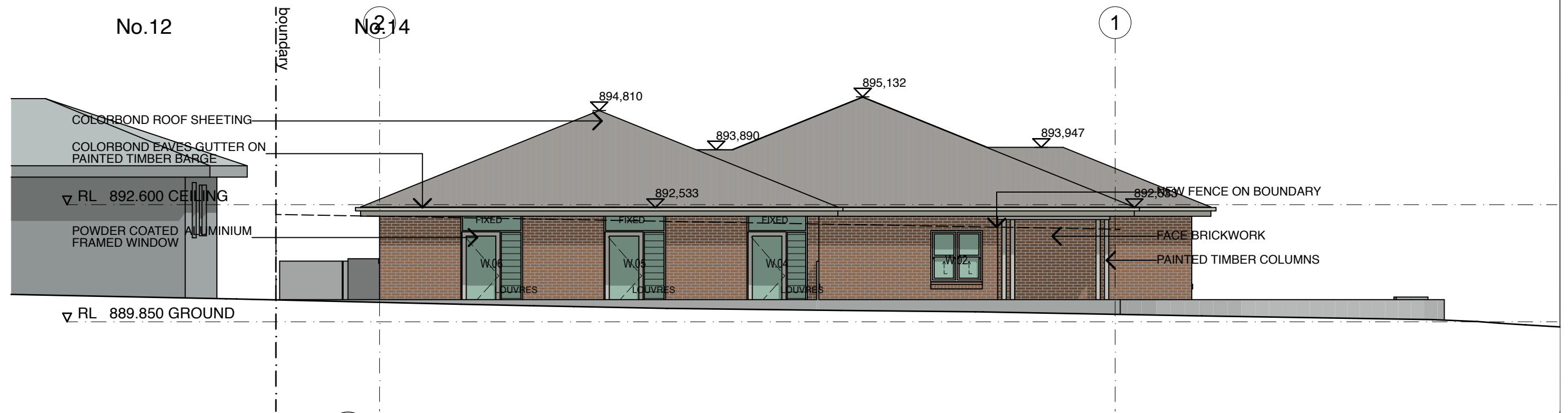
Drawing name

**NORTH AND WEST
ELEVATIONS**

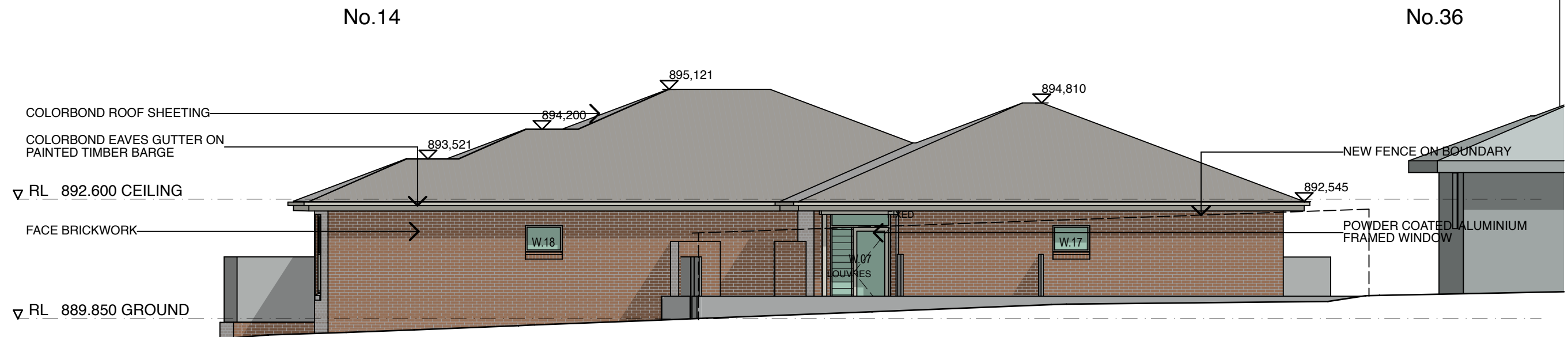
Drawing Number

DA-03

**Amendment
F**



01 EAST ELEVATION 1:100



02 SOUTH ELEVATION 1:100

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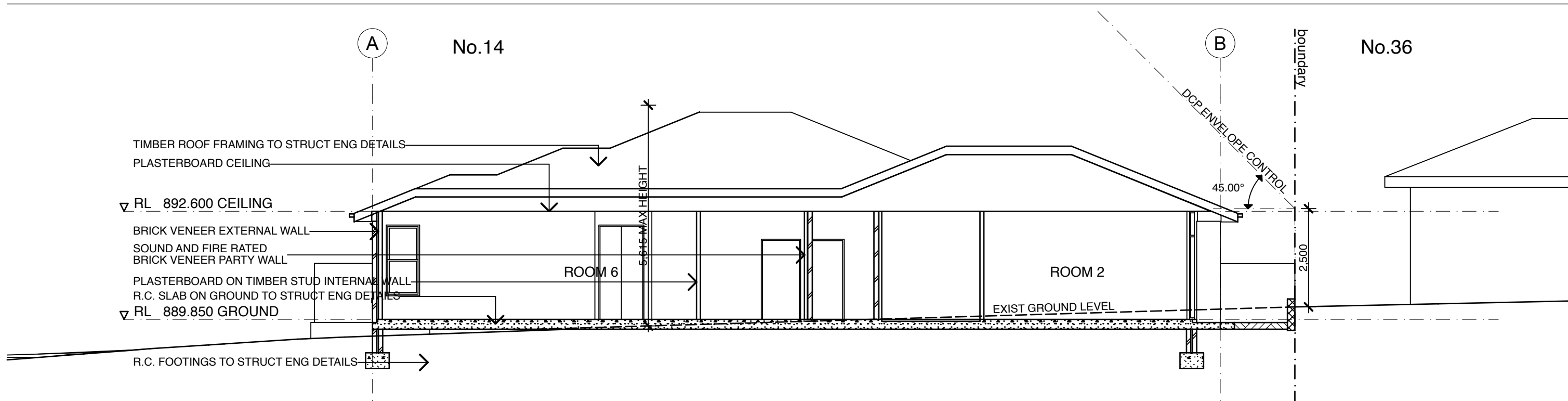
Drawing name

**EAST AND SOUTH
ELEVATIONS**

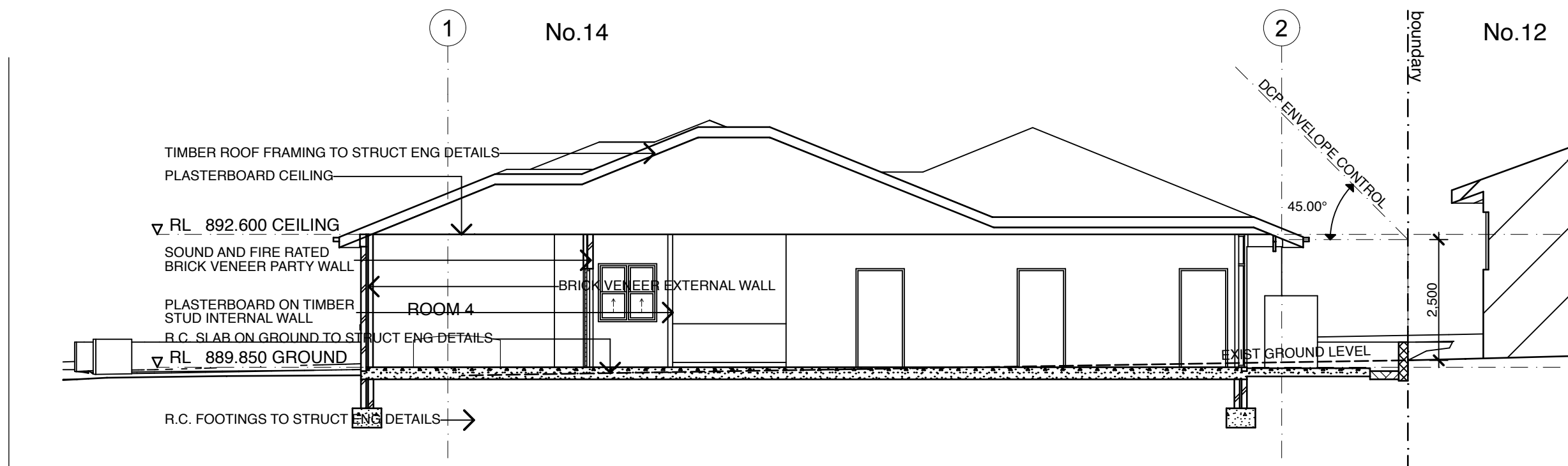
Drawing Number

DA-04

Amendment
F



01 SECTION 1:100



02 SECTION 1:100

Amendments

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Drawing name

SECTIONS

Drawing Number

DA-05

Amendment

F



01 MATERIALS VIEW

2-
GUTTERS AND
WINDOW FRAMES
COLOURBOND
SURFMIST

3-
ROOF SHEETING
COLOURBOND WALLABY

1-
FACE BRICKWORK
BOWRAL BROWN

4-
PAINTED TIMBER
DULUX MILTON MOON

Amendments		
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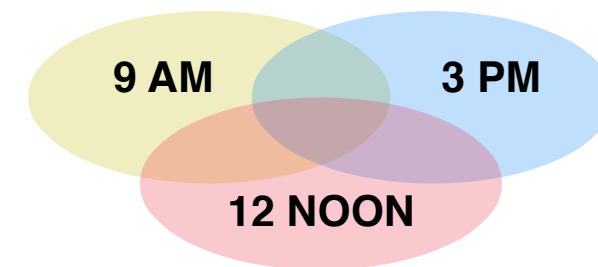
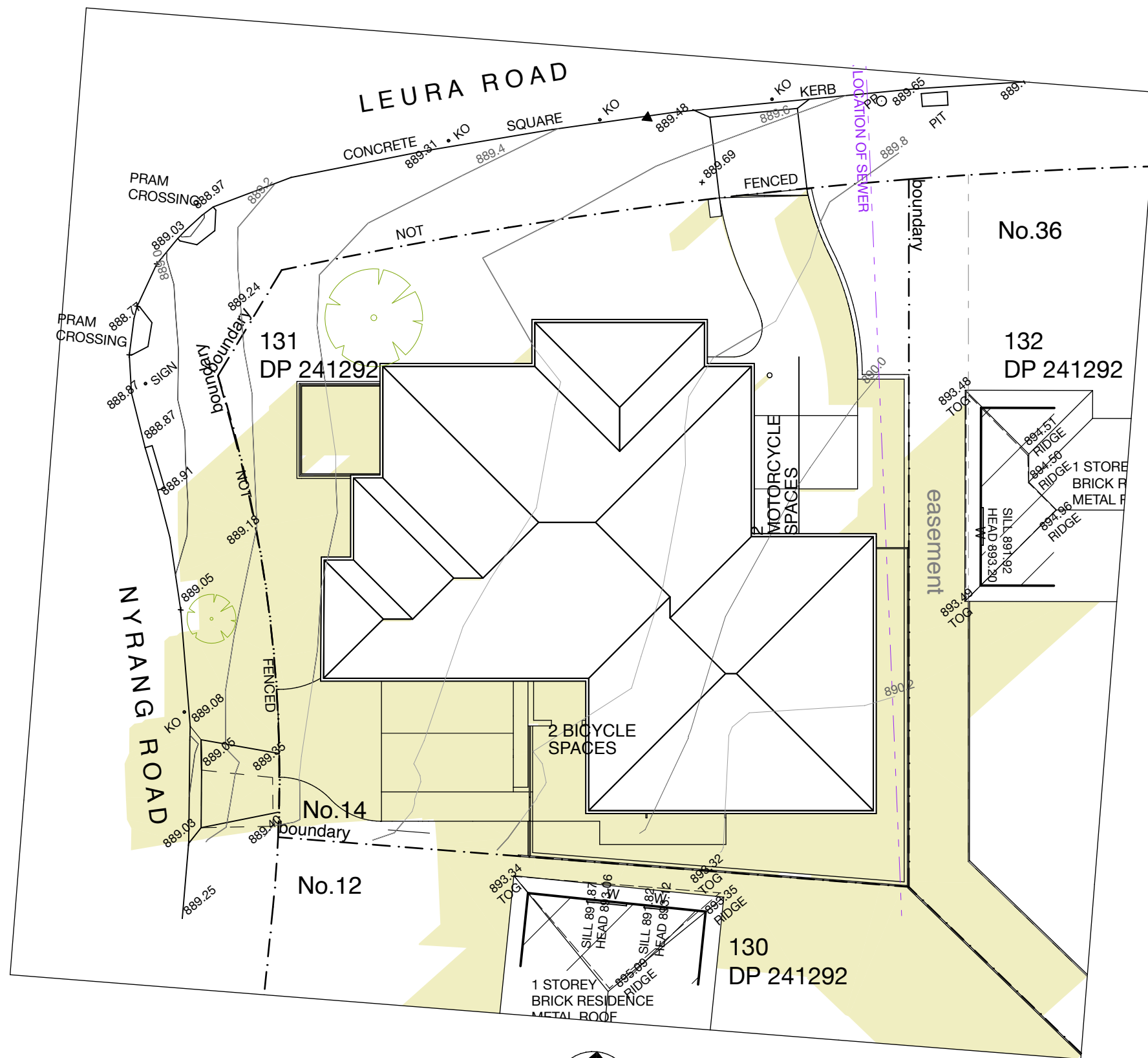
MATERIALS AND FINISHES

Drawing Number

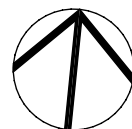
DA-06

Amendment

F



02 SHADOW PLAN 21ST JUNE 1:200



Amendments

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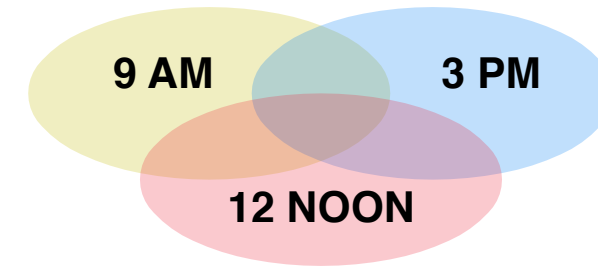
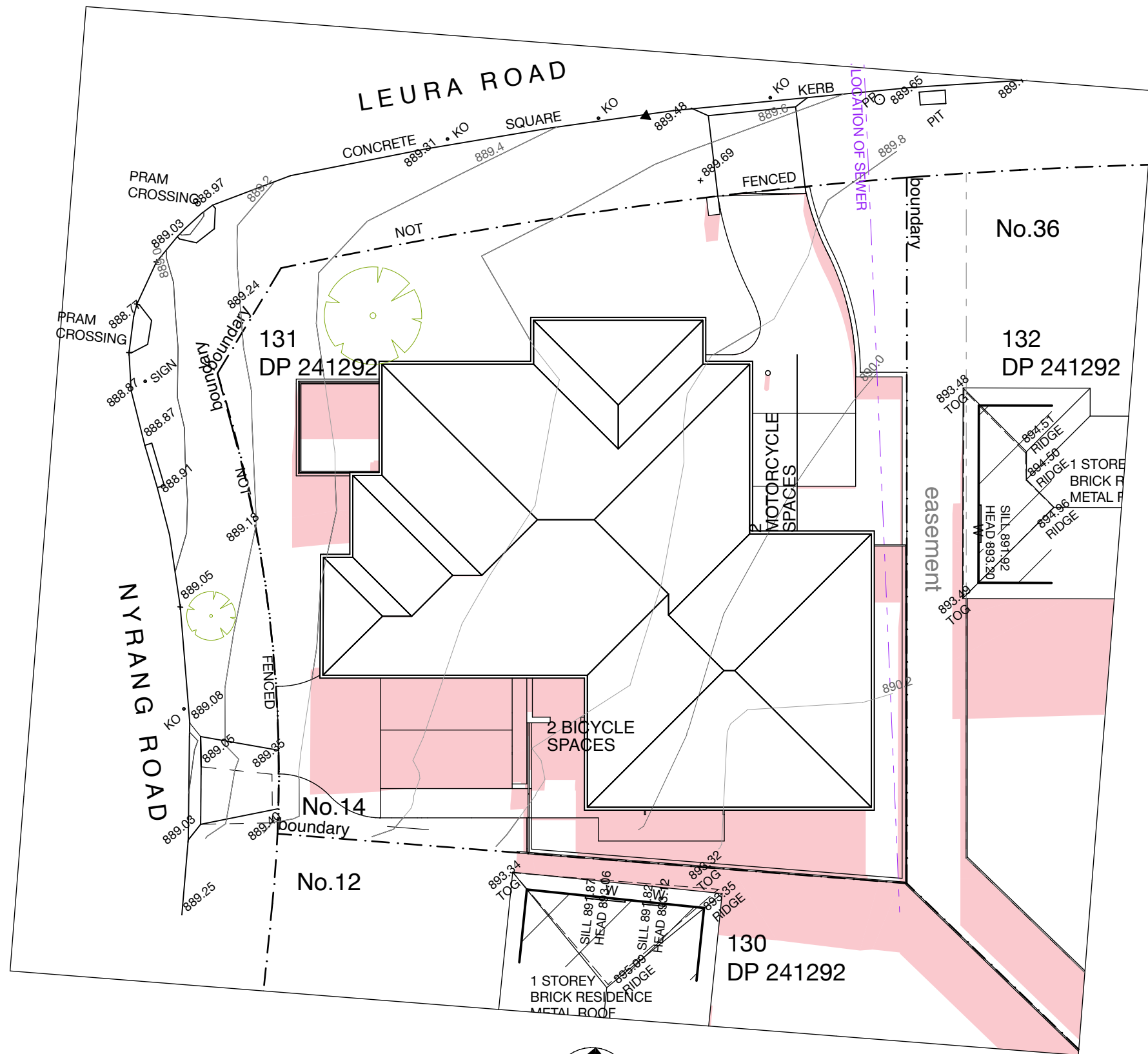
Drawing name

