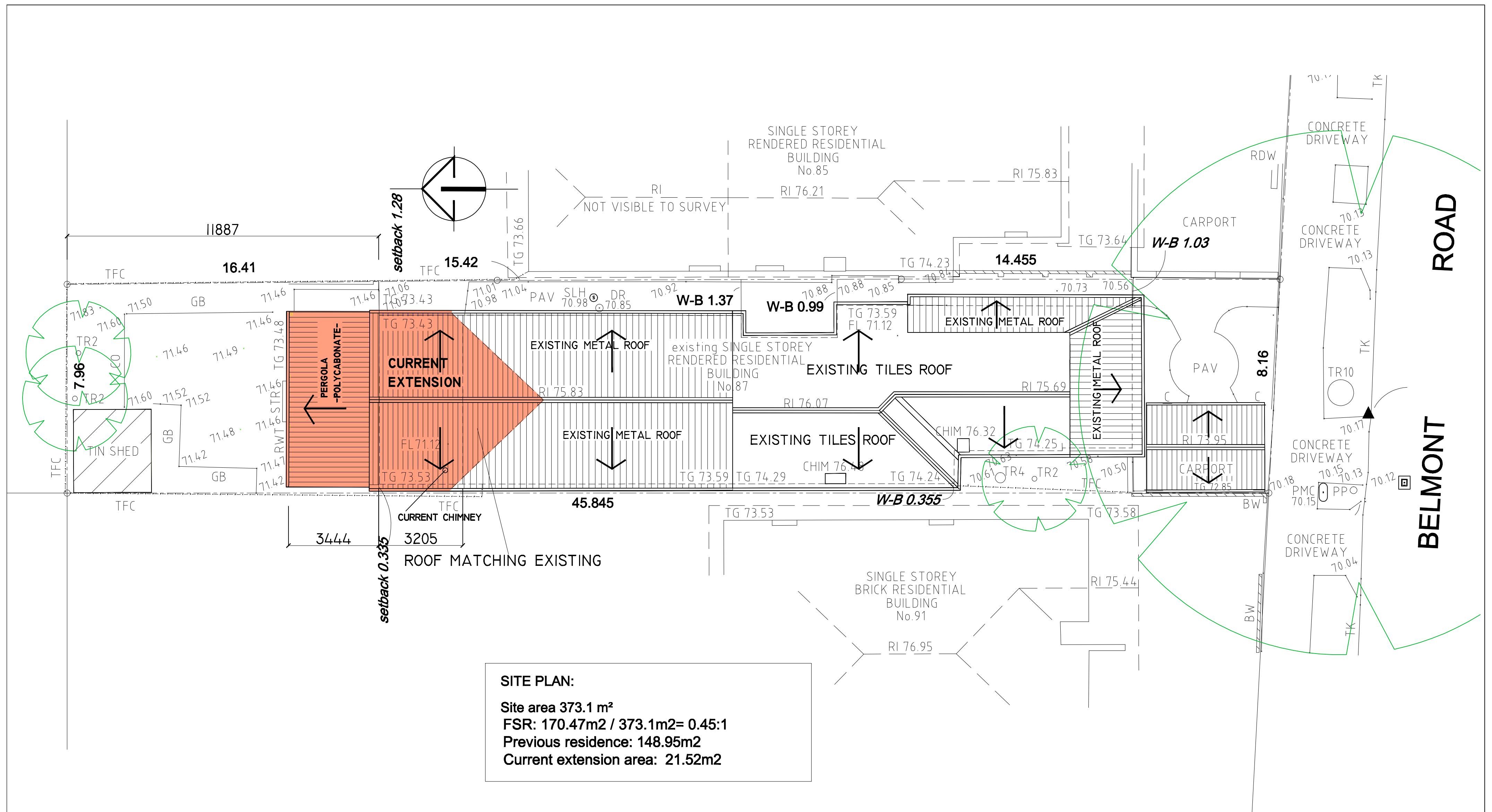
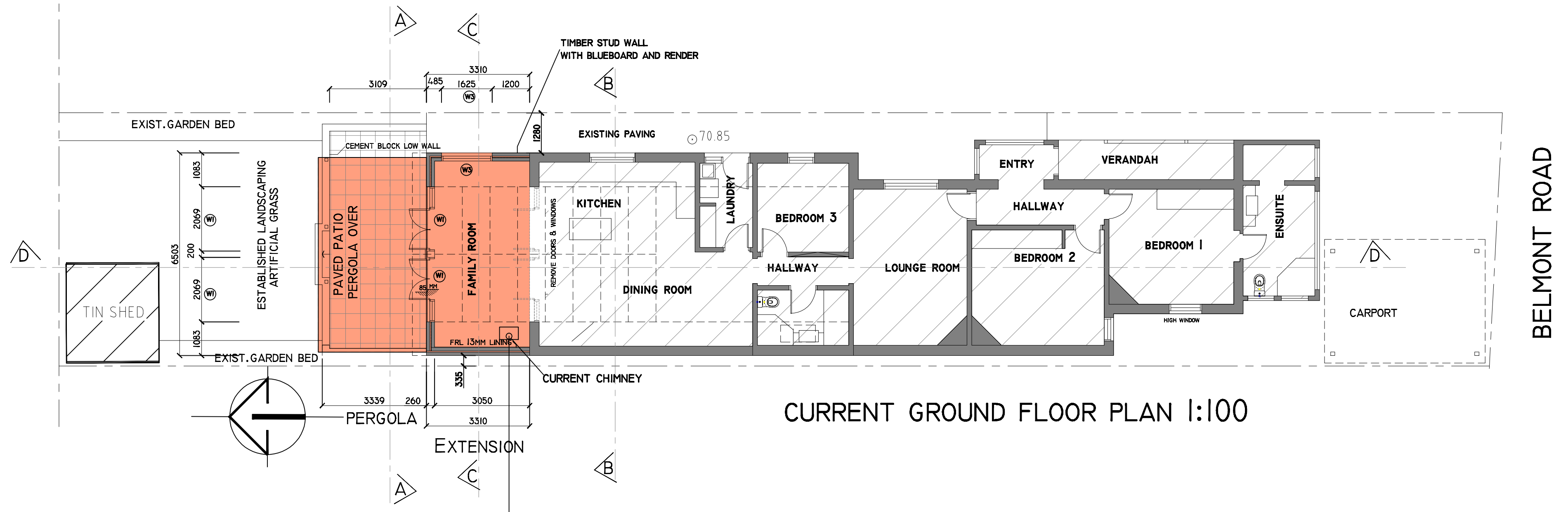


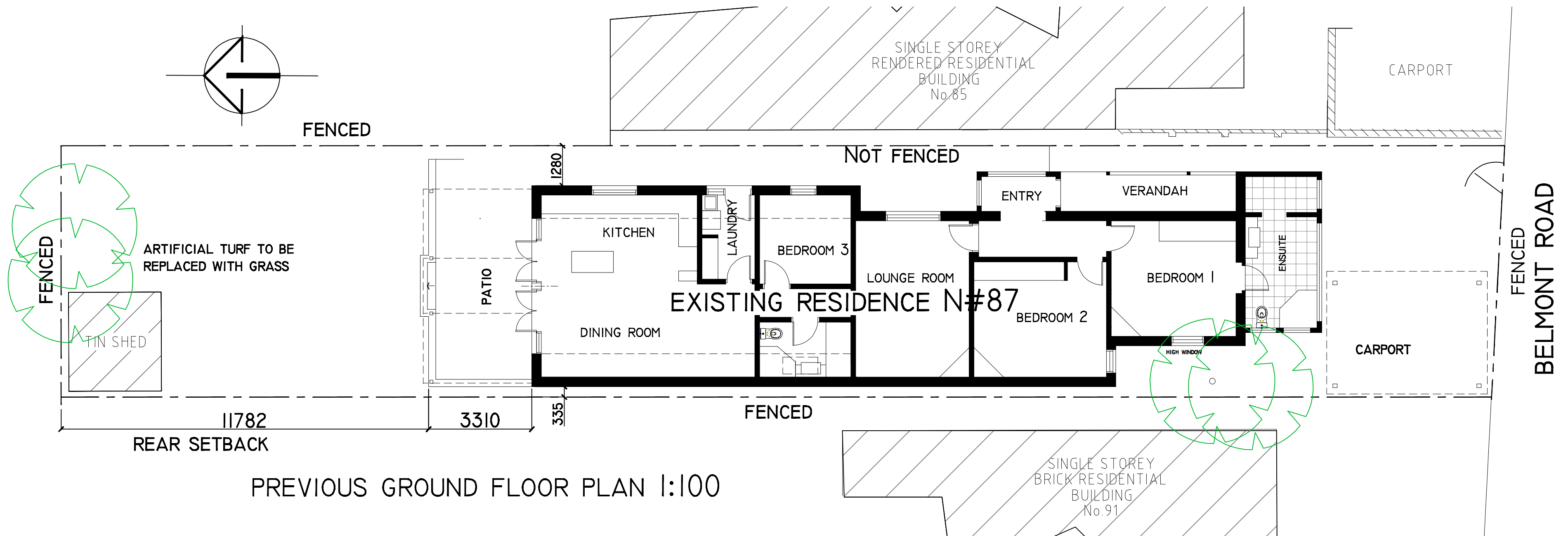


SITE PLAN:

Site area 373.1 m²
FSR: 170.47m² / 373.1m²= 0.45:1
Previous residence: 148.95m²
Current extension area: 21.52m²



CURRENT GROUND FLOOR PLAN 1:100



PREVIOUS GROUND FLOOR PLAN 1:100

PREVIOUS GROUND FLOOR PLAN AND
CURRENT GROUND FLOOR PLAN

LOT A DP 440114

AMENDED

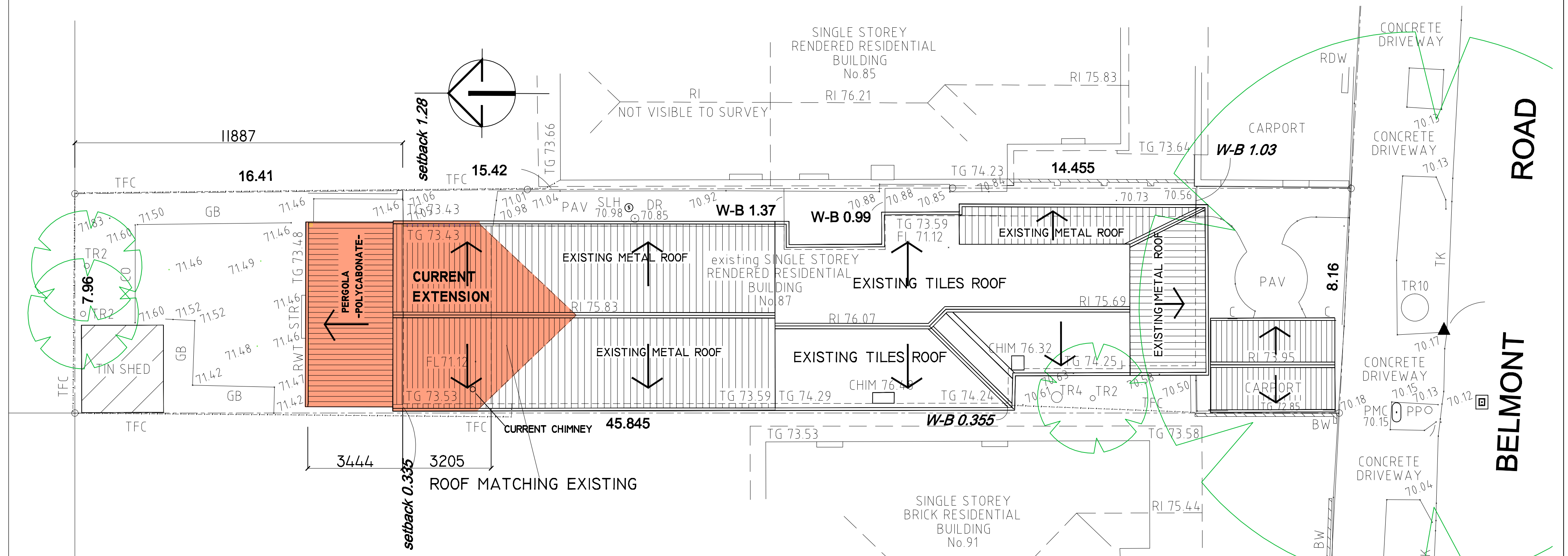
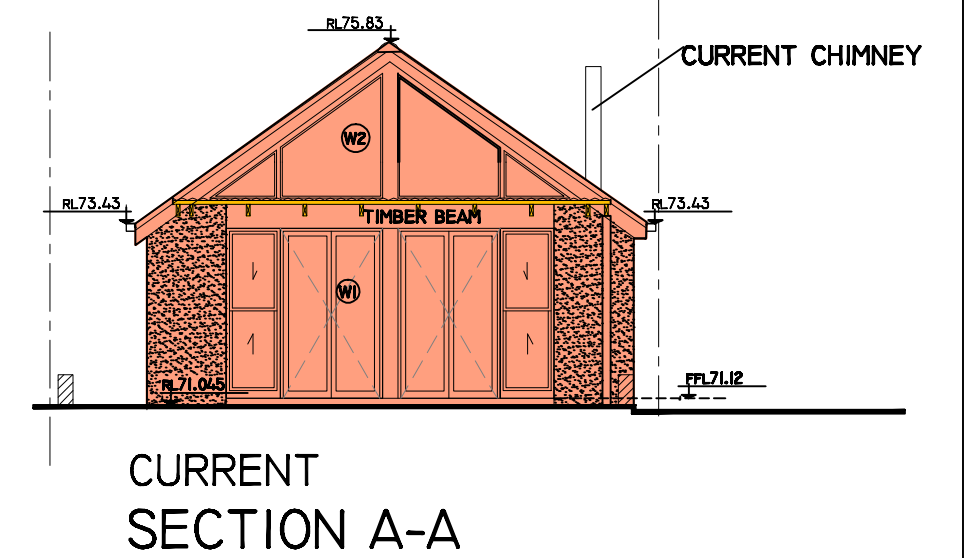
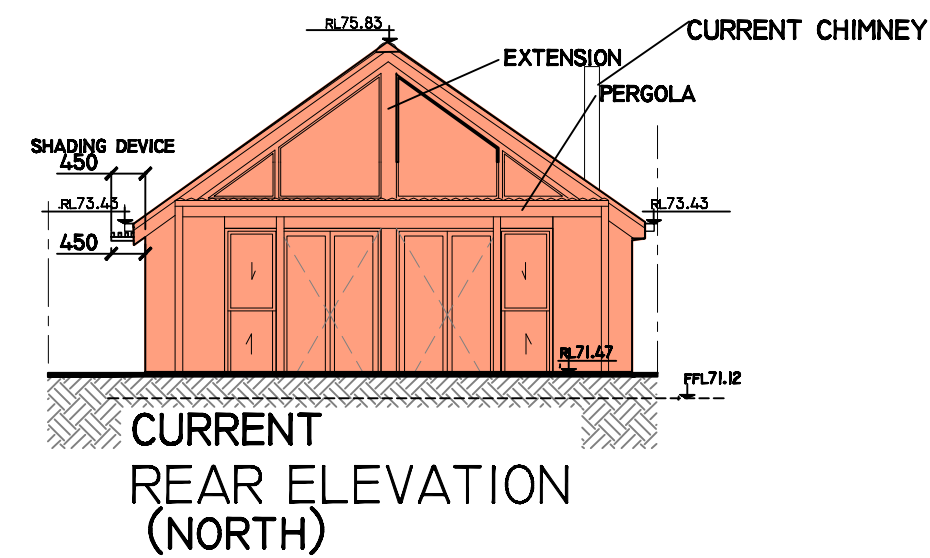
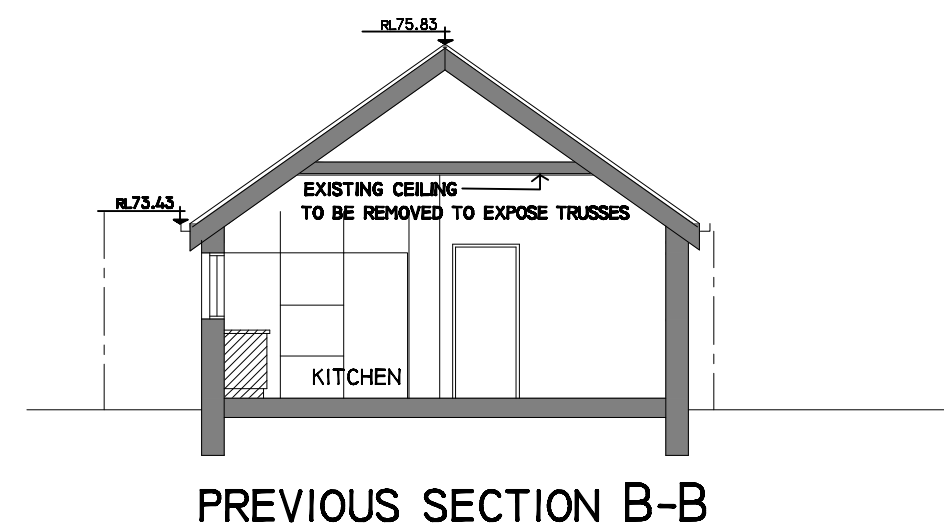
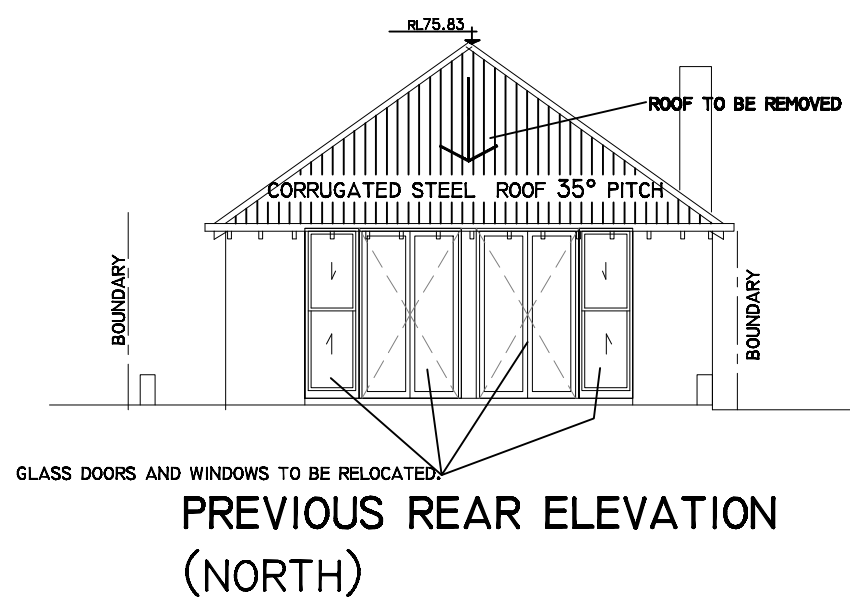
DATE
18-8-2021
SCALE
1:100@A2
DWG No 4
JOB 2040

DA for
alteration & extension
AT: 87 BELMONT ROAD
SUBURB: MOSMAN
CLIENT: MRS & MR O'NEILL

NOTES:

-BUILDER TO IDENTIFY BOUNDARIES AND EXISTING BUILDING
ANY DISCREPANCY WITH THESE PLANS, PLEASE CALL THIS OFFICE TO AMEND
THE DRAWINGS. 02-8034 5686
-ALL JOBS TO BE DONE AS PER BCA AND GOOD PRACTICES.
IF ASBESTOS IS FOUND, MUST BE REMOVED BY LICENSED CONTRACTOR.

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GILBERTO MENENDEZ
CASA STUDIO
2 DEEPWATER RD - CASTLE COVE - PH:80345686



ROOF PLAN
PREVIOUS REAR VIEW AND EXISTING SECTION A-A
CURRENT REAR VIEW AND PROPOSED SECTION A-A
LOT A DP 440114

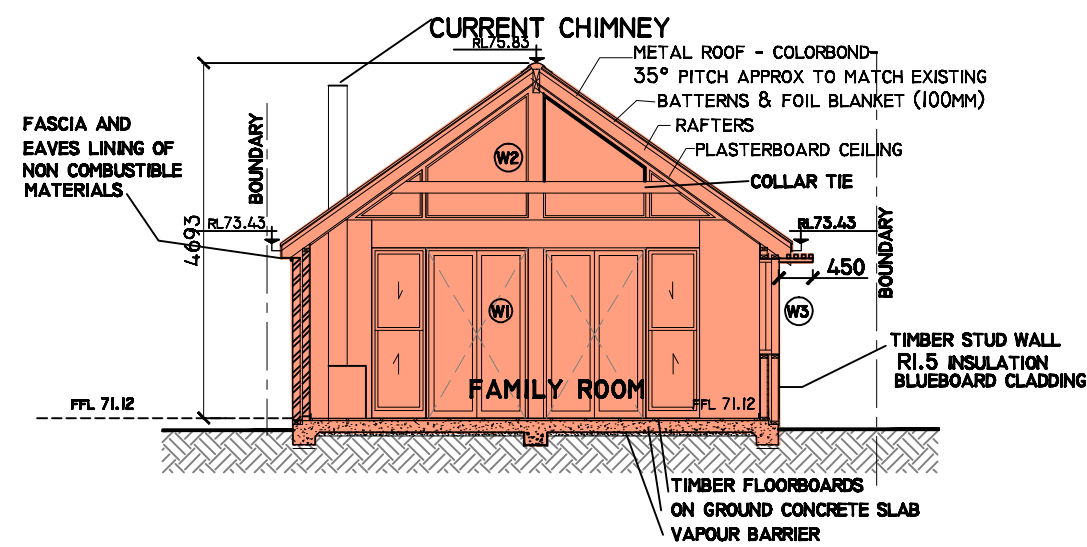
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18-8-2021
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DWG No 5
JOB 2040

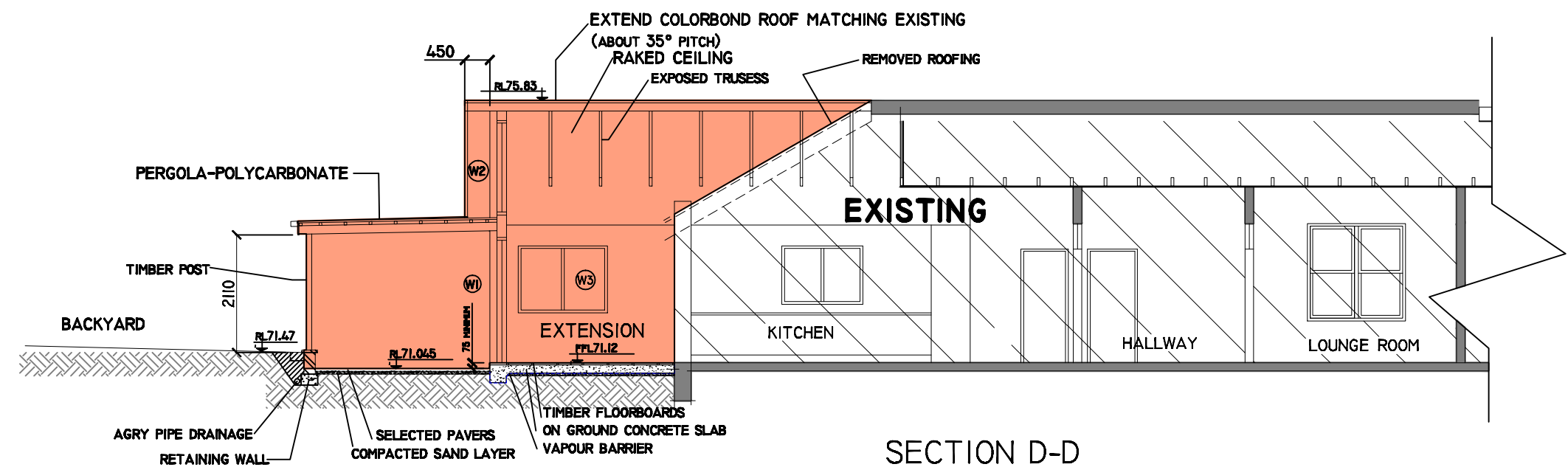
DA for
alteration & extension
AT: 87 BELMONT ROAD
SUBURB: MOSMAN
CLIENT: MRS & MR O'NEILL