**SHADOW DIAGRAM JUNE
21ST 9 AM**

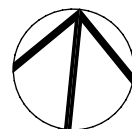
Drawing Number

DA-07

Amendment
F



02 SHADOW PLAN 21ST JUNE 1:200



Amendments

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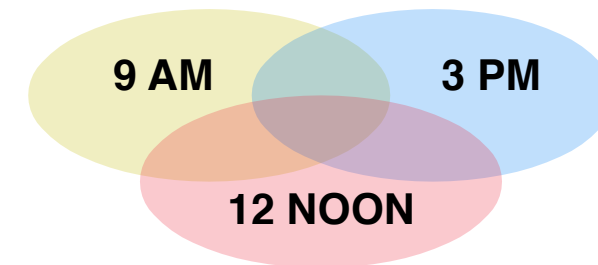
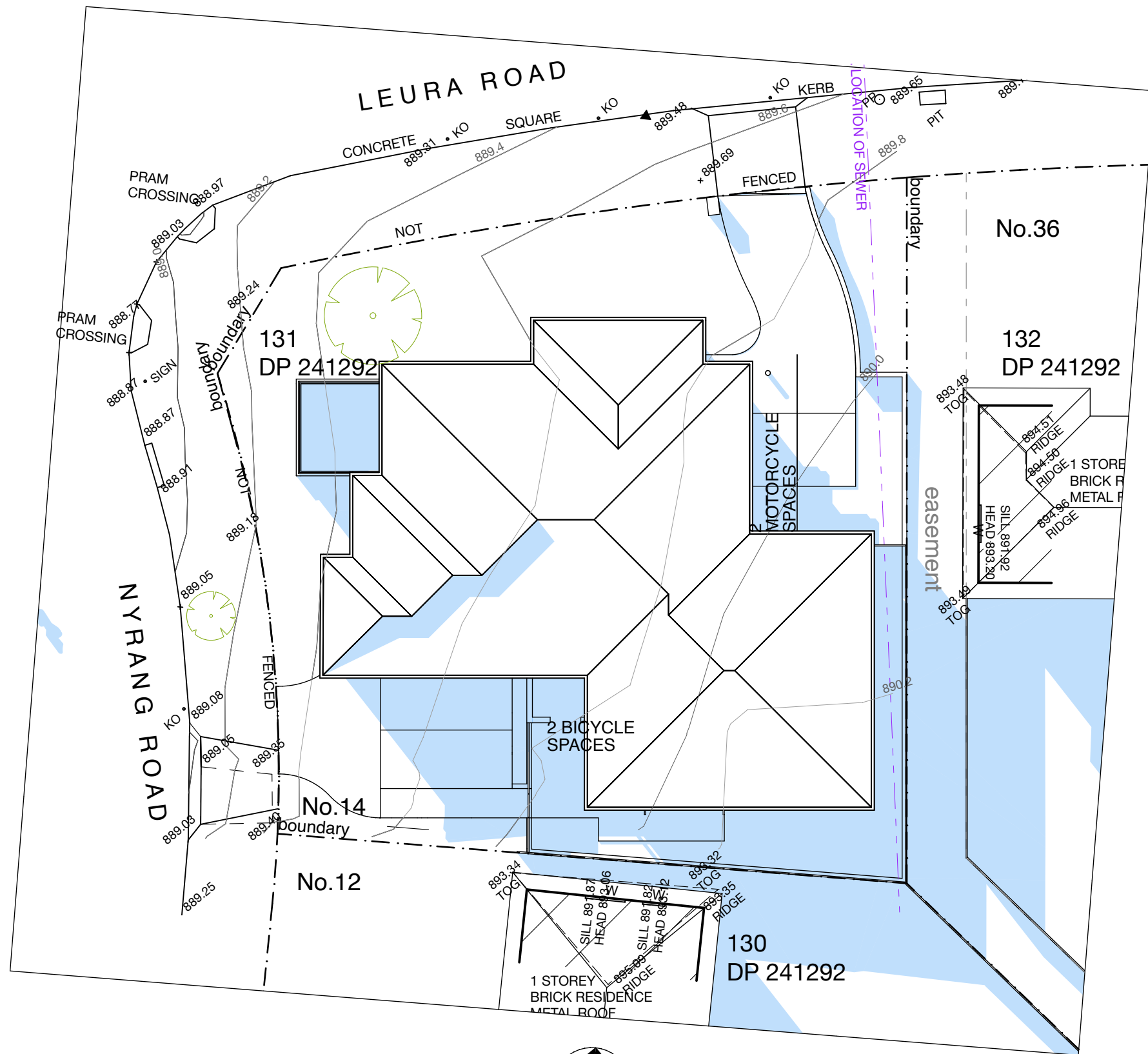
Drawing name

**SHADOW DIAGRAM JUNE
21ST 12 NOON**

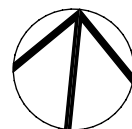
Drawing Number

DA-08

Amendment
F



02 SHADOW PLAN 21ST JUNE 1:200



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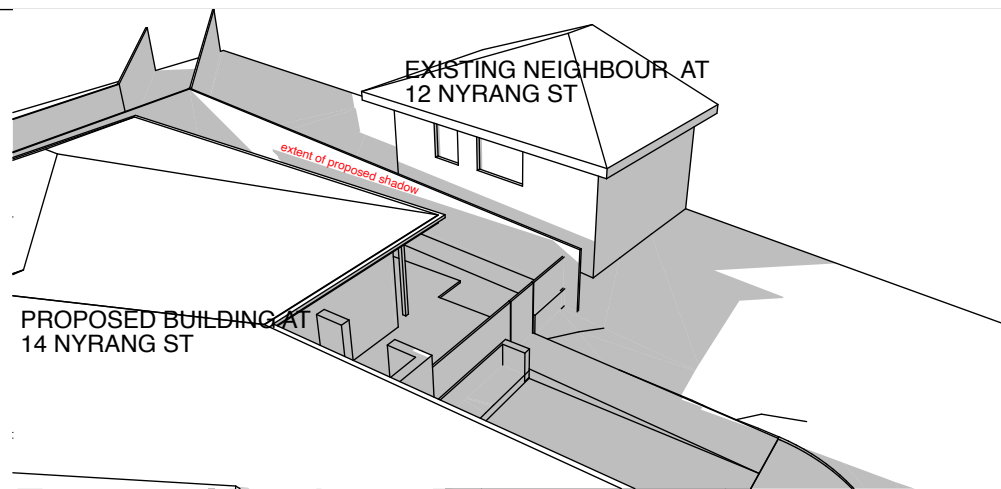
Drawing name

**SHADOW DIAGRAM JUNE
21ST 3 PM**

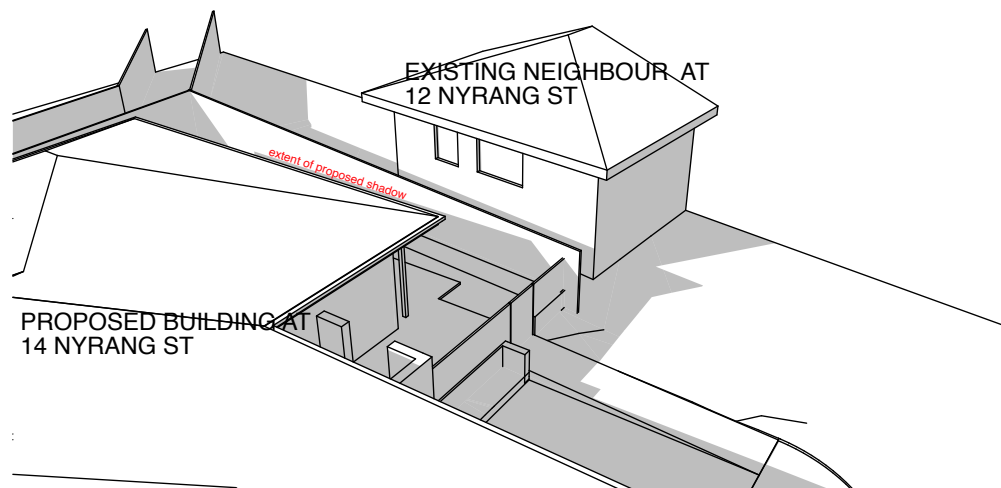
Drawing Number

DA-09

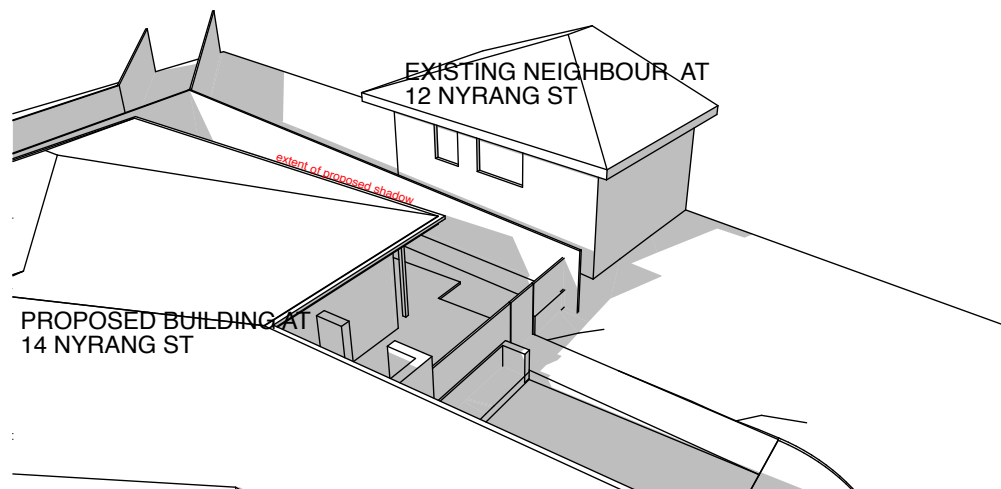
Amendment
F



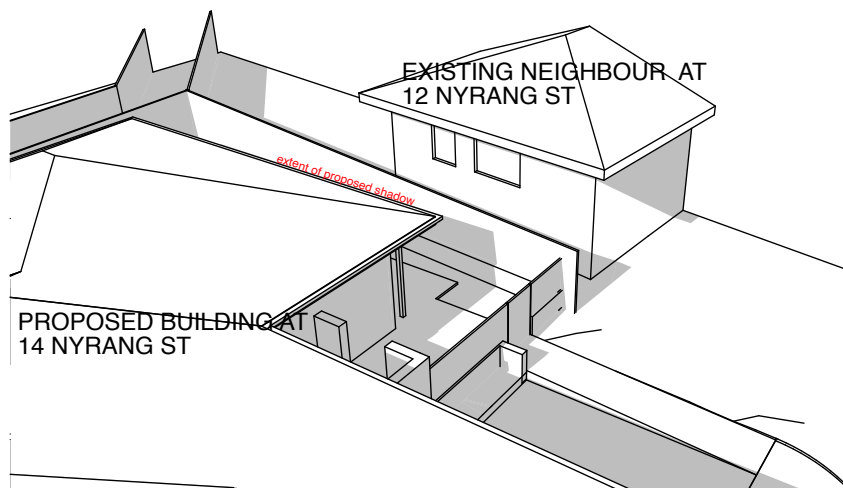
01 VIEW JUNE 21ST 9 AM



02 VIEW JUNE 21ST 10 AM



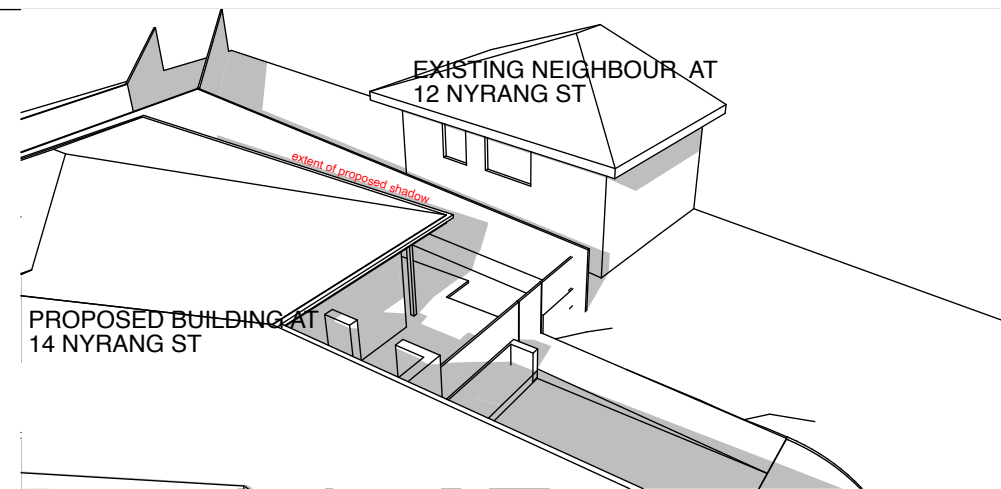
03 VIEW JUNE 21ST 11 AM



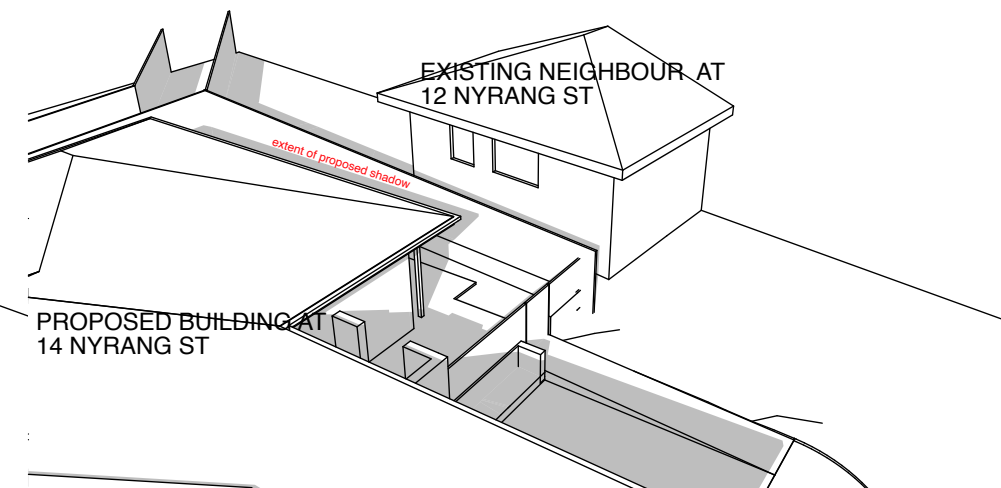
04 VIEW JUNE 21ST 12 NOON

CONCLUSION-
THE SHADOWS FROM THE PROPOSED DEVELOPMENT
HAVE NO EFFECT ON THE SOUTHERN NEIGHBOUR.
THIS IS OBVIOUS AS THE PROPOSED DEVELOPMENT
IS A ONE STOREY BUILDING WHOSE SHADOWS DO
NOT GO HIGHER THAN THE BOUNDARY FENCE.
THE NEIGHBOUR'S DAYLIGHT IS SIMILARLY UNAFFECTED

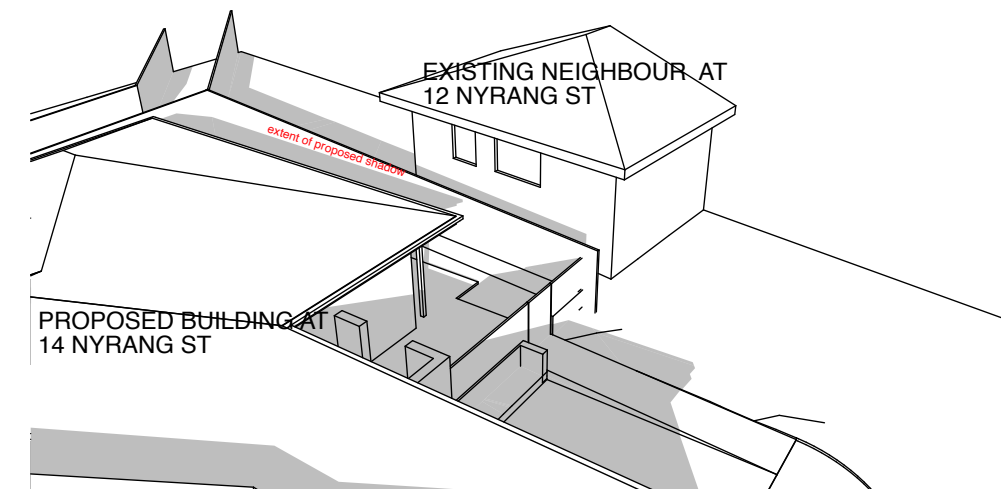
CALCULATIONS-
SOUTHERN NEIGHBOUR SOLAR ACCESS LOSS 0%
SOUTHERN NEIGHBOUR DAYLIGHT ACCESS LOSS 0%



05 VIEW JUNE 21ST 1 PM



06 VIEW JUNE 21ST 2 PM



07 VIEW JUNE 21ST 3 PM

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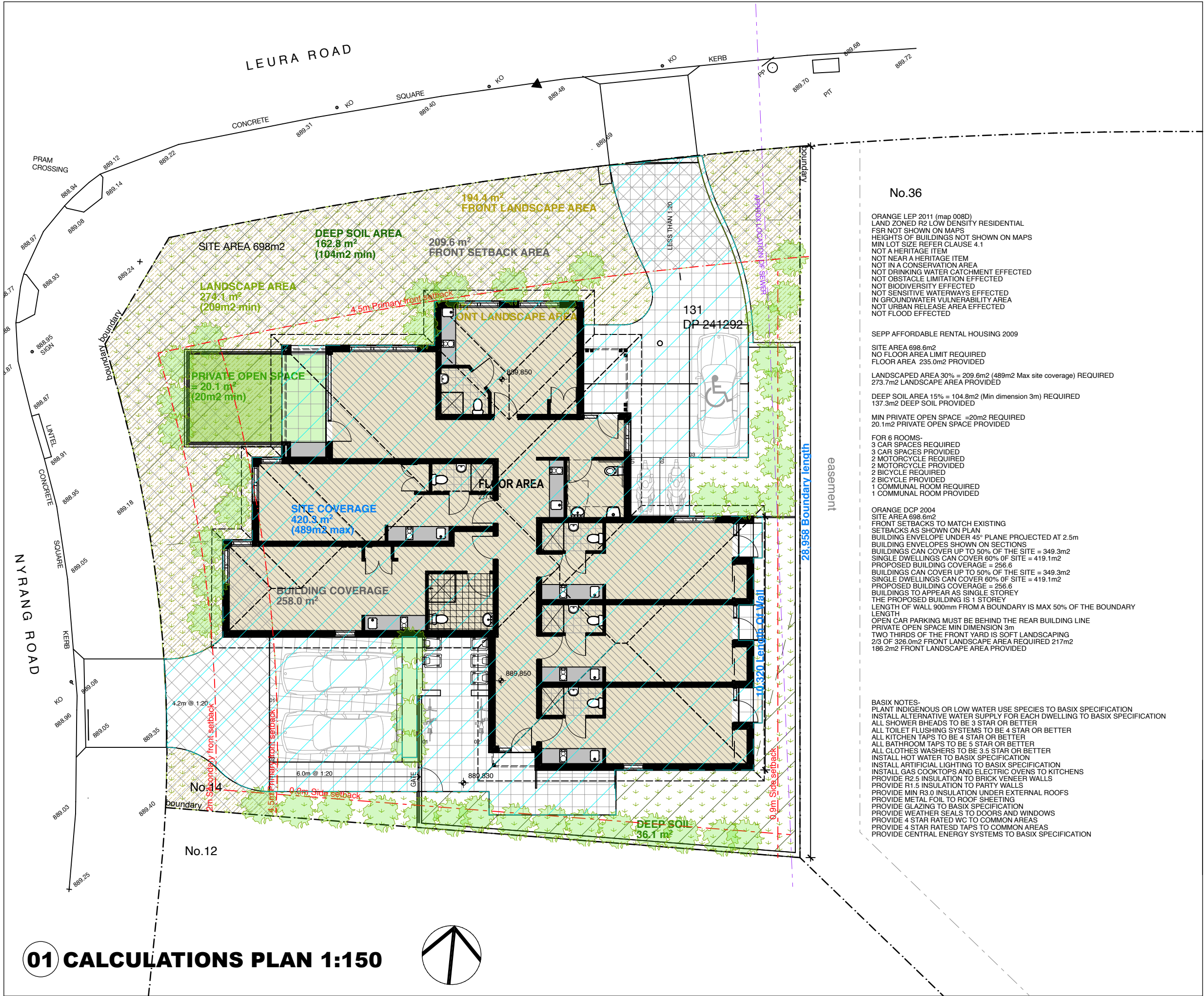
Drawing name