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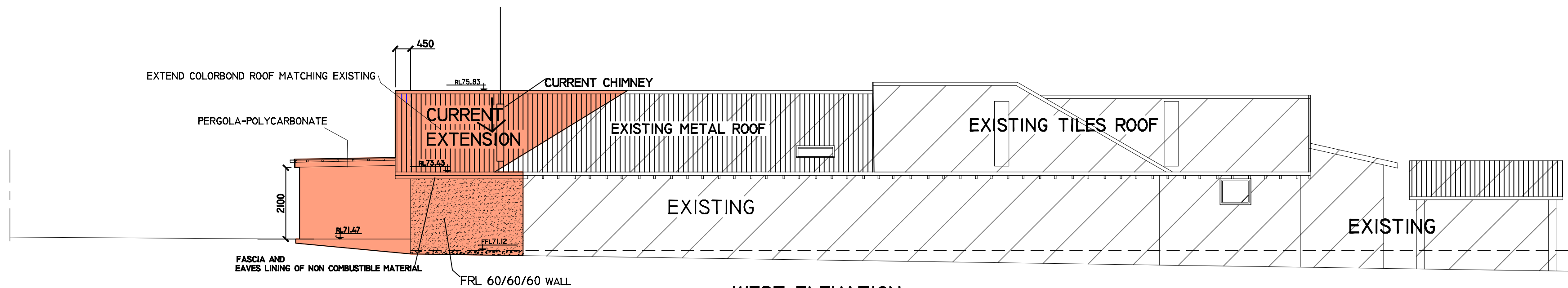
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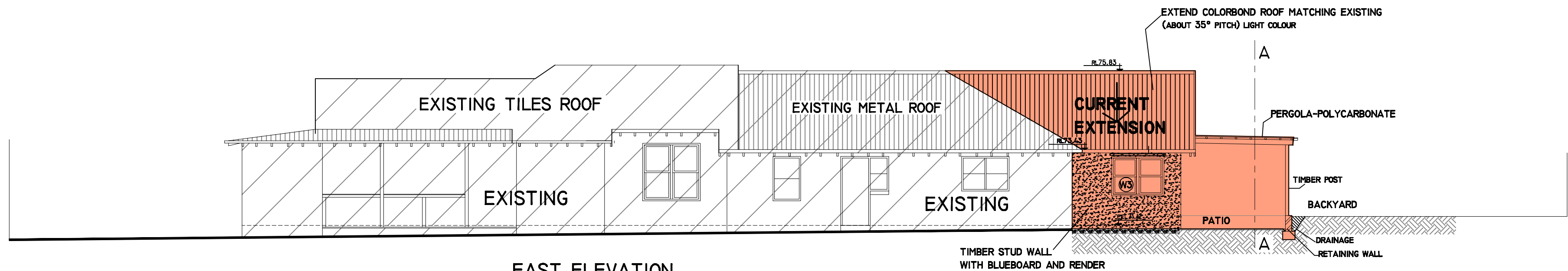
SECTION C-C



SECTION D-D



WEST ELEVATION



EAST ELEVATION

CURRENT SECTION C-C AND SECTION D-D
PROPOSED SIDE ELEVATIONS - WEST AND EAST -

LOT A DP 440114

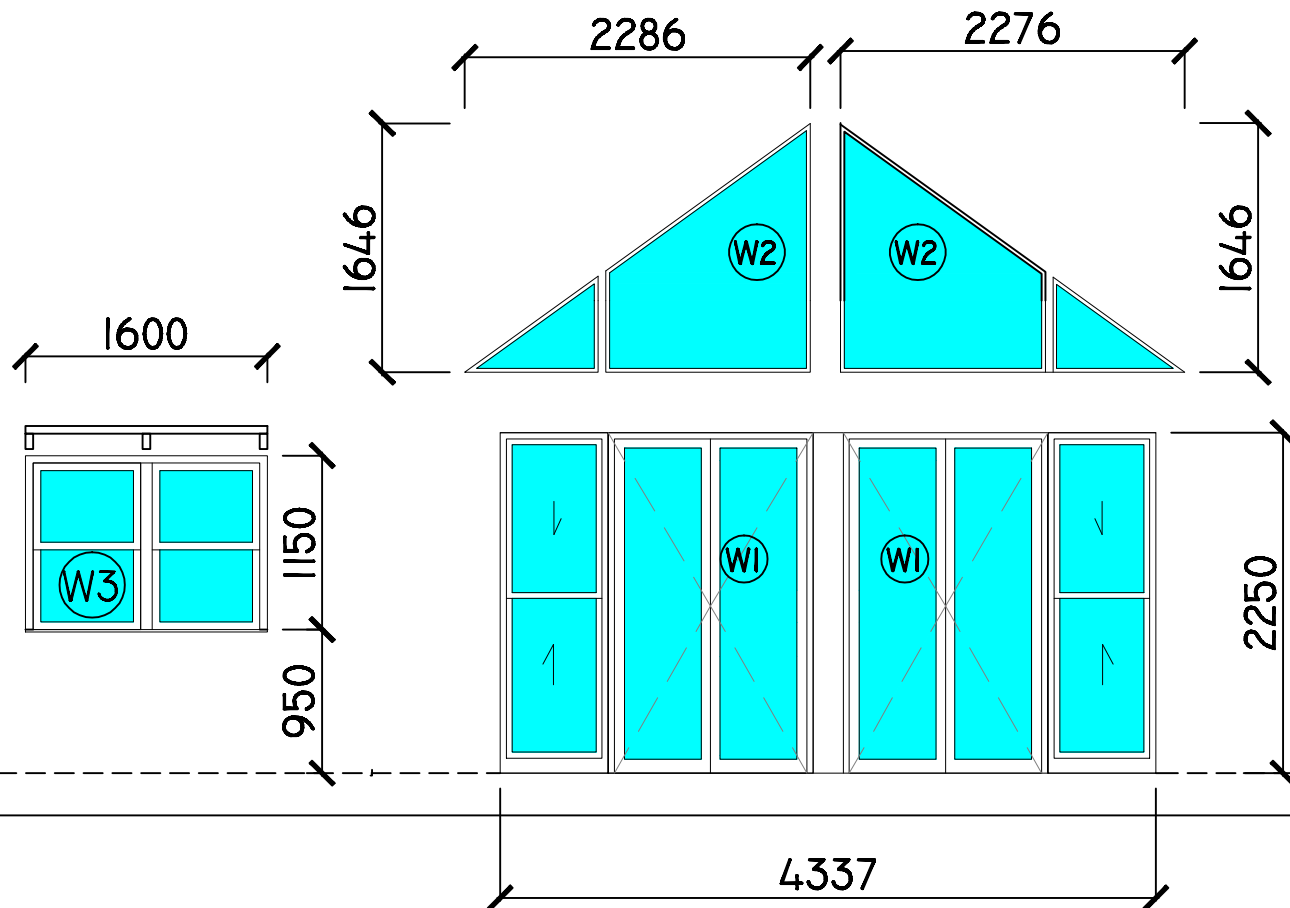
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DATE
18-8-2021
SCALE
1:100@A2
DWG No 6
JOB 2040

DA for
alteration & extension
AT: 87 BELMONT ROAD
SUBURB: MOSMAN
CLIENT: MRS & MR O'NEILL

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CASA STUDIO
2 DEEPWATER RD - CASTLE COVE - PH:80345686



W1: TIMBER FRAME, SINGLE CLEAR GLASS
W2: TIMBER FRAME, SINGLE TONED GLASS
W3: TIMBER FRAME, SINGLE CLEAR GLASS - WITH 450MM SHADING DEVICE

BASIX CERTIFICATE COMMITMENTS:

SCHEDULE OF BASIX COMMITMENTS

THE COMMITMENTS SET OUT BELOW REGULATE HOW THE PROPOSED DEVELOPMENT IS TO BE CARRIED OUT. IT IS A CONDITION OF ANY COMPLYING DEVELOPMENT CERTIFICATE ISSUED, FOR THE PROPOSED DEVELOPMENT, THAT BASIX COMMITMENTS BE COMPLIED WITH.

INSULATION REQUIREMENTS

THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED CONSTRUCTION (FLOOR(S), WALLS, AND CEILINGS/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS

LISTED IN THE TABLE BELOW, EXCEPT THAT A) ADDITIONAL INSULATION IS NOT REQUIRED WHERE THE AREA OF NEW CONSTRUCTION IS LESS THAN 2M², B)

INSULATION SPECIFIED IS NOT REQUIRED FOR PARTS OF ALTERED CONSTRUCTION WHERE INSULATION ALREADY EXISTS.

CONSTRUCTION	ADDITIONAL INSULATION REQUIRED (R-VALUE)	OTHER SPECIFICATIONS
CONCRETE SLAB ON GROUND FLOOR	NIL	VAPOUR BARRIER UNDER
RAKED CEILING, PITCHED ROOF: FRAME	CEILING: NIL, ROOF: FOIL BACKED BLANKET (100MM)	LIGHT (SOLAR ABSORPTANCE <0.475)
EXTERNAL WALL: (WEATHERBOARD, FIBRO CLADDING	R1.3 (OR R1.70 INCLUDING CONSTRUCTION)	

LIGHTING

THE APPLICANT MUST ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

WINDOW SCHEDULE AND BASIX

LOT A DP 440114

DATE
15-9-2020

SCALE
@A3

DWG No 7
JOB 2040

DA for
alteration & extension
AT: 87 BELMONT ROAD
SUBURB: MOSMAN
CLIENT: MRS & MR O'NEILL

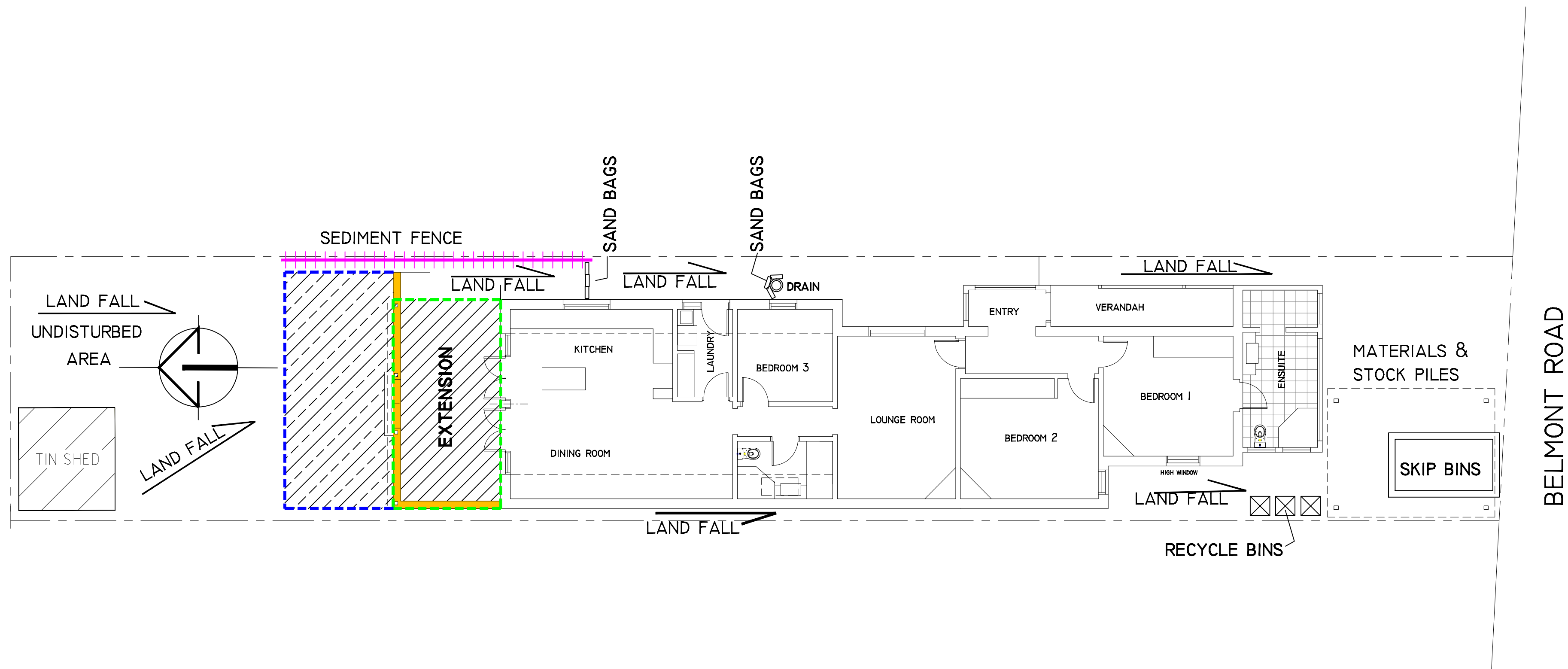
NOTES:

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2 DEEPWATER RD - CASTLE COVE - PH:80345686



EROSION AND SEDIMENT CONTROL PLAN

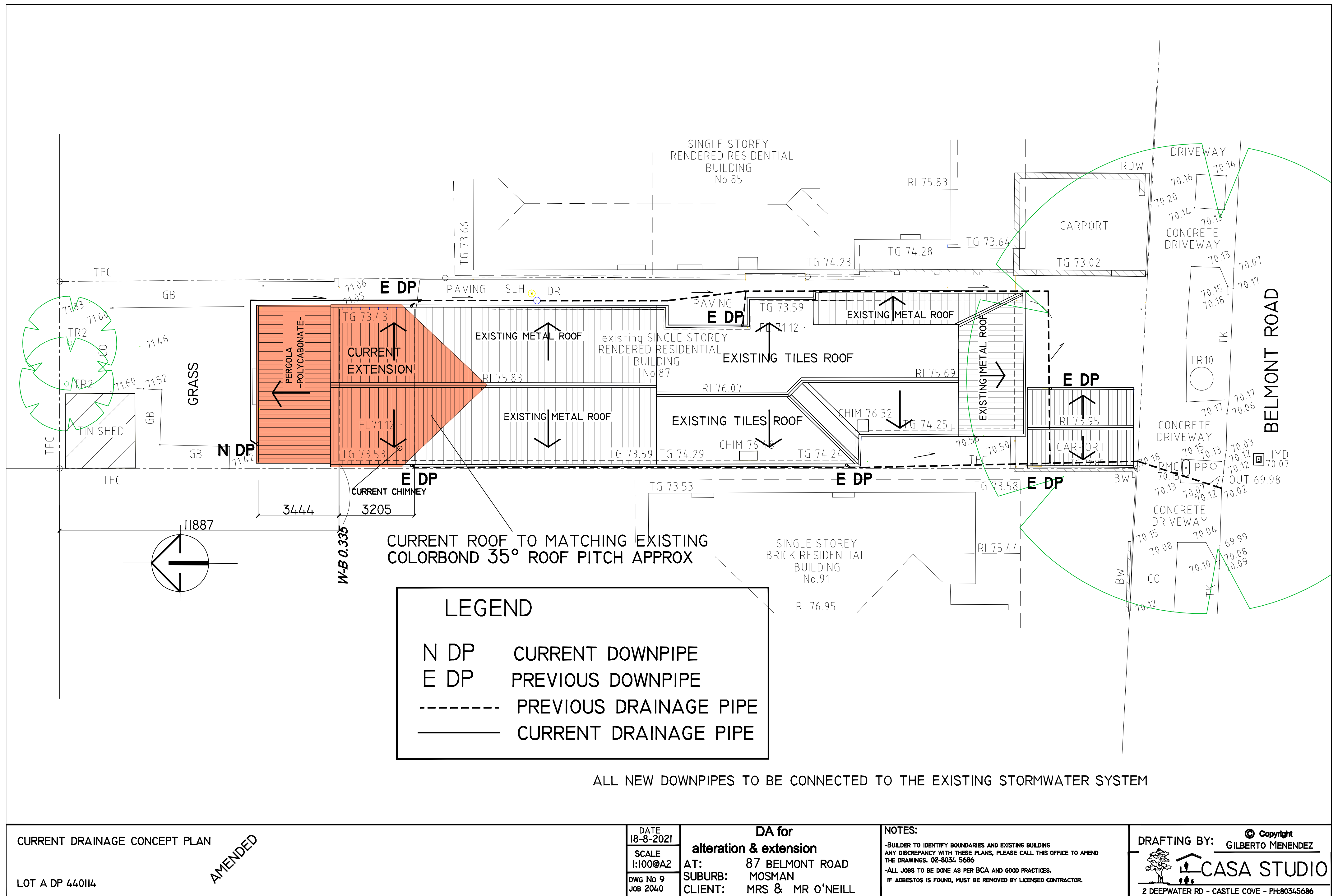
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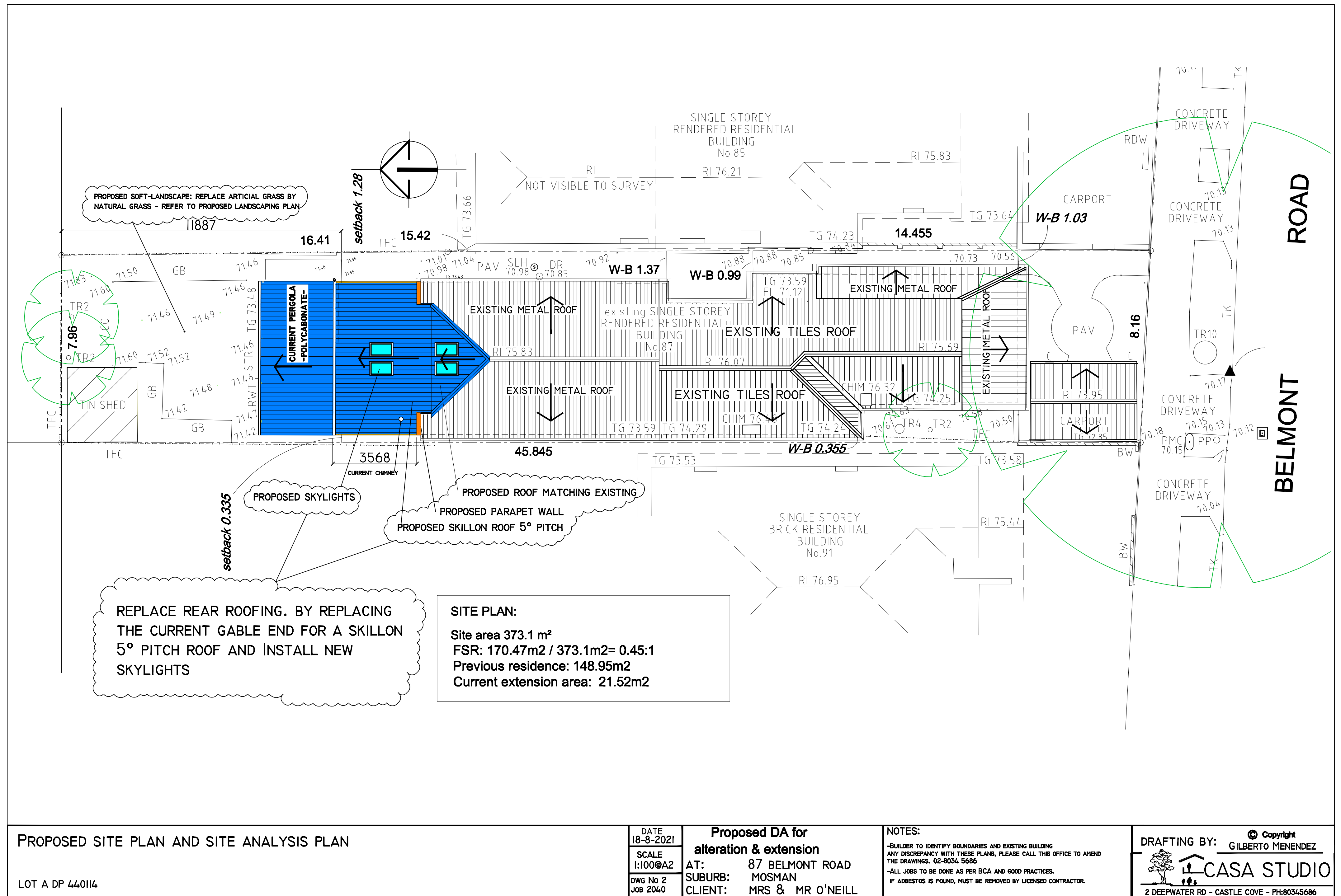
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DWG No 8
JOB 2040