SHADOW VIEWS

Drawing Number

DA-10

Amendment
F



No.36

ORANGE LEP 2011 (map 008D)
LAND ZONED R2 LOW DENSITY RESIDENTIAL
FSR NOT SHOWN ON MAPS
HEIGHTS OF BUILDINGS NOT SHOWN ON MAPS
MIN LOT SIZE REFER CLAUSE 4.1
NOT A HERITAGE ITEM
NOT NEAR A HERITAGE ITEM
NOT IN A CONSERVATION AREA
NOT DRINKING WATER CATCHMENT EFFECTED
NOT OBSTACLE LIMITATION EFFECTED
NOT BIODIVERSITY EFFECTED
NOT SENSITIVE WATERWAYS EFFECTED
IN GROUNDWATER VULNERABILITY AREA
NOT URBAN RELEASE AREA EFFECTED
NOT FLOOD EFFECTED

SEPP AFFORDABLE RENTAL HOUSING 2009

SITE AREA 698.6m²
NO FLOOR AREA LIMIT REQUIRED
FLOOR AREA 235.0m² PROVIDED

LANDSCAPED AREA 30% = 209.6m² (489m² Max site coverage) REQUIRED
273.7m² LANDSCAPE AREA PROVIDED

DEEP SOIL AREA 15% = 104.8m² (Min dimension 3m) REQUIRED
137.3m² DEEP SOIL PROVIDED

MIN PRIVATE OPEN SPACE = 20m² REQUIRED
20.1m² PRIVATE OPEN SPACE PROVIDED

FOR 6 ROOMS-
3 CAR SPACES REQUIRED
3 CAR SPACES PROVIDED
2 MOTORCYCLE REQUIRED
2 MOTORCYCLE PROVIDED
2 BICYCLE REQUIRED
2 BICYCLE PROVIDED
1 COMMUNAL ROOM REQUIRED
1 COMMUNAL ROOM PROVIDED

ORANGE DCP 2004
SITE AREA 698.6m²
FRONT SETBACKS TO MATCH EXISTING
SETBACKS AS SHOWN ON PLAN
BUILDING ENVELOPE UNDER 45° PLANE PROJECTED AT 2.5m
BUILDING ENVELOPES SHOWN ON SECTIONS
BUILDINGS CAN COVER UP TO 50% OF THE SITE = 349.3m²
SINGLE DWELLINGS CAN COVER 60% OF SITE = 419.1m²
PROPOSED BUILDING COVERAGE = 256.6
BUILDINGS CAN COVER UP TO 50% OF THE SITE = 349.3m²
SINGLE DWELLINGS CAN COVER 60% OF SITE = 419.1m²
PROPOSED BUILDING COVERAGE = 256.6
BUILDINGS TO APPEAR AS SINGLE STOREY
THE PROPOSED BUILDING IS 1 STOREY
LENGTH OF WALL 900mm FROM A BOUNDARY IS MAX 50% OF THE BOUNDARY LENGTH
OPEN CAR PARKING MUST BE BEHIND THE REAR BUILDING LINE
PRIVATE OPEN SPACE MIN DIMENSION 3m
TWO THIRDS OF THE FRONT YARD IS SOFT LANDSCAPING
2/3 OF 326.0m² FRONT LANDSCAPE AREA REQUIRED 217m²
186.2m² FRONT LANDSCAPE AREA PROVIDED

BASIX NOTES-
PLANT INDIGENOUS OR LOW WATER USE SPECIES TO BASIX SPECIFICATION
INSTALL ALTERNATIVE WATER SUPPLY FOR EACH DWELLING TO BASIX SPECIFICATION
ALL SHOWER BHEADS TO BE 3 STAR OR BETTER
ALL TOILET FLUSHING SYSTEMS TO BE 4 STAR OR BETTER
ALL KITCHEN TAPS TO BE 4 STAR OR BETTER
ALL BATHROOM TAPS TO BE 5 STAR OR BETTER
ALL CLOTHES WASHERS TO BE 3.5 STAR OR BETTER
INSTALL HOT WATER TO BASIX SPECIFICATION
INSTALL ARTIFICIAL LIGHTING TO BASIX SPECIFICATION
INSTALL GAS COOKTOPS AND ELECTRIC OVENS TO KITCHENS
PROVIDE R2.5 INSULATION TO BRICK VENEER WALLS
PROVIDE R1.5 INSULATION TO PARTY WALLS
PROVIDE MIN R3.0 INSULATION UNDER EXTERNAL ROOFS
PROVIDE METAL FOIL TO ROOF SHEETING
PROVIDE GLAZING TO BASIX SPECIFICATION
PROVIDE WEATHER SEALS TO DOORS AND WINDOWS
PROVIDE 4 STAR RATED WC TO COMMON AREAS
PROVIDE 4 STAR RATED TAPS TO COMMON AREAS
PROVIDE CENTRAL ENERGY SYSTEMS TO BASIX SPECIFICATION

OPEN SPACE RELOCATED TO		
F	NORTHWEST	10/08/21
E	BINS RELOCATED	28/06/21
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CALCULATIONS

Drawing Number	Amendment
DA-11	F



CHARCTERISTIC MATERIALS-

WALLS-
1 FACE BRICK
2 PAINTED CLADDING

ROOFS-
3 CERAMIC /CONCRETE TILE
4 STEEL SHEET

CHARACTERISTIC FORMS

5 ONE STOREY (ALL BUILDINGS)
6 MEDIUM TO LOW ROOF PITCH (ALL BUILDINGS)
7 PROMINENT DRIVEWAY
8 PARKING NOT UNDER COVER

CHARACTERISTIC LANDSCAPING

-GRASS IS THE DOMINANT FORM OF LANDSCAPING
-LOW BUSHES AND SHRUBS ARE THE
SECONDARY DOMINANT FORM
-NO LARGE TREES
-SMALL AMOUNTS OF MEDIUM AND SMALL TREES



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**NEIGHBOURHOOD
CHARACTER ANALYSIS**

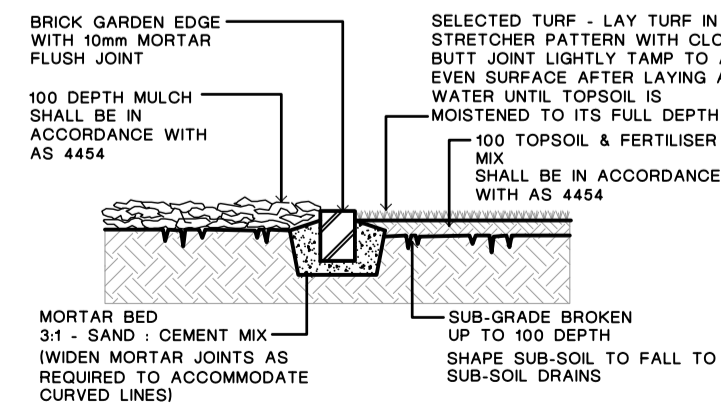
Drawing Number

DA-12

Amendment
F

	<p>EXISTING RL</p> <p>EXISTING TREE TO BE REMOVED</p> <p>EXISTING TREE TO BE RETAINED AND SHALL BE PROTECTED DURING CONSTRUCTION</p> <p>TREE PRUNING SHALL BE IN ACCORDANCE WITH AS 4373</p>
	<p>PROPOSED TREES, SHRUBS & GROUND COVER (REFER NO. TO PLANT SCHEDULE)</p>
	<p>BOUNDARY FENCE</p> <p>MULCHED GARDEN BED 900 WIDE MIN.</p> <p>REFER TO DETAIL 1 & 2</p> <p>SELECTED BRICK GARDEN EDGE OR AS SELECTED REFER TO DETAIL 1</p>
	<p>SELECTED RETAINING WALL / OSD WALL</p> <p>TOP OF RETAINING WALL RL IN GENERAL SHALL BE MAX. 100mm ABOVE NGL</p> <p>TO ENGINEER DETAIL</p>
	<p>LAWN AREA</p> <p>SIR WALTER BUFFALO</p> <p>REFER TO DETAIL 1</p>
	<p>PERMEABLE PEBBLE AREA</p> <p>SELECTED 100 DEPTH RIVER PEBBLES WITH WEED MAT UNDER</p>
	<p>DRIVEWAY / PATH</p> <p>SELECTED STENCILED OR COLOURED CONCRETE</p>
	<p>PATIO / TERRACE / PATH</p> <p>SELECTED TILES</p>
	<p>SELECTED LETTER BOX</p> <p>- TO AUST POST REQUIREMENTS AND TO AS/NZS 4253:1994</p>
	<p>SELECTED AUTOMATIC BOLLARD</p> <p>- ILLUMINATION SHALL BE DESIGNED BY A QUALIFIED LIGHTING CONSULTANT AND IN ACCORDANCE WITH AS 4282, AS 1680 & AS 1166</p>
	<p>STORM WATER PIT</p> <p>REFER TO ENGINEER PLANS FOR DETAILS</p>

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NOTE :
ALIGNMENT OF BRICK EDGE SHALL BE EVEN & FREE FROM
DIPS AND HUMPS.
ALL TURFED AREAS SHALL BE FINISHED LEVEL WITH ADJOINING
SURFACES AND ALSO FALL EVENLY TO APPROVED POINTS OF
DRAINAGE DISCHARGE



NOTE :
DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS SUCH AS
EXTREME HEAT, COLD, WIND OR RAIN CLAY SOIL IS TO BE TREATED
WITH CLAY BREAKER AND ORGANIC COMPOST



ALL SOIL TYPE AS PER AUST. NATIVE LANDSCAPE SUPPLY OR
EQUIVALENT AND SHALL BE IN ACCORDANCE WITH AS 4419

IN ACCORDANCE WITH AS 2303: 2015

NOTE:

THE TREES SHALL COMPLY WITH NATSPEC SPECIFYING TREES:
A GUIDE TO ASSESSMENT OF TREE QUALITY (2003) OR AUSTRALIAN STANDARD AS 2303
- 2015 TREE STOCK FOR LANDSCAPE USE.

HEIGHT AND SPAN ARE INDICATIVE ONLY.SUBJECT TO ON SITE ENVIRONMENTAL FACTORS
USE ONLY AS A GUIDE.

DRAWN FF	SCALE: 1:100@A1 OR 1:200@A3	REV.
DRAWING NUMBER 19102 DA 1		D
 <p>MEMBER</p> <p>Australian Institute of Landscape Designers & Managers Ltd</p>		<p>(C)</p>  <p>NORTH</p>

STORMWATER MANAGEMENT PLAN

PROPOSED BOARDING HOUSE

No.14 NYRANG ROAD, ORANGE

GENERAL NOTES:

- THESE PLANS REMAIN THE PROPERTY OF NY CIVIL ENGINEERING PTY LTD AND ARE SUBJECT TO COPYRIGHT
- ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED. ALL REDUCED LEVELS (SURFACE LEVELS, INVERT LEVELS) AND CHAINAGES ARE IN METERS UNLESS OTHERWISE STATED. DO NOT SCALE OFF THE DRAWINGS, SCALES ARE AS SHOWN, USE FIGURED DIMENSIONS.
- THIS PLAN IS TO BE READ IN JUNCTION WITH LATEST ARCHITECTURAL, STRUCTURAL, UTILITY AND LANDSCAPE PLANS IN ADDITION TO ANY RELEVANT GEOTECHNICAL, SOIL CLASSIFICATION OR REF/ENVIRONMENTAL REPORTS. ENGINEER IS TO BE NOTIFIED OF ANY DISCREPANCIES QUOTED ON THIS PLAN.
- ALL WORKS SHALL BE CARRIED OUT TO LOCAL COUNCIL'S DEVELOPMENT CONTROL PLAN AND SPECIFICATIONS, AS/NZS 3500.3 AND B.C.A.
- ALL LEVELS SHALL RELATE TO THE ESTABLISHED BM, PM AND/OR LM. ALL EXISTING SERVICES ARE TO BE VERIFIED FOR LOCATION AND DEPTH PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR TO NOIFY DESIGNER OF ANY DISCREPANCIES OF SERVICE LEVELS QUOTED ON THIS PLAN. ALL SURVEY INFORMATION, BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF WORKS. NO TREES SHALL BE REMOVED WITHOUT THE WRITTEN PERMISSION OF COUNCIL.
- THE CONTRACTOR SHALL TAKE ALL DUE CARE TO USE THE ABSOLUTE MINIMUM AREA FOR CONSTRUCTION AND THAT NO UNDUE DAMAGE IS DONE TO THE EXISTING VEGETATION.
- THE CONTRACTOR SHALL COMPLY WITH CONDITIONS, AND SPECIFICATION OF COUNCIL AND ALL ACTS OF THE NSW EPA.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE CARE TO PROTECT EXISTING SERVICES. DAMAGED SERVICES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL NEW WORK IS TO MAKE A SMOOTH JUNCTION WITH EXISTING WORK.
- SUITABLE WARNING SIGNS AND BARRICADES ARE TO BE PROVIDED IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AND AS DIRECTED BY THE RELEVANT AUTHORITY.
- SERVICES SHOWN ARE INDICATIVE ONLY FROM AVAILABLE INFORMATION AND THE TIME OF SITE INVESTIGATION (IF ANY). THE BUILDER IS TO NOTIFY ENGINEER OF ANY DISCREPANCIES QUOTED ON THIS PLAN.
- RESTORE ALL TRAFFIC AREAS TO PRE EXISTING CONDITION. FOR ALL SURFACES OTHER THAN IN TRAFFIC AREAS RESTORE DISTURBED SURFACES TO PRE-EXISTING CONDITION AND COMPACT AS SPECIFIED.
- RESTORE ALL AUTHORITY OWNED AREAS TO COUNCIL AND/OR AUTHORITY STANDARD AND SPECIFICATION.
- THE WORK AS CONSTRUCTED WORKS SHALL BE INSPECTED BY THE ENGINEER, MINIMUM 48 HOURS NOTICE SHALL BE PROVIDED FOR ALL INSPECTION REQUESTS.
- THE DESIGN PLANS HEREIN ARE SUBJECT TO COUNCIL APPROVAL PRIOR TO CONSTRUCTION.
- WORK AS CONSTRUCTED DRAWINGS TO BE REQUESTED AND RECEIVED IN CAD/DWG FILE TYPE AND HARD COPY 'RED LINE' MARKUP FROM CONSTRUCTOR FOR VERIFICATION AND CERTIFICATION.

ROOF STORMWATER DRAINAGE NOTES:

- ALL DOWN PIPES TO BE MINIMUM DN90 OR 100x50MM FOR GUTTERS SLOPE 1:500 AND STEEPER AS PER AS 3500.3 - 3.7.8
- ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3.
- ALL DOWNPIPES TO BE FITTED VERTICALLY TO THE SOLE OF EAVES GUTTERS, RAINHEAD AND/OR SUMP.
- ALL DOWNPIPES TO DRAIN INTO RAINWATER TANK AND OR PIT PRIOR TO DISCHARGE OFFSITE UNLESS PRIOR APPROVAL IS OBTAINED FROM COUNCIL IN WRITING OR NOTED OTHERWISE ON THIS PLAN.
- ALL EAVES GUTTERS TO BE SIZED FOR ARI 20 - AS PER AS 3500.3 - 3.5 AND APPENDIX H.
- ROOF DRAINAGE INSTALLATION TO BE IN ACCORDANCE TO AS 3500.3 SECTION 4.

STORMWATER DRAINAGE NOTES:

PIPE SIZE:

- THE MINIMUM PIPE SIZE SHALL BE:
 - DN90 FOR ALL DOWNPIPES;
 - DN100 WHERE THE LINE ONLY RECEIVES ROOF STORMWATER RUNOFF, OR;
 - DN100 WHERE THE LINE RECEIVES RUNOFF FROM PAVED OR UNPAVED AREAS.