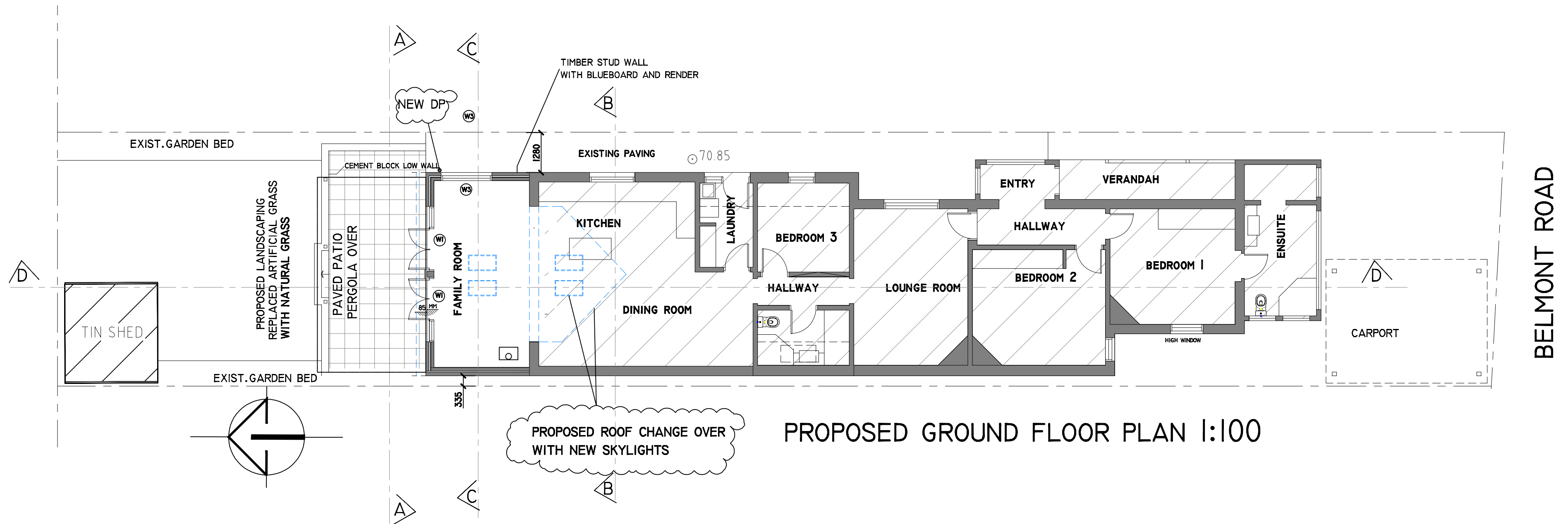
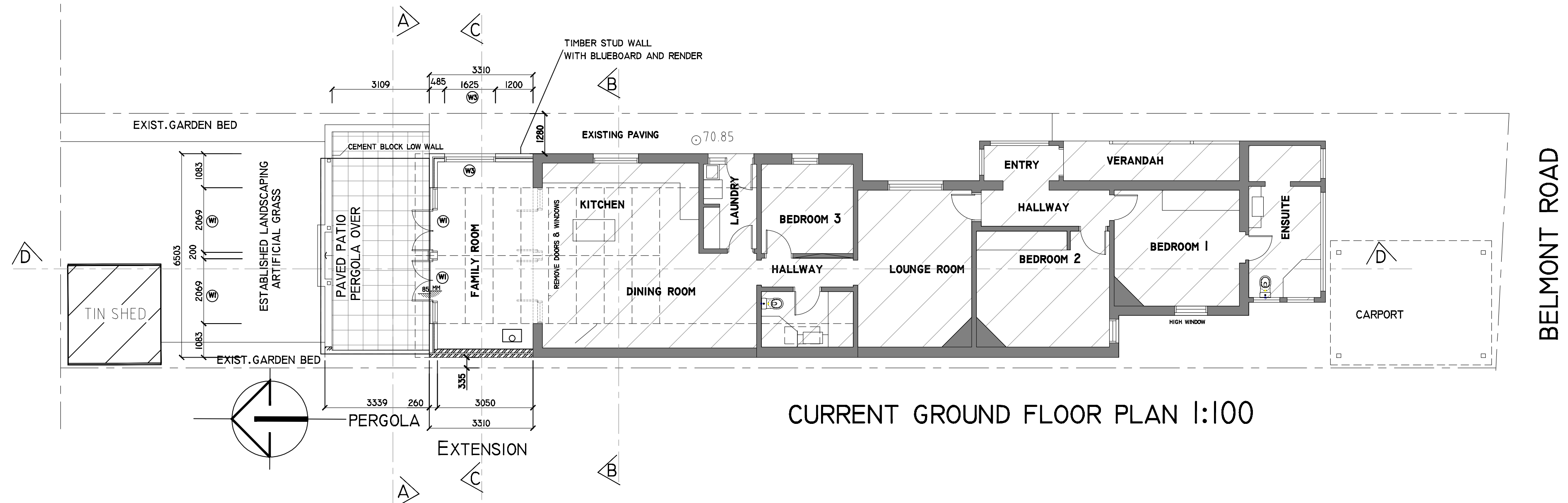
DA for
alteration & extension
AT: 87 BELMONT ROAD
SUBURB: MOSMAN
CLIENT: MRS & MR O'NEILL

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CURRENT GROUND FLOOR PLAN AND
PROPOSED GROUND FLOOR PLAN

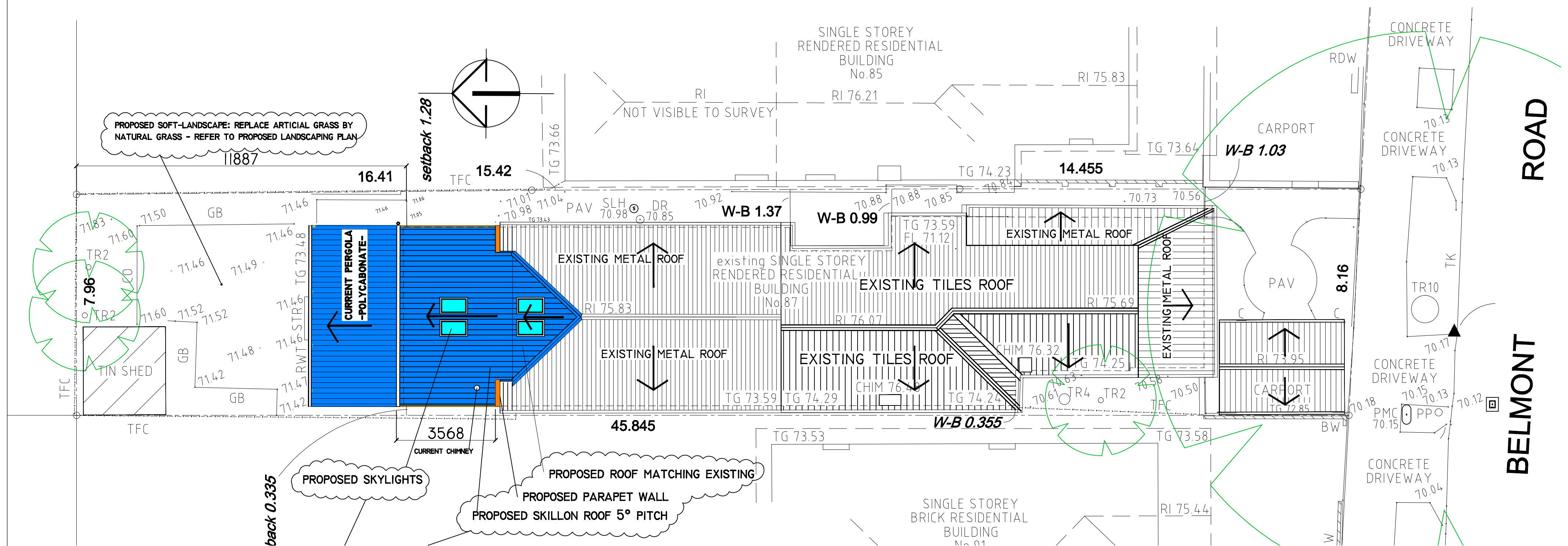
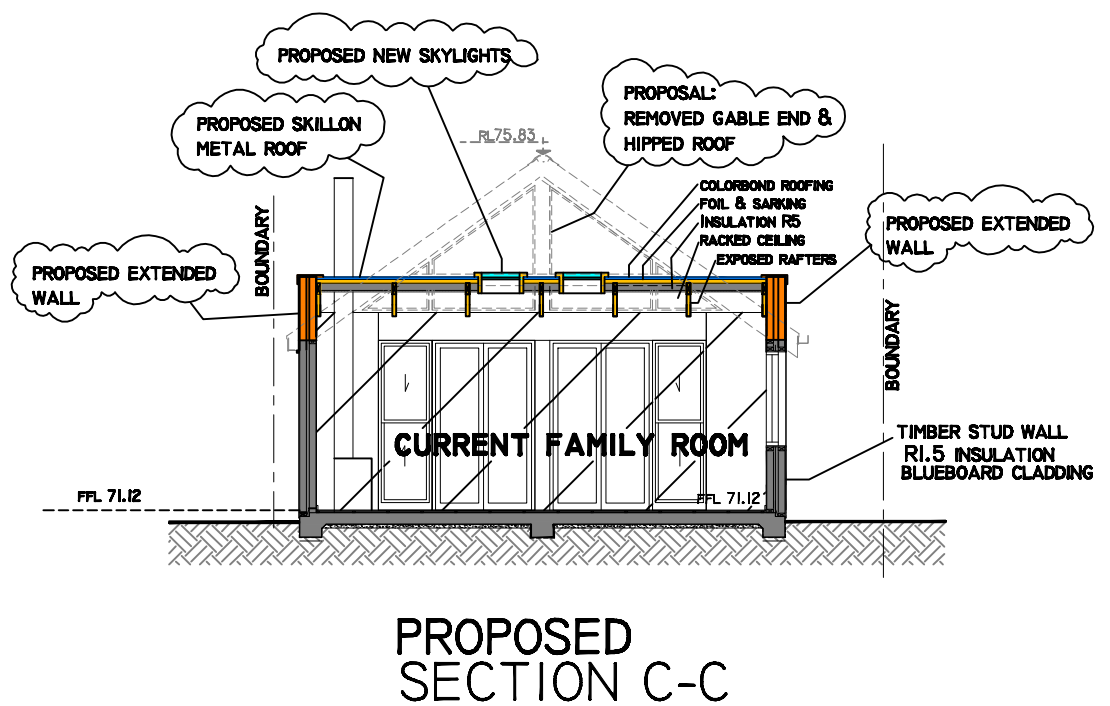
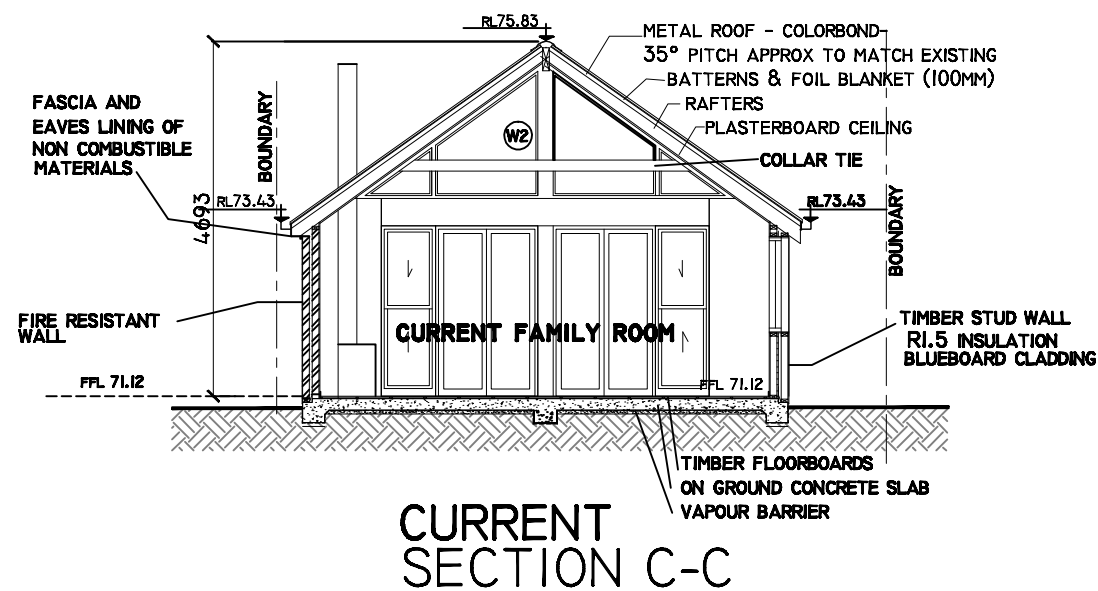
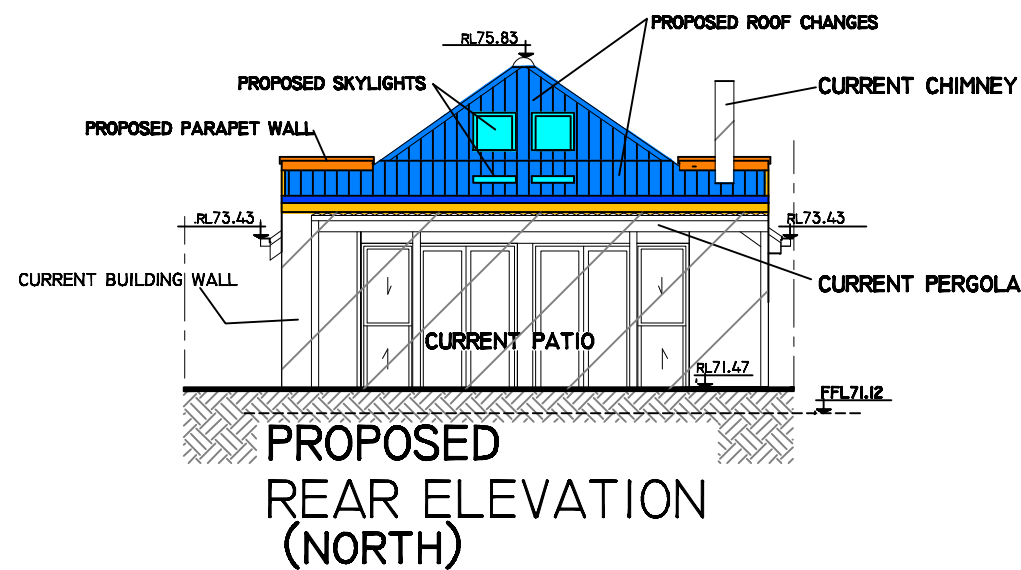
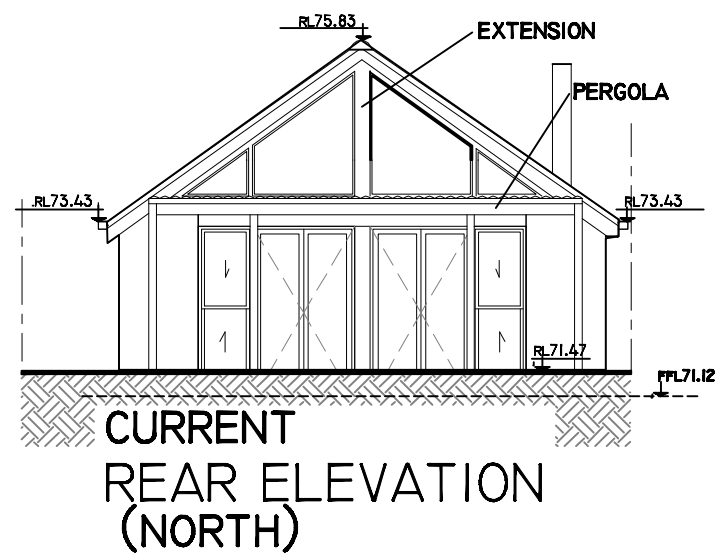
LOT A DP 440114