PIPE GRADE:

- THE MINIMUM PIPE GRADE SHALL BE:
 - FOR DN100 - DN150 - 1.00%
 - FOR DN225 - 0.50%
 - FOR DN300 - 0.45%
 - FOR DN375 - 0.35%

STANDARD COVER:

- MINIMUM PIPE COVER FOR PVC PIPES SHALL BE AS PER AS 3500.3 TABLE 6.2.5:
 - NOT SUBJECT TO VEHICULAR LOADING:
 - WITHOUT PAVEMENT SINGLE DWELLINGS - 100mm
 - WITHOUT PAVEMENT OTHER THAN SINGLE DWELLINGS - 300mm
 - WITH PAVEMENT (BRICK/PAVERS) AND/OR UNREINFORCED CONCRETE - 100mm
 - SUBJECT TO VEHICULAR LOADING:
 - ROADS (SEALED) - 600mm
 - ROADS (UNSEALED) - 750mm
 - OTHER THAN ROADS (WITH PAVEMENT) - 100mm
 - OTHER THAN ROADS (WITHOUT PAVEMENT) - 450mm

PIPE INSTALLATION

- PIPES AND FITTINGS FOR STORMWATER DRAINAGE SHALL BE AS FOLLOWS:
 - FOR PIPE SIZES UP TO DN225 - PVC WITH SOLVENT WELDED JOINTS (IN GROUND).
 - FOR PIPE SIZES GREATER THAN DN225 - RCP WITH RUBBER RING JOINTS.
 - FOR LARGER PIPE DEPTHS AS SPECIFIED IN AS 3500.3 - RCP WITH RUBBER RING JOINTS.
 - FOR PIPES AND FITTINGS FOR SUBSOIL DRAINAGE SHALL BE SLOTTED PVS WITH SOLVENT WELDED JOINTS MINIMUM DN150.
- FOR GRATED DRAINS SHALL BE MINIMUM DN150 IN NON-TRAFFICABLE ZONES AND DN225 IN TRAFFICABLE ZONES.
- LAY AND JOINT ALL PIPES IN ACCORDANCE WITH THE MANUFACTURING RECOMMENDATIONS AND:
 - AS 3725-1989 - LOADS ON BURIED CONCRETE PIPES
 - AS 2566 - 1988 - BURIED FLEXIBLE PIPELINES
 - AS 1597.2 - 1996 - PRECAST REINFORCED CONCRETE BOX CULVERTS
 - AS 3500 - 1990 NATIONAL PLUMBING AND DRAINAGE CODE - PART 2 SANITARY PLUMBING AND SANITARY DRAINAGE - SYDNEY WATER REQUIREMENTS.
- ALLOW TO TEST ALL PIPES AND PITS TO MANUFACTURERS REQUIREMENTS.

CONNECTIONS TO STORMWATER SYSTEMS UNDER BUILDINGS:

IN ACCORDANCE WITH AS 3500.3 SECTION 9.2

CONNECTIONS TO COUNCIL STORMWATER SYSTEMS:

CONNECTION TO COUNCIL STORMWATER SYSTEM TO BE IN ACCORDANCE TO LOCAL COUNCIL DCP AND STANDARDS. NO CONNECTIONS TO BE MADE UNTIL PROPER PERMIT/APPROVALS ARE OBTAINED FROM LOCAL COUNCIL IN WRITING.

WARNING:

EXISTING SERVICES SHOWN ON THESE PLANS ARE NOT GUARANTEED COMPLETE OR CORRECT AND FURTHER INFORMATION IS REQUIRED FROM THE RELEVANT AUTHORITY AND FIELD INVESTIGATION AND ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

LEGEND

SURFACE INLET PIT		GRADED TRENCH DRAIN	
SURFACE INLET PIT (WITH ENVIROPOD 200 MICRON)		ABSORPTION TRENCH	
ACCESS GRATE (WITH GROSS POLLUTANT TRAP)		PROPOSED ROOF GUTTER FALL	
450 SQUARE INTERVAL	450 X 450	PROPOSED DOWNPIPE SPREADER	
GRATE LEVEL = 75.50	SL 75.50	STORMWATER PIPE 100mm DIA. MIN. UNO	
INVERT LEVEL = RL 75.20	IL 75.20	SUBSOIL PIPE	
PROPOSED DOWNPIPE 90mm DIA. OR 100mm x 50mm MIN.		EXISTING STORMWATER PIPE	
NATURAL GROUND FINISHED DESIGN LEVEL	×	INSPECTION RISER	
		RAINWATER HEAD	

STORMWATER PIT/STRUCTURES NOTES:

PIT SIZES AND DEPTHS:

- PIT SIZES WILL BE AS FOLLOWS:



DEPTH (mm)	MIN. PIT SIZE (mm)
UP TO 450	350x350
450 – 600	450x450
600 – 900	600x600
900 – 1200	600x900
1200+	900x900 (WITH STEP IRONS)

PIT DESIGNS:

- TRENCH DRAINS:** CONTINUOUS TRENCH DRAINS ARE TO BE MIN. DN150 AND MIN. 100mm DEPTH. THE BARS OF THE GRATE ARE TO BE PARALLEL TO THE DIRECTION OF SURFACE FLOW.
- STEP IRONS:** PITS BETWEEN 1.2m AND 6m ARE TO HAVE STEP IRONS IN ACCORDANCE WITH AS 1657. FOR PITS GREATER THAN 6m OTHER MEANS OF ACCESS MUST BE PROVIDED.
- PLASTIC/PVC PITS:** PVC PITS WILL ONLY BE PERMITTED IF THEY ARE MAX. 450x450 AND MAX. 450mm DEPTH AS WELL AS BEING HEAVY DUTY.
- IN-SITU PITS:** IN-SITU PITS ARE TO BE CONSTRUCTED ON A CONCRETE BED OF AT LEAST 150mm THICK. THE WALLS ARE TO BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF CLAUSE 4.6.3 OF AS 3500.4. PITS DEEPER THAN 1.8m SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE.
- GRATES:** GRATES ARE TO BE GALVANIZED STEEL GRID TYPE. GRATES ARE TO BE OF HEAVY-DUTY TYPE IN AREAS WHERE THEY MAY BE SUBJECT TO VEHICLE LOADING.

INSTALLATION NOTES:

- ALL PIPES INTO PITS TO BE CUT FLUSH WITH PIT WALL.
- ALL PITS THAT ARE INSTALLED AT GREATER THAN 600mm DEEP TO BE MIN. 600x600 PIT.
- GRATED COVERS ON PITS GREATER THAN 600mm TO BE HINGED.
- BASE OF PIT TO BE SAME LEVEL OF INVERT OF OUTLET.
- OUTLET PIPE FROM ANY PIT TO BE 20mm LOWER THAN INLET PIPE/S

	APPROVED BY	REVISION	DRAWN	DESCRIPTION	DATE	DRAWING TITLE		SHEET SIZE	A3	JOB REFERENCE
	NADER ZAKI MIEAust CPEng NER 	A	SR	ISSUED FOR DA	22.09.2021	DETAILS, NOTES & LEGEND		DESIGNED	SR	E210392
						PROJECT TITLE		CHECKED	YR	DRAWING No. D1
						PROPOSED BOARDING HOUSE No.14 NYRANG ROAD ORANGE		ISSUE	A	No. IN SET
								SCALE	-	6

AREA CALCULATIONS		
TOTAL SITE AREA	698.6	m ²
EXISTING DEVELOPMENT		
ROOF AREA	194.0	m ²
PAVED AREA	5.0	m ²
DRIVEWAY AREA	21.0	m ²
IMPERVIOUS AREA	220.0	m ²
TOTAL IMPERVIOUS AREA PERCENTAGE	31.49%	
PROPOSED DEVELOPMENT		
PROPOSED ROOF AREA	312.9	m ²
PROPOSED PAVED AREA	43.5	m ²
PROPOSED DRIVEWAY AREA	110.7	m ²
TOTAL IMPERVIOUS AREA	467.1	m ²
TOTAL IMPERVIOUS AREA PERCENTAGE	66.86%	

DRAINAGE PIPE LEGEND

- EXISTING STORMWATER PIPE
- DRAINAGE PIPES TO RAINWATER TANK
- DRAINAGE PIPES VIA GRAVITY
- CHARGED DRAINAGE PIPES

NOTE: ALL IN GROUND PIPES TO BE 100mm DIA PVC UNO

NOTE: ENSURE ANY PROPOSED PAVING IS GRADED SO THAT IT IS NOT IMPACTING ADJOINING PROPERTIES.

INSPECTION RISER (IR)
PROVIDE 'SCREW CAP' INSPECTION RISER AT LOWEST POINT OF 'CHARGED LINES'

ROOF DRAINAGE

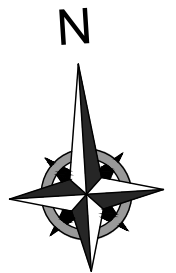
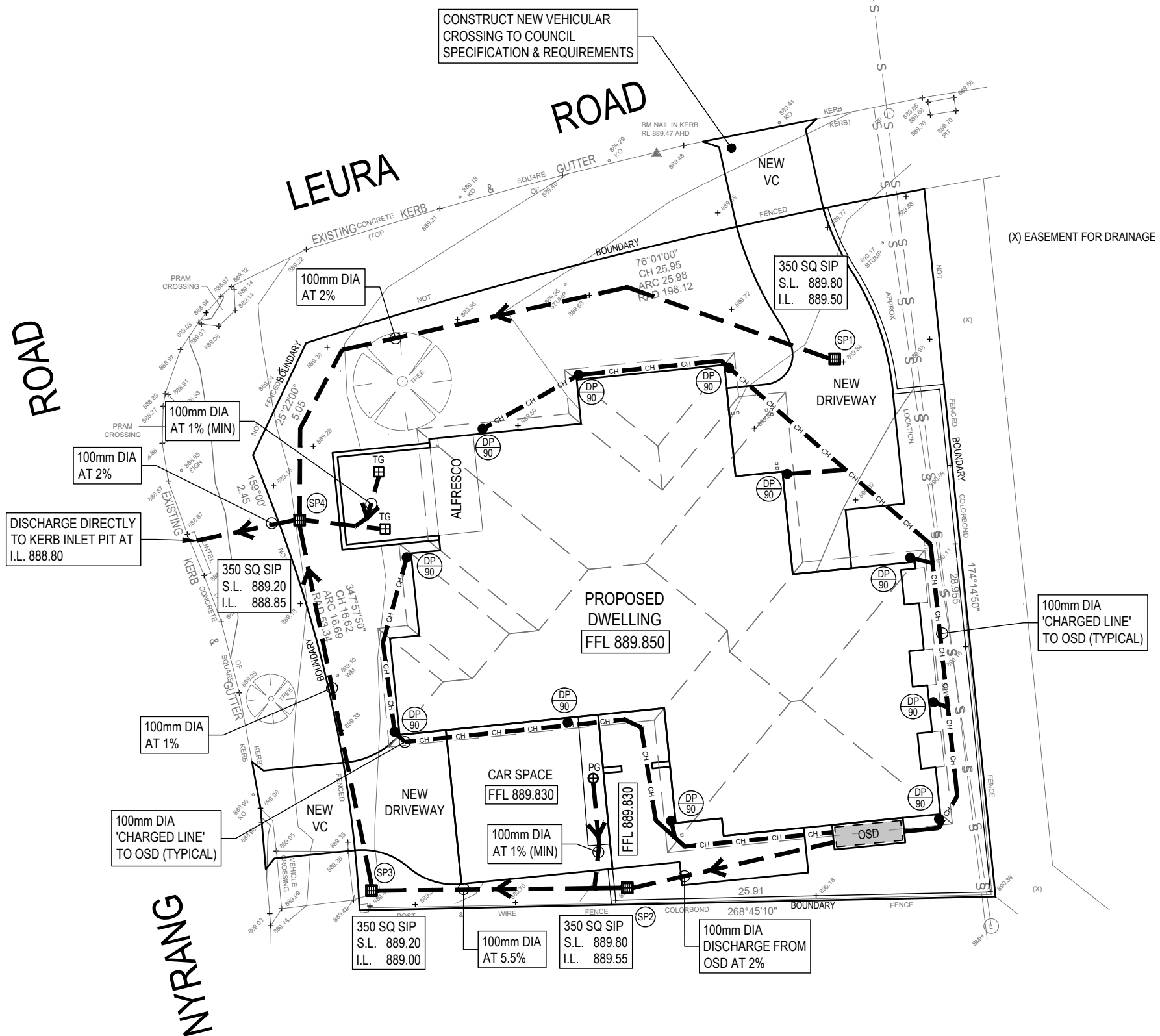
- GUTTERING - CROSS SECTIONAL AREA OF GUTTER TO BE GREATER THAN 6500mm²
- DOWN PIPES - 90mm DIA PVC OR COLORBOND

NOTE: ROOF DESIGNED TO 1% AEP INTENSITY 186 mm/hr

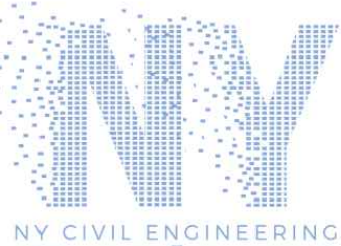
ON-SITE DETENTION TANK - OSD

SIZE: 3,700 LITRES (MIN)
MODLINE TANK BY "TANKWORKS" OR SIMILAR (2900L x 800W x 1785H)
INSTALL TO MANUFACTURES SPECIFICATIONS, AS3500 AND COUNCIL REQUIREMENTS

- FOR RE-USE AS SPECIFIED BY BASIX CERTIFICATE
- ENSURE TOP OF TANK IS MIN 1.0m BELOW ROOF GUTTERS TO ENSURE SUFFICIENT HEAD FOR THE SYSTEM
- TANK TO BE INSTALLED BY LICENSED PLUMBER IN ACCORDANCE WITH AS/NZS 3500:2003 AND NSW CODE OF PRACTICE PLUMBING AND DRAINAGE 2006



PLANS ARE FOR CONCEPT ONLY
AND NOT FOR CONSTRUCTION



APPROVED BY
NADER ZAKI
MIEAust CPEng NER

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REVISION	DRAWN	DESCRIPTION	DATE
A	SR	ISSUED FOR DA	22.09.2021

STORMWATER MANAGEMENT PLAN

PROJECT TITLE
PROPOSED BOARDING HOUSE
No.14 NYRANG ROAD
ORANGE

SHEET SIZE	A3	JOB REFERENCE	E210392
DESIGNED	SR	DRAWING No.	D2
CHECKED	YR	No. IN SET	6
ISSUE	A		
SCALE	1:200		



APPROVED BY		REVISION	DRAWN	DESCRIPTION	DATE	DRAWING TITLE		SHEET SIZE	A3	JOB REFERENCE
<div>NADER ZAKI MIEAust CPEng NER</div> <div></div> <div>T 0416 334 977 E admin@nycivilengineering.com.au W www.nycivilengineering.com.au</div>		A	SR	ISSUED FOR DA	22.09.2021	STORMWATER DETAILS		DESIGNED	SR	E210392
		PROJECT TITLE						CHECKED	YR	DRAWING No.
										D3
										No. IN SET
										6
						ISSUE	A			
						SCALE	AS NOTED			
						PROPOSED BOARDING HOUSE No.14 NYRANG ROAD ORANGE				

OSD SUMMARY		
STORM (AEP)	20%	1%
PRE DEVELOPMENT PSD (L/s)	9	24
POST DEVELOPMENT OSD DISCHARGE (L/s)	4	7
POST DEVELOPMENT (L/s) (BYPASSING OSD)	5	14
OSD VOLUME (m³)	1.6	3.7
THEREFORE POST DEVELOPMENT DISCHARGE LIMITED TO PRE DEVELOPMENT RUNOFF FOR ALL STORM EVENTS UP TO 1% AEP.		

PIT / NODE DETAILS																							
Name	Type	Family	Size	Ponding Volume (cu.m)	Pressure Change Coeff. Ku	Surface Elev (m)	Max Pond Base Depth (m)	Inflow (cu.m/s)	Blocking Factor	x	y	Bolt-down lid	Part Full Shock Loss	Inflow Hydrograph	Pit is	Internal Width (mm)	Inflow is Misaligne	Minor Safe Pond Dep	Major Safe Pond Depth				
N1	Node								0		298	-119	7	No									
N5	Node					11		0			476	-291	15	No									
N3	Node							0			310	-457	10	No									
DETENTION BASIN DETAILS																							
Name	Elev	Surf. Area	Not Used	Outlet Ty	K	Dia(mm)	Centre RL	Pit Family	Pit Type	x	y	HED	Crest RL	Crest Length	id								
Basin2	10	2.21		Onrface		50	10.05				303	-286	No		9								
	12	2.21																					
SUB-CATCHMENT DETAILS																							
Name	Pit or Node	Total Area (ha)	Paved Area %	Grass Area %	Supp Area %	Paved Time (min)	Grass Time (min)	Supp Time (min)	Paved Length (m)	Grass Length (m)	Supp Length (m)	Paved Slope(%)	Grass Slope %	Supp Slope %	Paved Rough	Grass Rough	Supp Rough	Lag Time or Factor	Gutter Length (m)	Gutter Slope %	Gutter Flow	Factc	Rainfall Multiplier
Predev	N1	0.0698	31	69	0	3	7	2											0				1
Roof to O	Basin2	0.0312	100	0	0	3	7	2											0				1
Bypass	N3	0.0386	39	61	0	3	7	2											0				1
OVERFLOW ROUTE DETAILS																							
Name	From	To	Travel Time (min)	Spill Level (m)	Crest Length (m)	Weir Coeff. C	Cross Section	Safe Depth Major Storms (m)	SafeDepth Minor Storms (m)	Safe DvV (sq.m/sec)	Bed Slope (%)	D/S Area Contributing %	id										
OF1	Basin2	N5		0.1	12	1	1.6	Dummy u	0.2	0.05	0.6	1	100		16			10					
PIPE COVER DETAILS																							
Name	Type	Dia (mm)	Safe Cove	Cover (m)																			
Pipe1	uPVC, not	154	0.3	-0.16	Unsafe																		
This model has no pipes with non-return valves																							

Drains Data

PIT / NODE DETAILS								
Name	Max HGL	Max Pond HGL	Max Surface Flow Arriving (cu.m/s)	Max Pond Volume (cu.m)	Min Freeboard (m)	Overflow (cu.m/s)	Constraint	
N5	9.95		0					
SUB-CATCHMENT DETAILS								
Name	Max Flow Q (cu.m/s)	Paved Max Q (cu.m/s)	Grassed Max Q (cu.m/s)	Paved Tc (min)	Grassed Tc (min)	Supp. Tc (min)	Due to Storm	
Predev	0.009	0.004	0.005	3	7		2 20% AEP, 15 min burst, Storm 8	
Roof to OSD	0.009	0.009	0	3	7		2 20% AEP, 5 min burst, Storm 1	
Bypass	0.005	0.004	0.003	3	7		2 20% AEP, 15 min burst, Storm 6	
PIPE DETAILS								
Name	Max Q (cu.m/s)	Max V (m/s)	Max U/S HGL (m)	Max D/S HGL (m)	Due to Storm			
Pipe1	0.004	0.78	10.569	9.952	20% AEP, 15 min burst, Storm 7			
OVERFLOW ROUTE DETAILS								
Name	Max Q U/S	Max Q D/S	Safe Q	Max D	Max DxV	Max Width	Max V	Due to Storm
OF1	0	0	0.256	0	0	0	0	
DETENTION BASIN DETAILS								
Name	Max WL	MaxVol	Max Q Total	Max Q Low Level	Max Q High Level			
Basin2	10.71	1.6	0.004	0.004	0			
Flows were safe in all overflow routes.								

Drains Results (20% AEP)

PIT / NODE DETAILS								
Name	Max HGL	Max Pond HGL	Max Surface Flow Arriving (cu.m/s)	Max Pond Volume (cu.m)	Min Freeboard (m)	Overflow (cu.m/s)	Constraint	
N5	9.97		0					
SUB-CATCHMENT DETAILS								
Name	Max Flow Q (cu.m/s)	Paved Max Q (cu.m/s)	Grassed Max Q (cu.m/s)	Paved Tc (min)	Grassed Tc (min)	Supp. Tc (min)	Due to Storm	
Predev	0.024	0.009	0.016	3	7	2	1% AEP, 10 min burst, Storm 4	
Roof to OSD	0.016	0.016	0	3	7	2	1% AEP, 5 min burst, Storm 1	
Bypass	0.014	0.006	0.008	3	7	2	1% AEP, 10 min burst, Storm 4	
PIPE DETAILS								
Name	Max Q (cu.m/s)	Max V (m/s)	Max U/S HGL (m)	Max D/S HGL (m)	Due to Storm			
Pipe1	0.007	0.88	11.341	9.966	1% AEP, 15 min burst, Storm 5			
OVERFLOW ROUTE DETAILS								
Name	Max Q U/S	Max Q D/S	Safe Q	Max D	Max DxV	Max Width	Max V	Due to Storm
OF1	0	0	7.665	0	0	0	0	
DETENTION BASIN DETAILS								
Name	Max WL	MaxVol	Max Q Total	Max Q Low Level	Max Q High Level			
Basin2	11.66	3.7	0.007	0.007	0			
Flows were safe in all overflow routes.								

Drains Results (1% AEP)



APPROVED BY	REVISION	DRAWN	DESCRIPTION	DATE	DRAWING TITLE		SHEET SIZE	A3	JOB REFERENCE
NADER ZAKI MIEAust CPEng NER	A	SR	ISSUED FOR DA	22.09.2021	DRAINS RESULTS		DESIGNED	SR	E210392
					PROJECT TITLE		CHECKED	YR	DRAWING No.
					PROPOSED BOARDING HOUSE		ISSUE	A	D4
					No.14 NYRANG ROAD		SCALE	AS NOTED	No. IN SET
					ORANGE				6
T 0416 334 977 E admin@nycivilengineering.com.au W www.nycivilengineering.com.au									

DUST CONTROL:

• NOTE: DURING EXCAVATION, DEMOLITION AND CONSTRUCTION, ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT DUST FROM AFFECTING THE AMENITY OF THE NEIGHBORHOOD.

THE FOLLOWING MEASURES MUST BE ADOPTED:

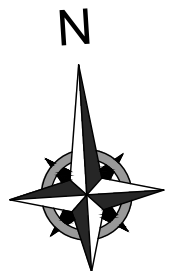
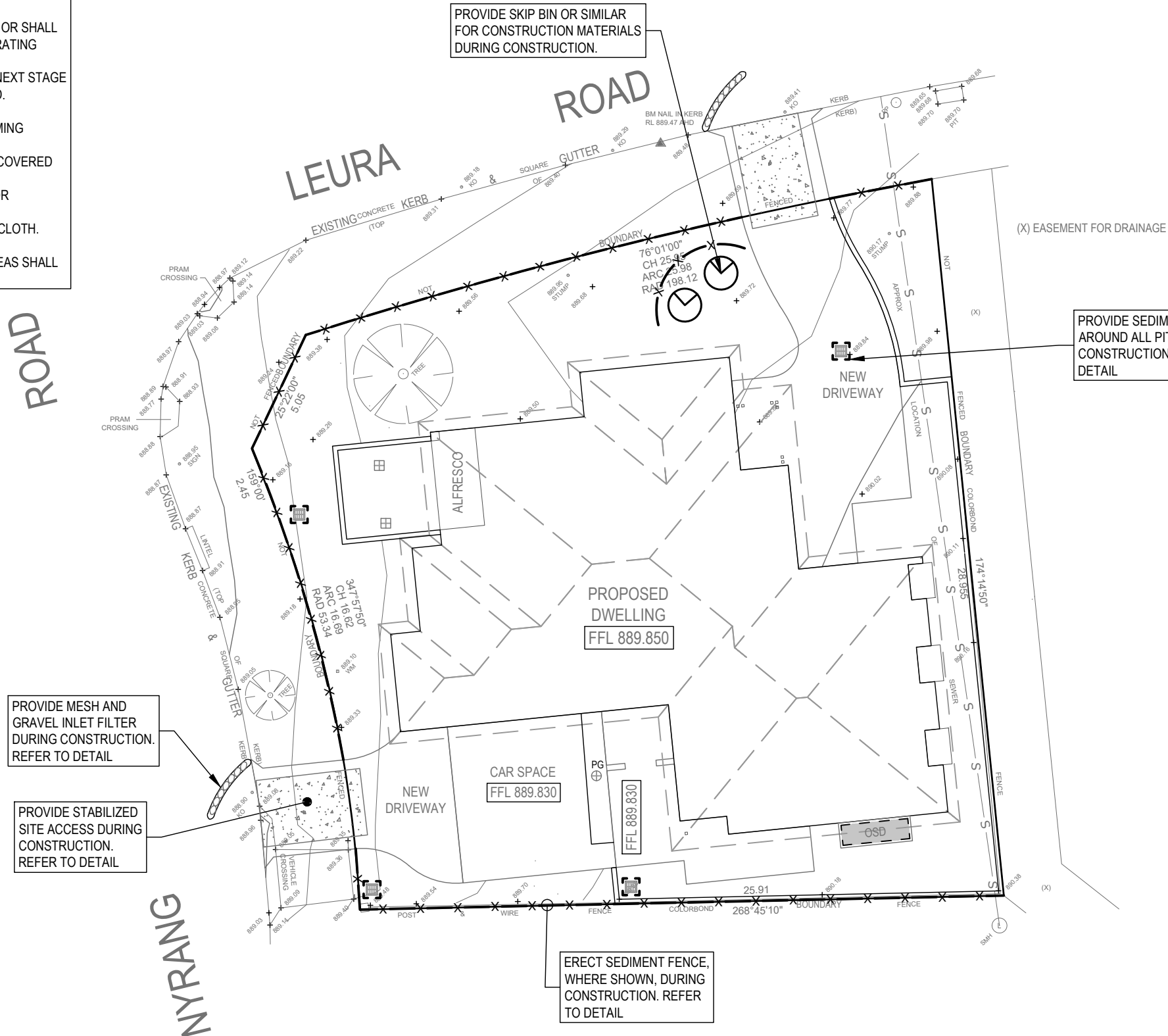
1. PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES TO PREVENT WIND DIRECTION OR SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND OR ACTIVITY FROM GENERATING DUST.
2. EARTHWORKS AND SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
3. ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
4. THE GROUND SURFACE SHOULD BE DAMPENED SLIGHTLY TO PREVENT DUST FROM BECOMING AIRBORNE BUT SHOULD NOT BE WET TO THE EXTENT THAT RUN-OFF OCCURS.
5. ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL AT ALL TIMES BE COVERED TO PREVENT THE ESCAPE OF DUST.
6. ALL EQUIPMENT WHEELS SHALL BE WASHED BEFORE EXISTING THE SITE USING MANUAL OR AUTOMATED SPRAYERS AND DRIVE - THROUGH WASHING BAYS.
7. GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS SHALL BE FITTED WITH SHADE CLOTH.
8. CLEANING OF FOOTPATHS AND ROADWAYS SHALL CARRIED OUT DAILY.
9. ALL BUILDERS REFUSE, SPOIL AND/OR MATERIAL UNSUITABLE FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE ON COMPLETION OF THE BUILDING WORKS.

LEGEND:

UNDISTURBED VEGETATION	
SEDIMENT FENCE	
STOCK PILES	
STABILIZED SITE ACCESS	
MESH & GRAVEL INLET FILTER	
WATER DIVERSION	
STORMWATER PIT WITH SEDIMENT BARRIER	

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
2. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
3. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
4. ROADS AND FOOTPATH TO BE SWEEPED DAILY AS REQUIRED BY COUNCIL.
5. IF YOU DO NOT COMPLY WITH COUNCIL REQUIREMENTS & DOCUMENTATION, YOU MAY BE LIABLE TO PROSECUTION FROM GOVERNMENT AUTHORITIES.

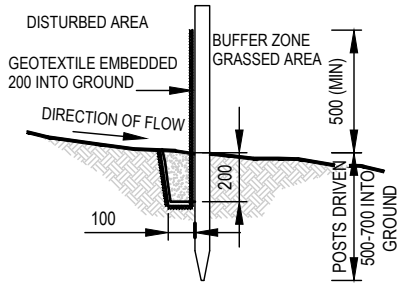
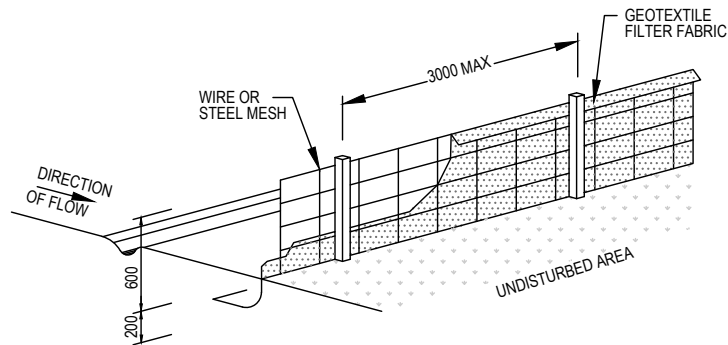


REVISION	DRAWN	DESCRIPTION	DATE
A	SR	ISSUED FOR DA	22.09.2021

SEDIMENT CONTROL PLAN

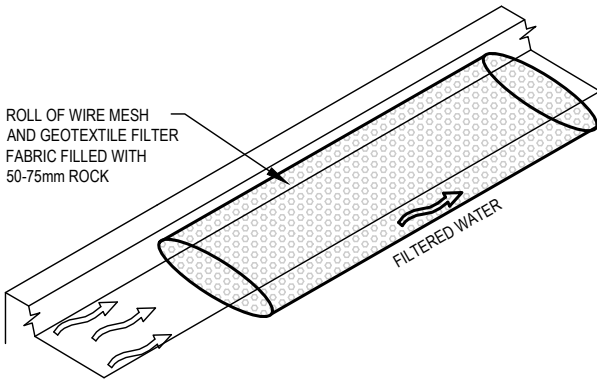
PROJECT TITLE
PROPOSED BOARDING HOUSE
No.14 NYRANG ROAD
ORANGE

SHEET SIZE	A3	JOB REFERENCE	E210392
DESIGNED	SR	DRAWING No.	D5
CHECKED	YR	No. IN SET	6
ISSUE	A		
SCALE	1:200		



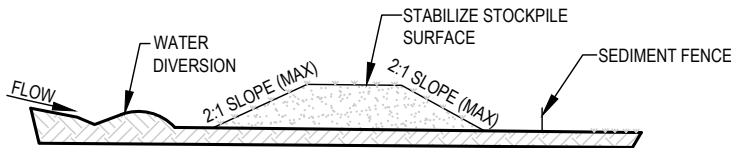
SEDIMENT FENCE DETAIL
NTS

- CONSTRUCTION NOTES:**
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENTS AREA OF ANY ONE SECTION. THE CATCHMENTS AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
 2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
 3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.5m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
 4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
 5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150mm OVERLAP.
 6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



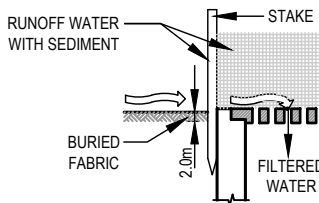
MESH AND GRAVEL FILTER
NTS

- CONSTRUCTION NOTES:**
1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS
 2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
 3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm(h) x 400mm(w).
 4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
 5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
 6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.



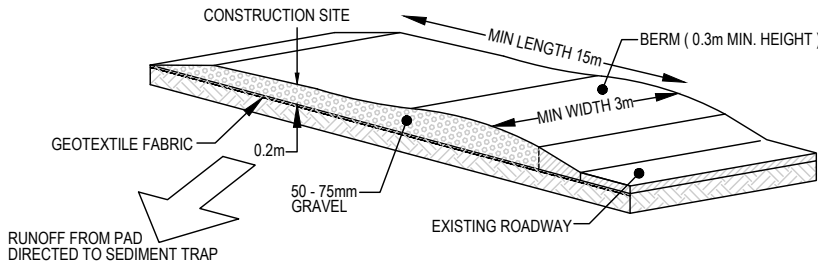
STOCKPILE
NTS

- NOTE:**
1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METERS FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
 2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
 3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METERS IN HEIGHT.
 4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILIZE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
 5. CONSTRUCT EARTH BANKS (LOW FLOW) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METERS ON THE DOWNSLOPE.



SEDIMENT BARRIER AROUND PIT
NTS

- CONSTRUCTION NOTES:**
1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
 2. FOLLOW STRAW FILTER AND SEDIMENT FENCE FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOTEXTILE. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
 3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
 4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.



STABILIZED SITE ACCESS
NTS

- CONSTRUCTION NOTES:**
1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE
 2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE
 3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASED OR 30mm AGGREGATE
 4. ENSURE THE STRUCTURE IS AT LEAST 15m LONG OR TO BUILD ALIGNMENT AND AT LEAST 3 METERS WIDE.
 5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILIZED ACCESS, CONSTRUCT A HUMP IN THE STABILIZED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

REVISION	DRAWN	DESCRIPTION	DATE
A	SR	ISSUED FOR DA	22.09.2021

DRAWING TITLE
SEDIMENT CONTROL DETAILS
PROJECT TITLE
PROPOSED BOARDING HOUSE No.14 NYRANG ROAD ORANGE

SHEET SIZE	A3	JOB REFERENCE
DESIGNED	SR	E210392
CHECKED	YR	DRAWING No.
ISSUE	A	D6
SCALE	AS NOTED	No. IN SET
		6



TRANSPORT AND TRAFFIC PLANNING ASSOCIATES

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1 June 2021
Ref: 335/2019

Mr Rob Hart
Director
County Construction

E: robhart@countyconstruction.com.au

Dear Mr Hart

Proposed Boarding House 14 Nyrang Road, Orange

I have considered the “traffic and parking” issues raised in the SOF&C and set out my response in the following.

Traffic Assessment

The TfNSW Development Guidelines do not contain any traffic generation criteria for Boarding House use, however an indication of the potential traffic impact can be deduced using “first principles”. The Development Guidelines specify the following for Medium Density Residential.

Parking	1 space per one bed unit 1.2 spaces per two bed unit 1.7 spaces per three bed unit
Traffic	0.4-0.5 vtpH per two bed unit

So, 10 two bed units with 12 cars would generate 4-5 vtpH or 0.33 to 0.42 vtpH per car and on this basis, the proposed 3 Boarding House cars will generate 1.0 to 1.25 vtpH. The Development Guidelines specify a peak traffic generation for a single residential dwelling as 0.85 vtpH and it is apparent therefore that the traffic generation of the proposed Boarding House will be very little more than that of the former single dwelling that was on the site.

..... / cont'

Parking Assessment

Orange Council's DCP, unlike most Country Regional Council DCP's, does not have a parking criteria for Boarding House use. Examples of Country Regional Council DCP's with a Boarding House parking criteria are provided in the following:

Cowra	1 space per 4 beds
Kiama	1 space per 4 beds
Kempsey	1 per 3 rooms
Mid Coast	1 space per 2 rooms
Armidale	As per SEPP
Bathurst	1 space per 3 beds
Young	As per SEPP
Albury	1 space per 3 beds
Inverell	1 space per 3 rooms
Eurobodalla	1 space per 3 beds
Bland	1 space per 3 rooms

It is apparent that the common "theme" of Regional Council's parking criteria, as with the SEPP, is in the range of 1 space per 2-3 rooms (or 1 space per 4 beds).

It would appear that Orange Council has just not "got around to" incorporating Boarding House use in its Parking DCP criteria while the Development Guidelines are entirely reliant on the SEPP requirements for parking provision. To suggest that the "RTA rates would generate a demand for 6 parking spaces" is simply incorrect as is the contention that the Boarding rooms equate to a one bed unit.

The simple fact is that Boarding House residents only have a very low car ownership characteristic and the site is located in close proximity to a regular bus service as well as easy walking distance for workers at:

- Glenroi Height Primary School
- Technology High School
- Kinross Wolaroi School
- Merryfields School
- St Marys School
- Council's Works Depot
- Bloomfield Hospital
- TAFE
- Orange Grove Homemakers Centre
- Orange South Industrial Area

Driveway Assessment

It is understood that Councils DCP requires residential developments of 3 or more units to not reverse to/from the street, and if there were 3 x three bed units, there would be a minimum of 4.5 (5) cars plus a visitor space using the driveway. Whereas in this case, there are 2 cars using one driveway and 1 car using the other driveway which reflects the same circumstances as virtually all residential dwellings.

I have not seen the letter from Essential Energy, however the normal distance criteria is 1.0m and the attached Streetview images of nearby properties in Nyrang Street and Leura Street indicate that this is the “norm” although the proposed driveway is some 2.0m from the power pole.

Yours faithfully

A handwritten signature in black ink, appearing to be 'RN' or similar, written in a cursive style.

Ross Nettle

Director

Transport and Traffic Planning Associates

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1047792M_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1047792M_02 lodged with the consent authority or certifier on 04 November 2020 with application DA 424/2020.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary

Date of issue: Friday, 24 September 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary

Project name	4270A Nyrang Orange - Rob Hart_03
Street address	14 Nyrang Road Orange 2800
Local Government Area	Orange City Council
Plan type and plan number	deposited 241292
Lot no.	131
Section no.	-
No. of residential flat buildings	1
No. of units in residential flat buildings	6
No. of multi-dwelling houses	0
No. of single dwelling houses	0

Project score

Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 37	Target 25

Certificate Prepared by

Name / Company Name: Lin & Associates Pty Ltd

ABN (if applicable): 34097383821

Description of project

Project address

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No. of multi-dwelling houses	0
No. of single dwelling houses	0

Site details

Site area (m ²)	698
Roof area (m ²)	348
Non-residential floor area (m ²)	-
Residential car spaces	3
Non-residential car spaces	-


Common area landscape

Common area lawn (m ²)	78.0
Common area garden (m ²)	145.0
Area of indigenous or low water use species (m ²)	40.0

Assessor details

Assessor number	DMN/19/1894
Certificate number	0005225690
Climate zone	65
Ceiling fan in at least one bedroom	No
Ceiling fan in at least one living room or other conditioned area	No

Project score

Water	 40	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 37	Target 25

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Building1, 6 dwellings, 2 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	1	21.0	3.0	2.0	0.0
6	1	31.0	6.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2	1	21.0	3.0	1.8	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
3	1	21.0	3.0	1.8	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
4	1	20.0	3.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
5	1	25.0	3.0	0.0	0.0

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of unit building - Building1

Common area	Floor area (m²)
Cleaner	5.0

Common area	Floor area (m²)
Lobby	52.0

Schedule of BASIX commitments

1. Commitments for Residential flat buildings - Building1

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

2. Commitments for multi-dwelling houses

3. Commitments for single dwelling houses

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building1

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 6 but <= 7.5 L/min)	4 star	4 star	5 star	no	3.5 star	-	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	central hot water system 1	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	-	-	-	-	1	1	no	no	no	no	0	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	2.5 star	no	-	3 star	-	no	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	249.2	9.2
2	185.7	9.5
3	273.5	10.0
4	244.0	7.0
5	268.2	3.1
All other dwellings	264.6	2.8

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	4 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Cleaner	ventilation exhaust only	interlocked to light	fluorescent	manual on / manual off	No
Lobby	no mechanical ventilation	-	fluorescent	time clock and motion sensors	No

Central energy systems	Type	Specification
Central hot water system (No. 1)	solar - electric boosted	Solar collector area (minimum, in square metres): 15.0 Piping insulation (ringmain & supply risers): (b) Piping internal to building: R0.45 (~20 mm)

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	4 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

Nationwide House Energy Rating Scheme* — Class 2 summary

Certificate number: **0005225690**

Certificate Date: **24 Sep 2021**

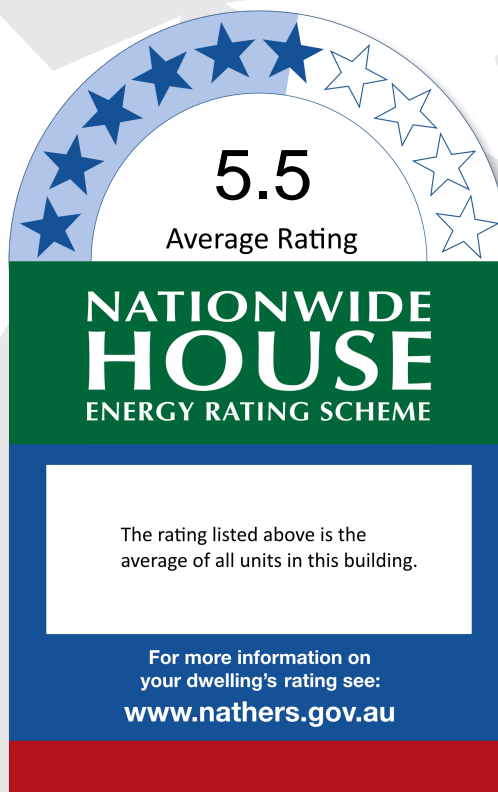
★ Average Star rating: **5.5**



Assessor details

Accreditation number: **VIC/BDAV/19/1894**
Name: **Ailin Zhang**
Organisation: **Victor Lin Associates Pty Ltd**
Email: **ailin@linassociates.com.au**
Phone: **1800884199**
Declaration of interest: **None**
Software: **BERS Pro v4.3.0.2f (3.13)**

AAO: **Design Matters National**



Dwelling details

Street: **14 Nyrang Road**
Suburb: **Orange**
State: **NSW**
Postcode: **2800**

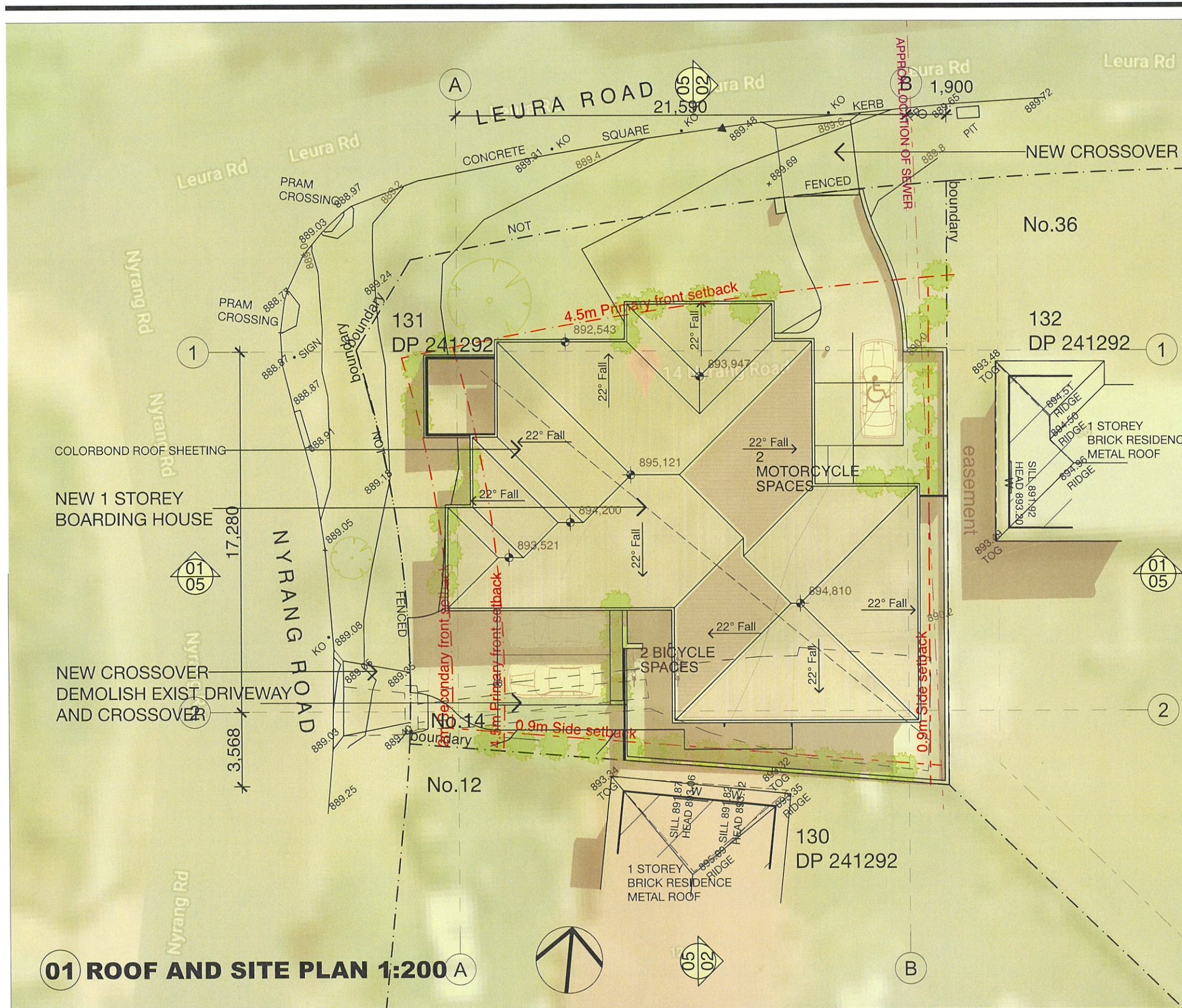
Scan to access this certificate online and confirm this is valid.



Summary of all dwellings

Certificate Details

Certificate number	Unit number	Heating load	Cooling load	Total load	Star Rating
0006500631-04	Room 1	249.2	9.2	258.4	5.4
0006501514-03	Room 2	185.7	9.5	195.2	6.4
0006501506-02	Room 3	273.5	10.0	283.5	5
0006501498-02	Room 4	244.0	7.0	251.0	5.4
0006501480-02	Room 5	268.2	3.1	271.2	5.2
0006501472-03	Room 6	264.6	2.8	267.5	5.3



Assessor Construction Summary

Project: Address: 14 Nyrang Road Orange NSW
Applicant: Rob Hart
Job Contact: Name: Rob Hart - County Construction
Contact: robhart@countyconstruction.com.au

Assessor: Name: Allin Zhang
 Address: PO Box 5080, Sth Turramurra, 2074
 Contact: 0412-988088

Company: Victor Lin & Associates
Number: DMN/19/1894
Email: allin@linassociates.com.au

Ext. Walls:	Construction	Insulation	Colour	Details
	Brick Venner	R1.5	Med	As per plan
Int. Walls:	Construction	185.7/		Details
	Plasterboard	None		As per plans
	Brick Venner	None		Party walls
		R1.5		See table below
Floors:	Construction	Insulation		Details
	Concrete Slab	None		Carpet, Tiles
Ceilings:	Construction	Insulation		Details
	Plasterboard	R3.0		Under all external roofs
Roof:	Construction	Insulation	Colour	Details
	Metal	Foil	Med	As per plans
Windows:	Product ID	Glass	Frame	Uw/SHGCw
	Generic	Single Clear	Aluminium	6.70 / 0.57
				6.70 / 0.70
				Louvre & fixed windows/doors
Skylights:	Product ID	Glass	Frame	Uw/SHGCw
	N/A			Details

Other:	Orientation	355	Terrain	Suburban	Weatherseals	Yes	Climate Zone	65	Recessed Downlights	YES - SEALED TYPE ONLY
Overshadowing Details:	Other Project Building									
Assessment:	Drawings:	Job No. 1917, 14 Nyrang Road Orange NSW Dwg as stamped								
	File Ref:	4270A.02								
	Software:	BERS Pro 4.3								

Certification Number: 0005225690 **Date:** 23-September-2021

Insulation Summary (refer also to table above)									
Unit No.	Ext Wall Insulation R1.5	Internal wall to Corridor Insulation R1.5	Ceiling Insulation R3.0	Roof Foil				SEALED Recessed Downlights	Sealed exhaust vents
Room 1	X	X	X	X				X	X
Room 2	X	X	X	X				X	X
Room 3	X	X	X	X				X	X
Room 4	X	X	X	X				X	X
Room 5	X	X	X	X				X	X
Room 6	X	X	X	X				X	X

Disclaimer: By using this summary you are accepting all the terms of this disclaimer notice. While every effort is made to ensure that the content of this summary is accurate, the summary is provided "as is" and Victor Lin & Associates Pty Ltd, makes no representations or warranties in relation to the accuracy or completeness of the information found on it. In no event will Victor Lin & Associates Pty Ltd, be liable for any damages whatsoever for any differences between this summary and the NATHERS Universal Certificates that relate to this project. You accept that it is your responsibility to check the Universal Certificates and comply with any differences that may exist on those certificates.

Certificate no.: 0005225690
Assessor Name: Allin Zhang
Accreditation no.: VIC/BDV/19/1894
Certificate date: 24 Sep 2021
Dwelling Address:
 14 Nyrang Road
 Orange, NSW
 2800

www.nathers.gov.au

Amendments		
B	ROOM NUMBERS INCREASED TO 8	01/06/19
C	OUTDOOR SPACE RELOCATED	25/03/20
D	ROOM NUMBERS REDUCED TO 6	20/07/20
E	BINS RELOCATED	28/06/21
F	OPEN SPACE RELOCATED TO NORTHWEST	23/08/21

Fortey + Grant Architecture

Suite 3/ Level 1, 1141 Botany Lane

Mascot NSW 2020

mob: 0401 822 223

email: james@fgarch.com.au

Project Details

NEW BOARDING HOUSE AT

14 NYRANG ROAD

ORANGE NSW 2800

This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.		
Drawn	Approved	Date Printed
JG	JG	23/8/21
Job Number	1917	
Scale	As shown @ A3	

Drawing name

ROOF AND SITE PLAN

Drawing Number

DA-01

Amendment

F

01 GROUND FLOOR PLAN 1:150



Certificate no.: 0005225690
Assessor Name: Ailin Zhang
Accreditation no.: VIC/BDV/19/1894
Certificate date: 24 Sep 2021
Dwelling Address: 14 Nyrang Road, Orange, NSW 2800
www.nathers.gov.au

5.5
Average star rating
NATIONWIDE
ENERGY RATING SCHEME
www.nathers.gov.au

- F OPEN SPACE RELOCATED TO NORTH 20/07/21
E BINS RELOCATED 28/06/21
D ROOM NUMBERS REDUCED TO 6 20/07/20
C OUTDOOR SPACE RELOCATED 25/03/20
B ROOM NUMBERS INCREASED TO 8 01/06/19
- Amendments**

Architect

Fortey + Grant Architecture
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mob: 0401 822 223
email: james@fgarch.com.au

Project Details

NEW BOARDING HOUSE AT

14 NYRANG ROAD
ORANGE NSW 2800

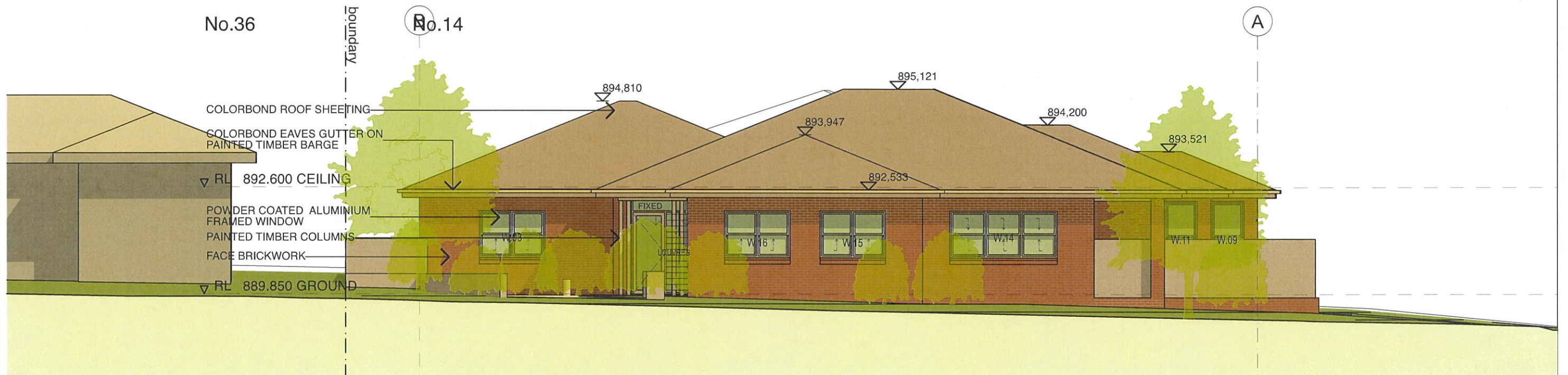
This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.

Drawn JG	Approved JG	Date Printed 23/8/21
Job Number 1917		
Scale As shown @ A3		
Drawing name		

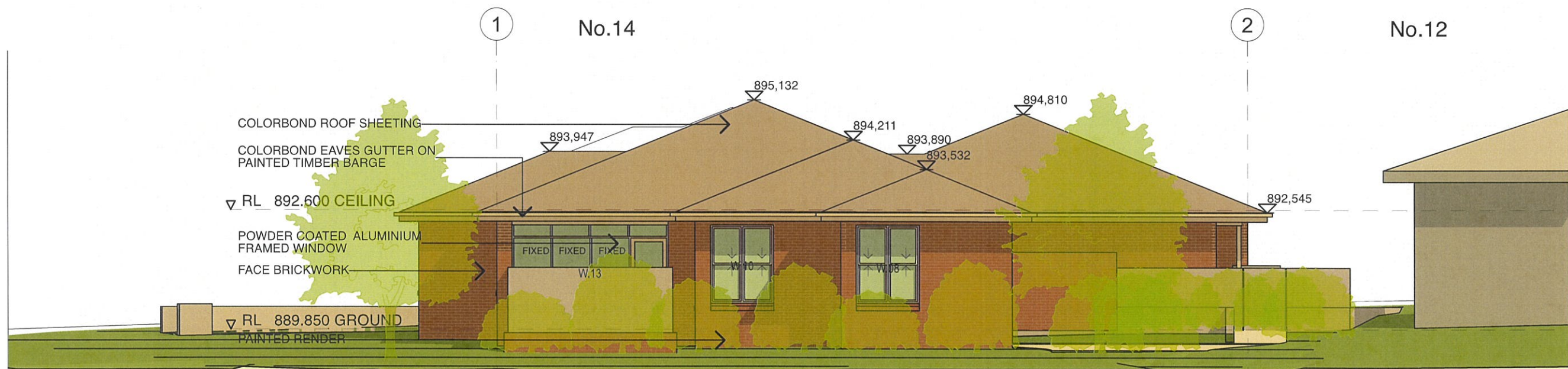
GROUND FLOOR PLAN

Drawing Number
DA-02

Amendment
F



01 NORTH ELEVATION 1:100



02 WEST ELEVATION 1:100



Certificate no.: 0005225690
Assessor Name: Ailin Zhang
Accreditation no.: VIC/BDV/19/1894
Certificate date: 24 Sep 2021
Dwelling Address: 14 Nyrang Road, Orange, NSW 2800
www.nathers.gov.au



Amendments

B	ROOM NUMBERS INCREASED TO 8	01/06/19
C	OUTDOOR SPACE RELOCATED	25/03/20
D	ROOM NUMBERS REDUCED TO 6	20/07/20
E	BINS RELOCATED	28/06/21
F	OPEN SPACE RELOCATED TO NORTHWEST	23/08/21

Architect



Project Details

NEW BOARDING HOUSE AT

**14 NYRANG ROAD
ORANGE NSW 2800**

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Drawn JG	Approved JG	Date Printed 23/8/21
Job Number 1917		
Scale As shown @ A3		

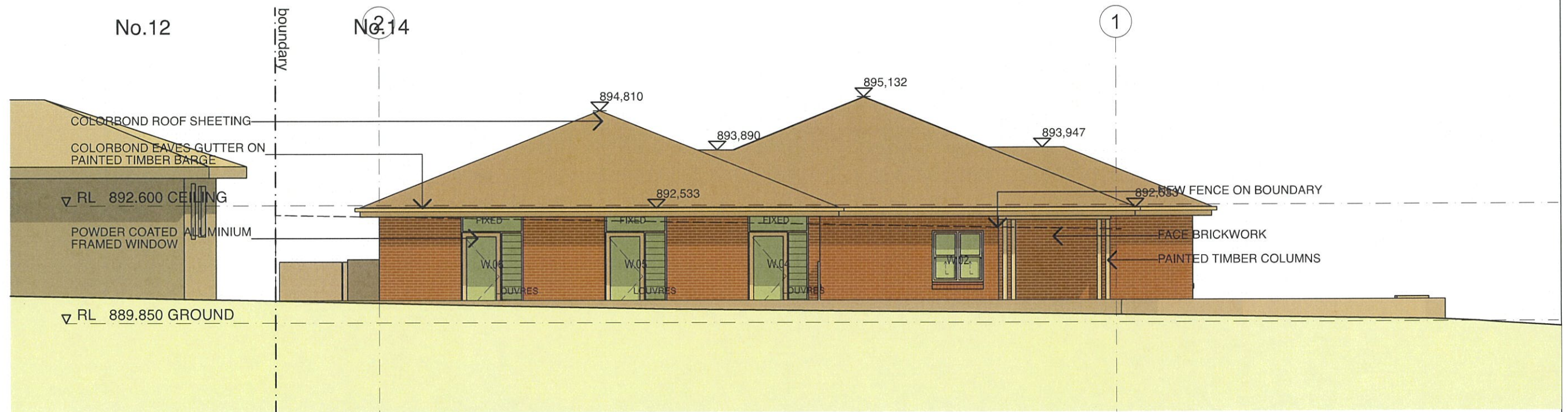
Drawing name

**NORTH AND WEST
ELEVATIONS**

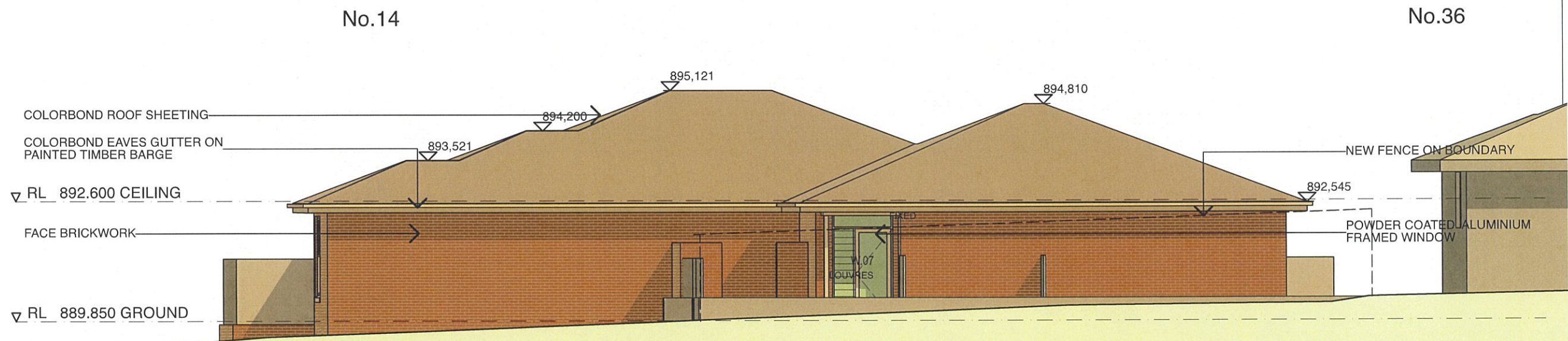
Drawing Number

DA-03

Amendment
F



01 EAST ELEVATION 1:100



02 SOUTH ELEVATION 1:100

5.5
Average star rating
NATIONWIDE HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

Certificate no.: 0005225690
Assessor Name: Ailin Zhang
Accreditation no.: VIC/BDV/19/1894
Certificate date: 24 Sep 2021
Dwelling Address: 14 Nyrang Road, Orange, NSW 2800
www.nathers.gov.au



Amendments		
B	ROOM NUMBERS INCREASED TO 8	01/06/19
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Architect



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email: james@fgarch.com.au

Project Details

NEW BOARDING HOUSE AT

14 NYRANG ROAD
ORANGE NSW 2800

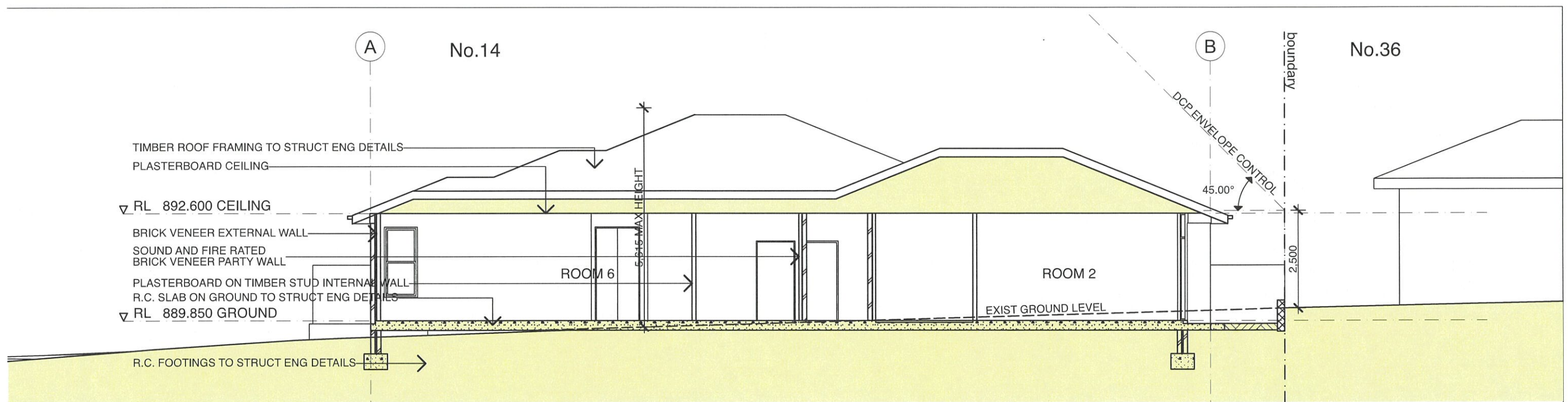
This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.

Drawn JG	Approved JG	Date Printed 23/8/21
Job Number	1917	
Scale	As shown @ A3	

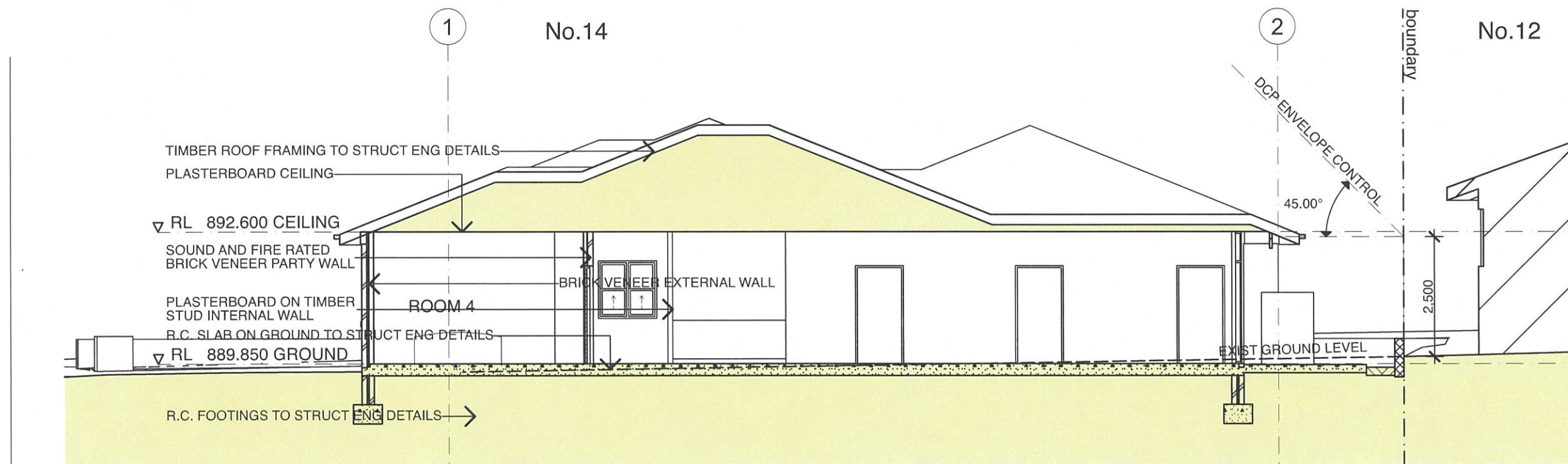
Drawing name
EAST AND SOUTH ELEVATIONS

Drawing Number
DA-04

Amendment
F



01 SECTION 1:100



02 SECTION 1:100



Certificate no.: 0005225690
 Assessor Name: Ailin Zhang
 Accreditation no.: VIC/BDV/19/1894
 Certificate date: 24 Sep 2021
 Dwelling Address:
 14 Nyrang Road
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Amendments

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Architect



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Project Details

NEW BOARDING HOUSE AT

**14 NYRANG ROAD
ORANGE NSW 2800**

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Drawn JG	Approved JG	Date Printed 23/8/21
Job Number 1917		
Scale As shown @ A3		

Drawing name

SECTIONS

Drawing Number

DA-05

Amendment

F



01 MATERIALS VIEW

2-
GUTTERS AND
WINDOW FRAMES
COLOURBOND
SURFMIST

3-
ROOF SHEETING
COLOURBOND WALLABY

1-
FACE BRICKWORK
BOWRAL BROWN

4-
PAINTED TIMBER
DULUX MILTON MOON



Certificate no.: 0005225690
Assessor Name: Ailin Zhang
Accreditation no.: VIC/BDV/19/1894
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Amendments

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Architect



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Project Details

NEW BOARDING HOUSE AT

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ORANGE NSW 2800**

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Drawn JG	Approved JG	Date Printed 23/8/21
Job Number	1917	
Scale	As shown @ A3	

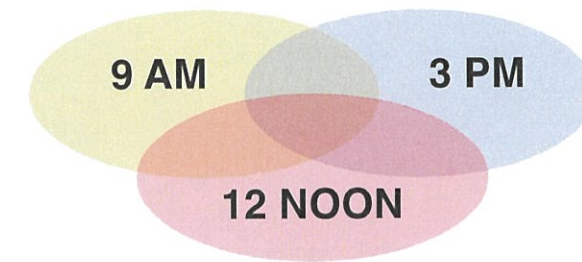
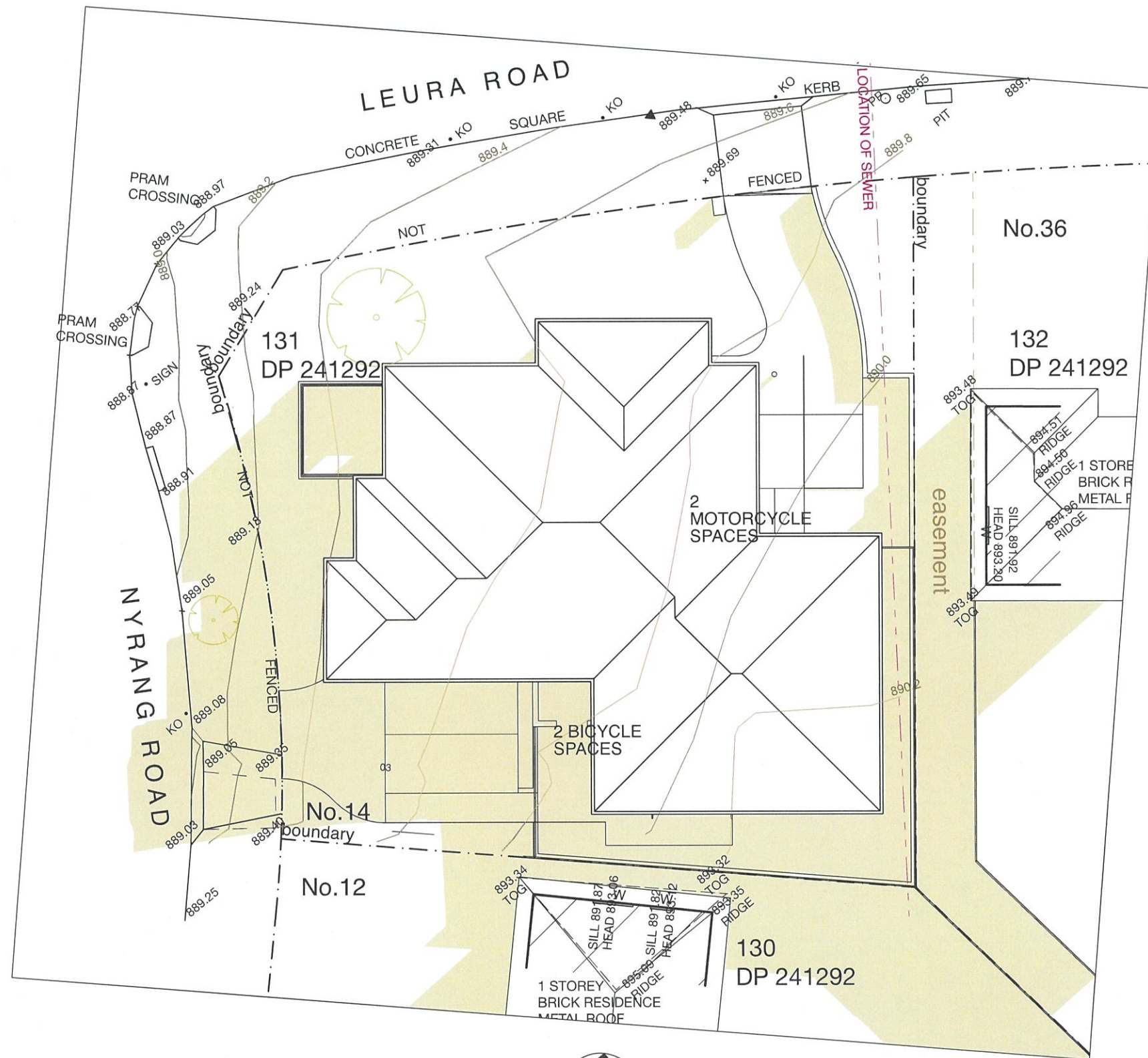
Drawing name

**MATERIALS AND
FINISHES**

Drawing Number

DA-06

Amendment
F



02 SHADOW PLAN 21ST JUNE 1:200



Certificate no.: 0005225690
Assessor Name: Allin Zhang
Accreditation no.: VIC/BDV/19/1894
Certificate date: 24 Sep 2021
Dwelling Address: 14 Nyrang Road, Orange, NSW 2800
www.nathers.gov.au



Amendments

B	ROOM NUMBERS INCREASED TO 8	01/06/19
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D	ROOM NUMBERS REDUCED TO 6	20/07/20
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Architect



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Project Details

NEW BOARDING HOUSE AT

**14 NYRANG ROAD
ORANGE NSW 2800**

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Drawn JG	Approved JG	Date Printed 23/8/21
Job Number	1917	
Scale	As shown @ A3	

Drawing name

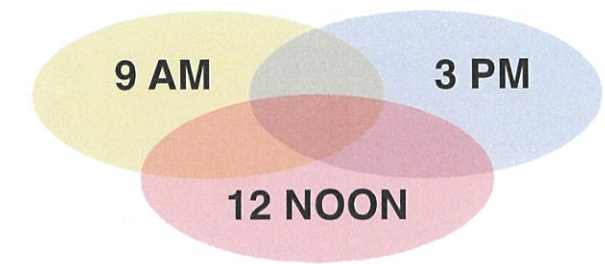
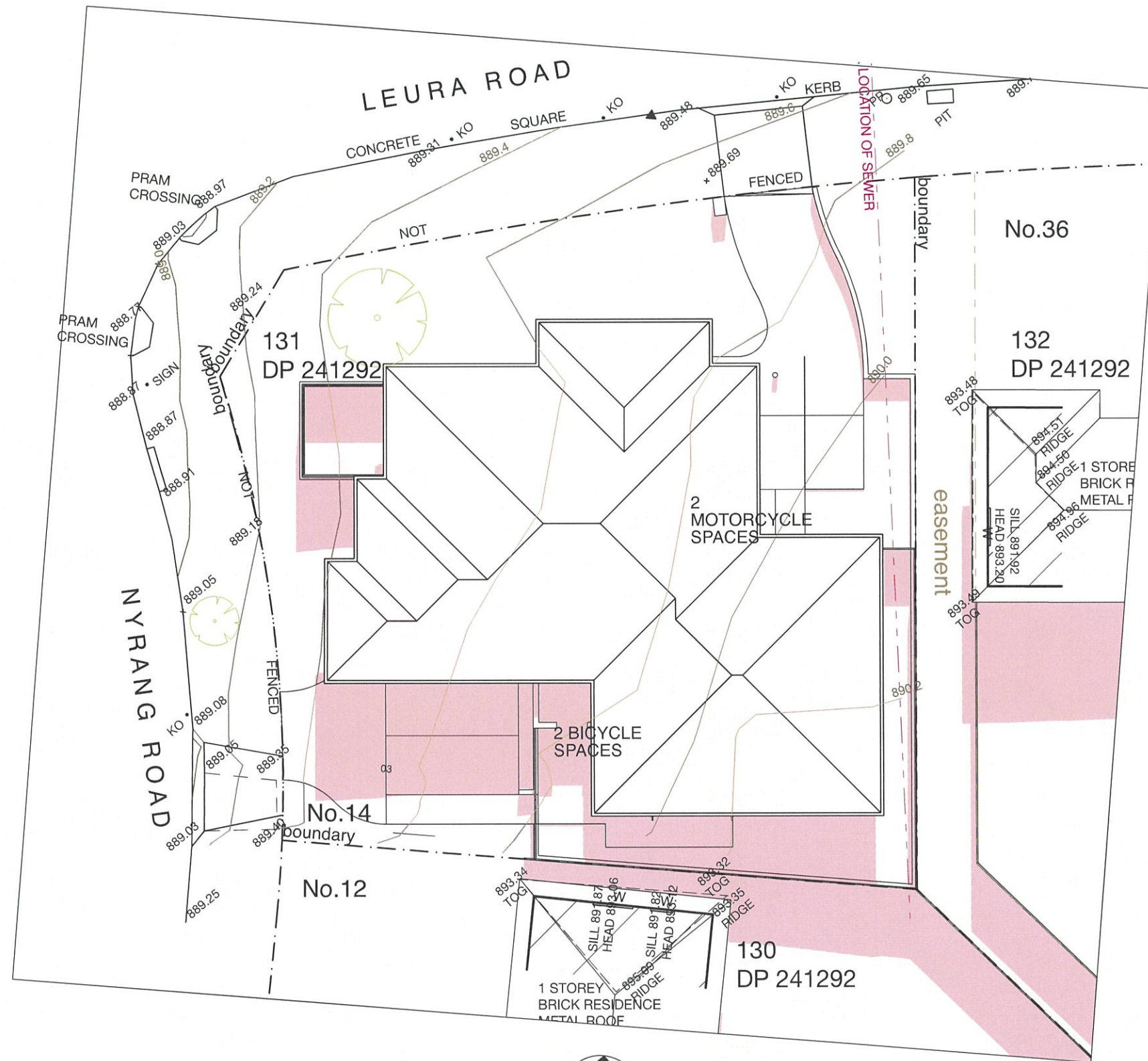
**SHADOW DIAGRAM JUNE
21ST 9 AM**

Drawing Number

DA-07

Amendment

F



02 SHADOW PLAN 21ST JUNE 1:200



Amendments

B	ROOM NUMBERS INCREASED TO 8	01/06/19
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Architect

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email: james@fgarch.com.au

Project Details

NEW BOARDING HOUSE AT

**14 NYRANG ROAD
ORANGE NSW 2800**

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Drawn JG	Approved JG	Date Printed 23/8/21
Job Number	1917	
Scale	As shown @ A3	

Drawing name

**SHADOW DIAGRAM JUNE
21ST 12 NOON**

Drawing Number

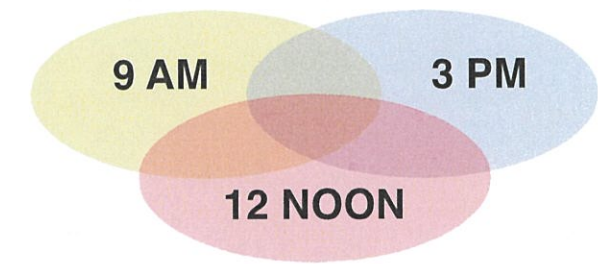
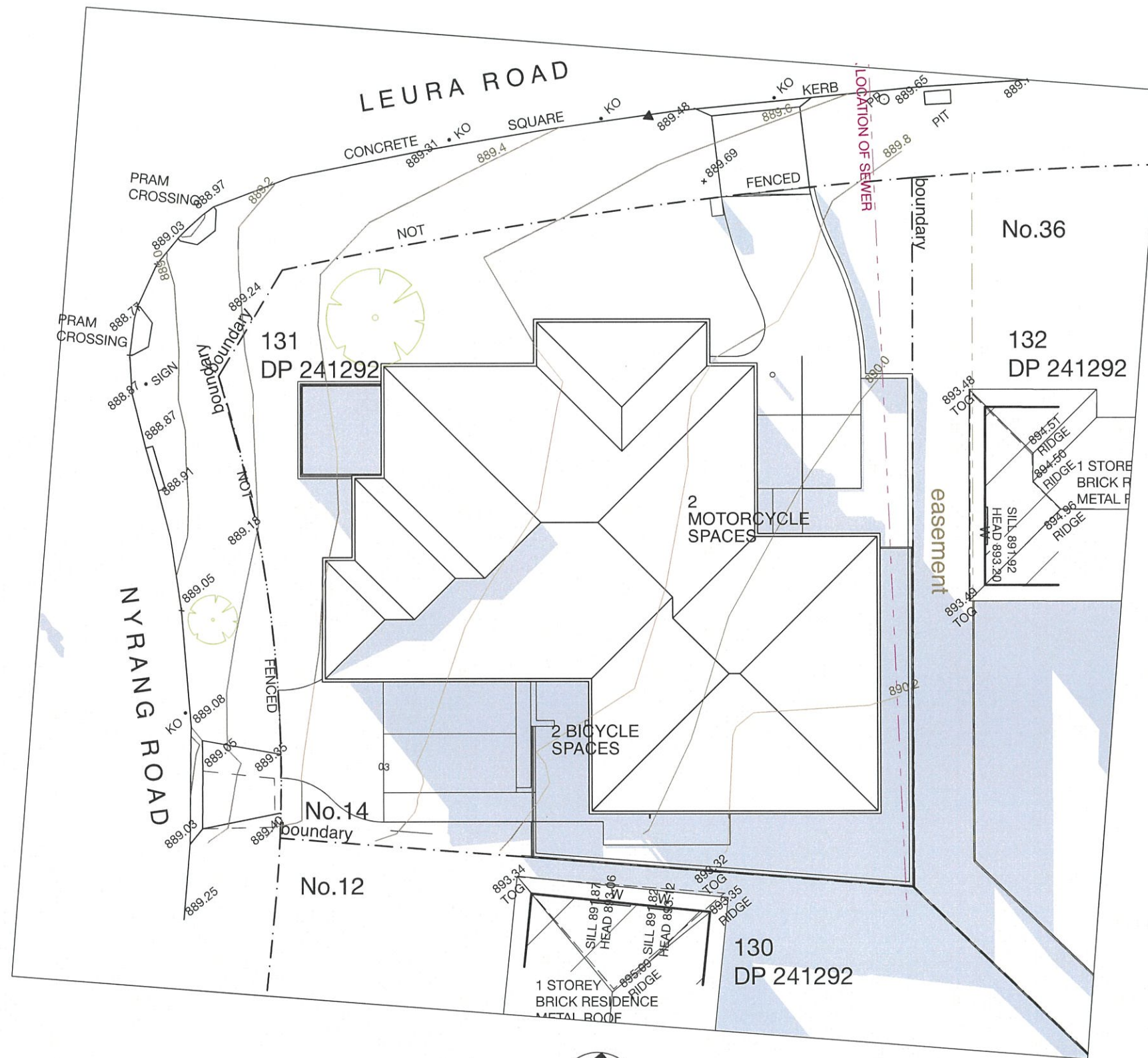
DA-08

Amendment
F



Certificate no.: 0005225690
Assessor Name: Ailin Zhang
Accreditation no.: VIC/BDV/19/1894
Certificate date: 24 Sep 2021
Dwelling Address:
14 Nyrang Road
Orange, NSW
2800
www.nathers.gov.au





02 SHADOW PLAN 21ST JUNE 1:200



Amendments

B	ROOM NUMBERS INCREASED TO 8	01/06/19
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Architect

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Project Details

NEW BOARDING HOUSE AT

**14 NYRANG ROAD
ORANGE NSW 2800**

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Drawn JG	Approved JG	Date Printed 23/8/21
Job Number	1917	
Scale	As shown @ A3	

Drawing name

**SHADOW DIAGRAM JUNE
21ST 3 PM**

Drawing Number

DA-09

Amendment
F

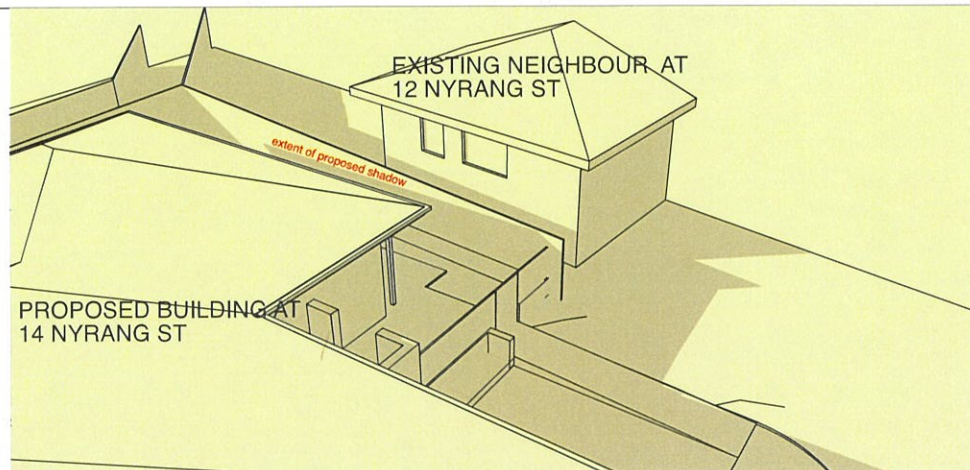


Certificate no.: 0005225690
Assessor Name: Ailin Zhang
Accreditation no.: VIC/BDV/19/1894
Certificate date: 24 Sep 2021

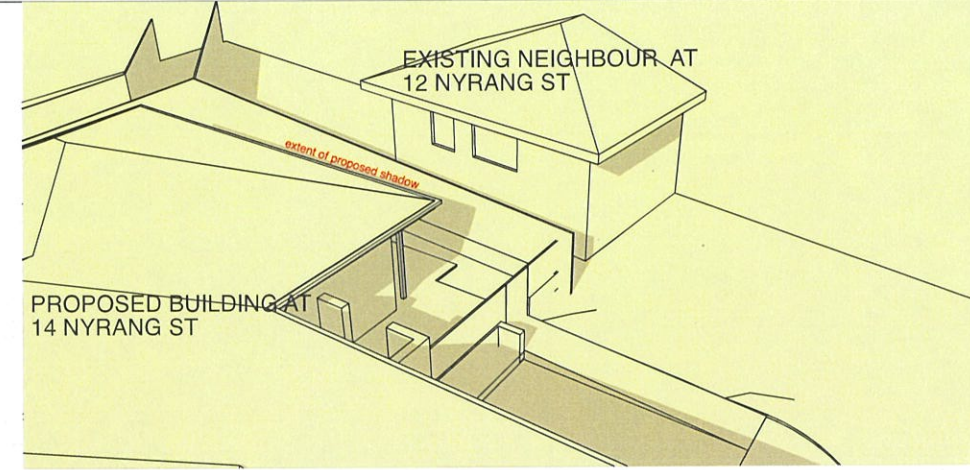
Dwelling Address:
14 Nyrang Road
Orange, NSW
2800

www.nathers.gov.au

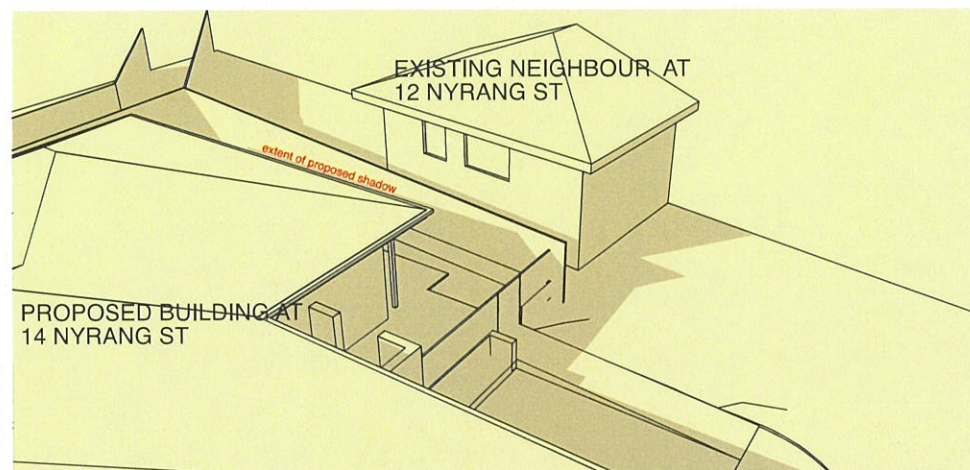




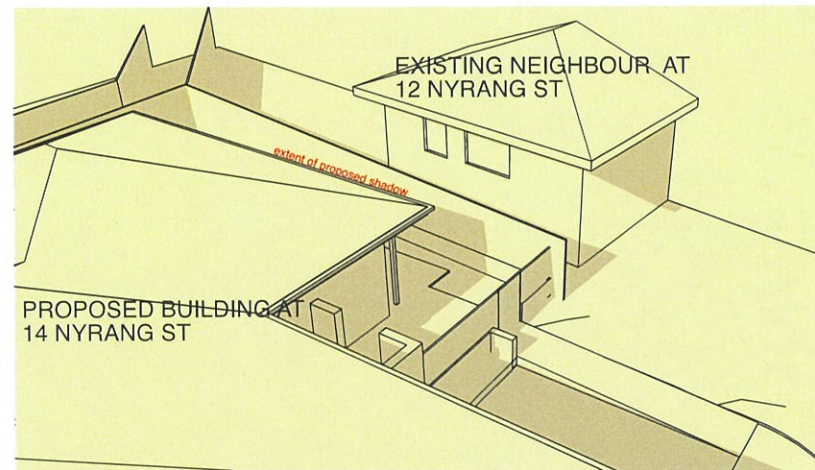
01 VIEW JUNE 21ST 9 AM



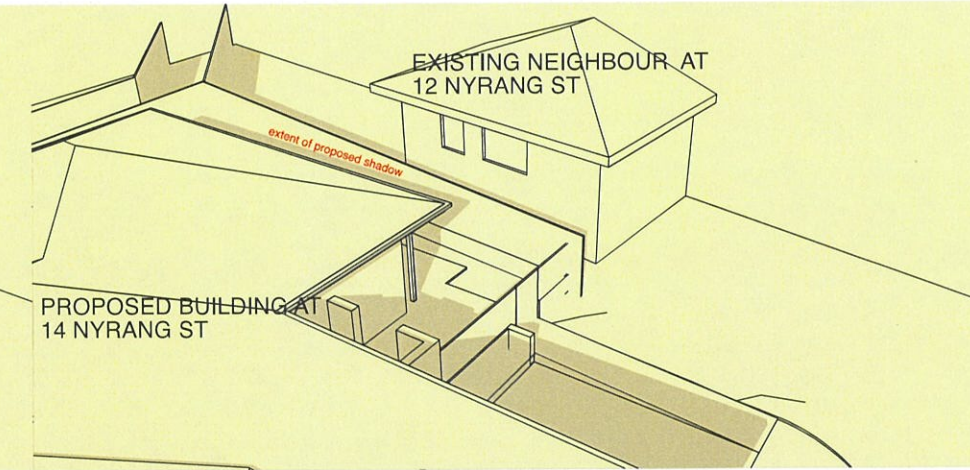
05 VIEW JUNE 21ST 1 PM



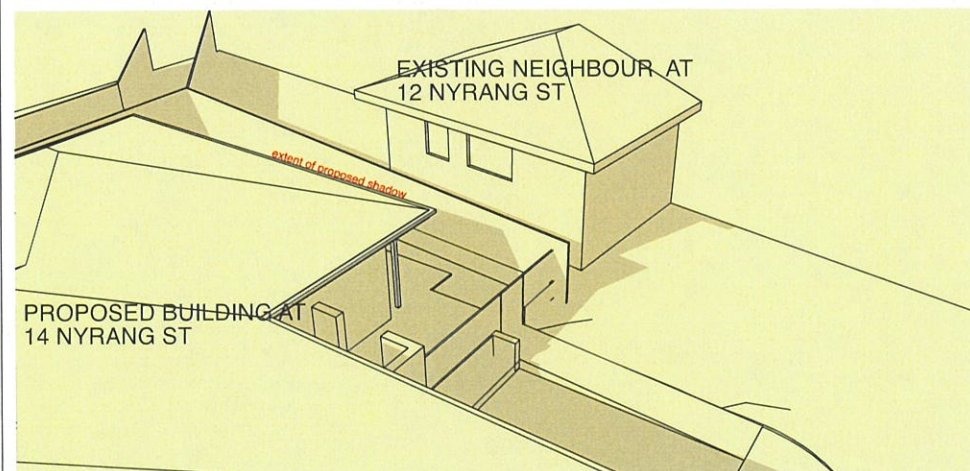
02 VIEW JUNE 21ST 10 AM



04 VIEW JUNE 21ST 12 NOON



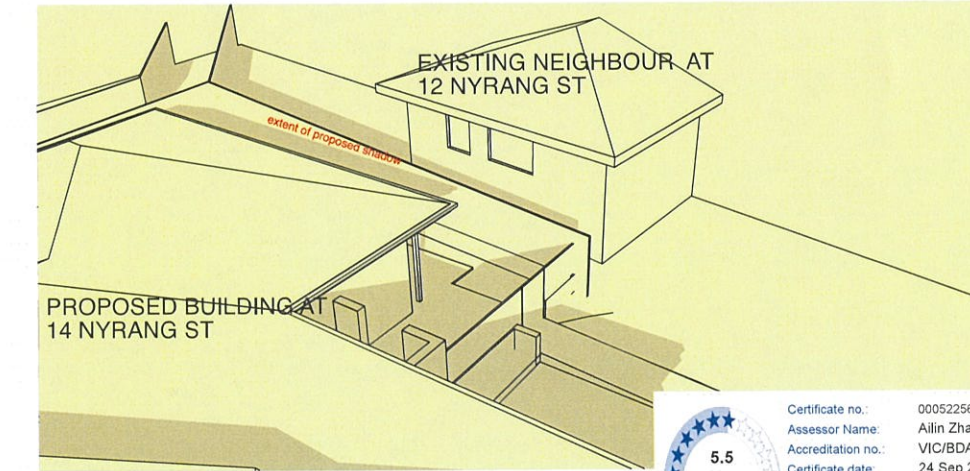
06 VIEW JUNE 21ST 2 PM



03 VIEW JUNE 21ST 11 AM

CONCLUSION-
THE SHADOWS FROM THE PROPOSED DEVELOPMENT
HAVE NO EFFECT ON THE SOUTHERN NEIGHBOUR.
THIS IS OBVIOUS AS THE PROPOSED DEVELOPMENT
IS A ONE STOREY BUILDING WHOSE SHADOWS DO
NOT GO HIGHER THAN THE BOUNDARY FENCE.
THE NEIGHBOUR'S DAYLIGHT IS SIMILARLY UNAFFECTED

CALCULATIONS-
SOUTHERN NEIGHBOUR SOLAR ACCESS LOSS 0%
SOUTHERN NEIGHBOUR DAYLIGHT ACCESS LOSS 0%



07 VIEW JUNE 21ST 3 PM

Amendments		
B	ROOM NUMBERS INCREASED TO 8	01/06/19
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Architect

Fortey + Grant Architecture

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 Mascot NSW 2020
 mob: 0401 822 223
 email: james@fgarch.com.au

Project Details

NEW BOARDING HOUSE AT

14 NYRANG ROAD
ORANGE NSW 2800

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Job Number	1917	
Scale	As shown @ A3	

Drawing name

SHADOW VIEWS

Drawing Number

DA-10

Amendment

F

Certificate no.: 0005225690
 Assessor Name: Ailin Zhang
 Accreditation no.: VIC/BDV/19/1894
 Certificate date: 24 Sep 2021
 Dwelling Address: 14 Nyrang Road Orange, NSW 2800
 www.nathers.gov.au

5.5
 Average star rating
NATIONWIDE HOUSE
 ENERGY RATING SCHEME
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