DATE
18-8-2021
SCALE
1:100@A2
DWG No 3
JOB 2040

**Proposed DA for
alteration & extension**
AT: 87 BELMONT ROAD
SUBURB: MOSMAN
CLIENT: MRS & MR O'NEILL

NOTES:
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2 DEEPWATER RD - CASTLE COVE - PH:80345686



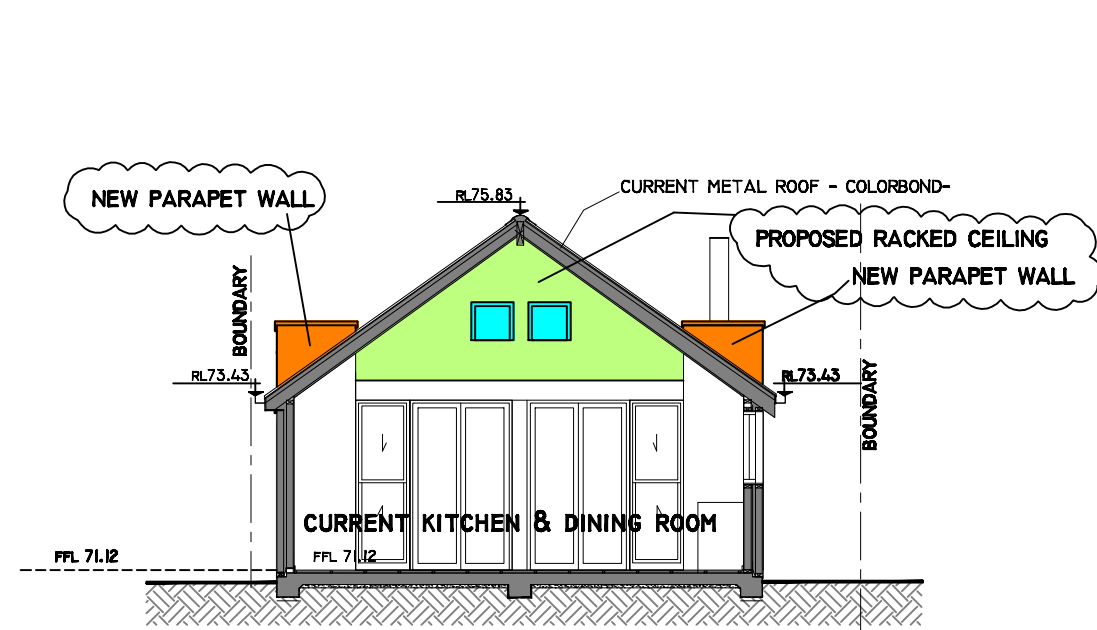
PROPOSED ROOF PLAN
PROPOSED REAR ELEVATION AND CURRENT REAR ELEVATIONS
PROPOSED SECTION C-C AND CURRENT SECTION C-C
LOT A DP 440114

DATE
18-8-2021
SCALE
1:100@A2
DWG No 4
JOB 2040

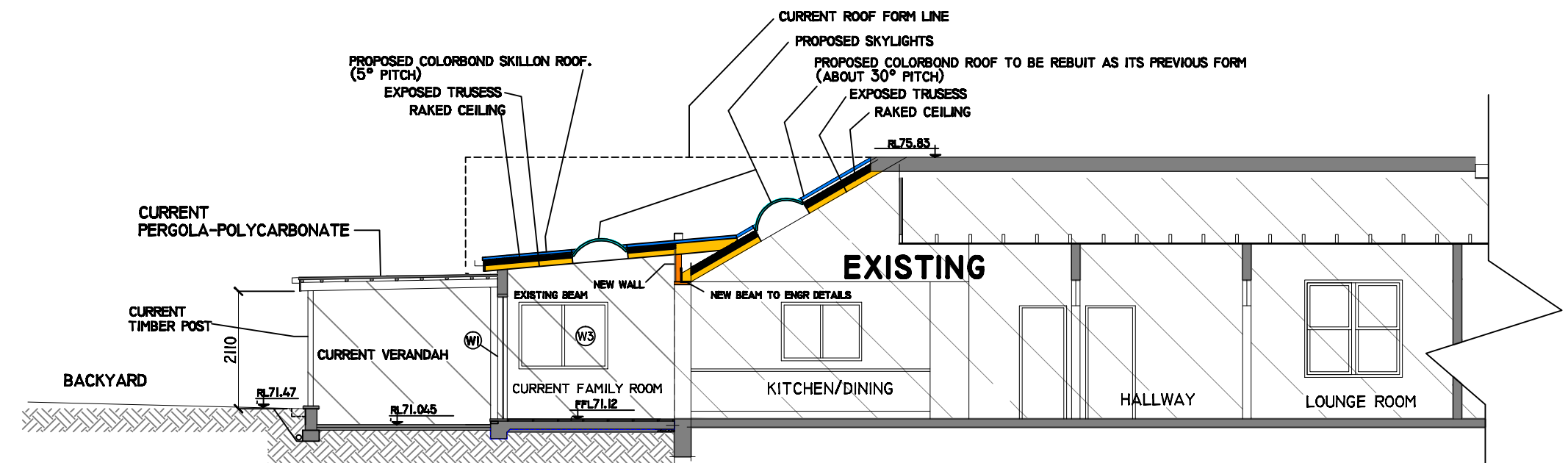
Proposed DA for
alteration & extension
AT: 87 BELMONT ROAD
SUBURB: MOSMAN
CLIENT: MRS & MR O'NEILL

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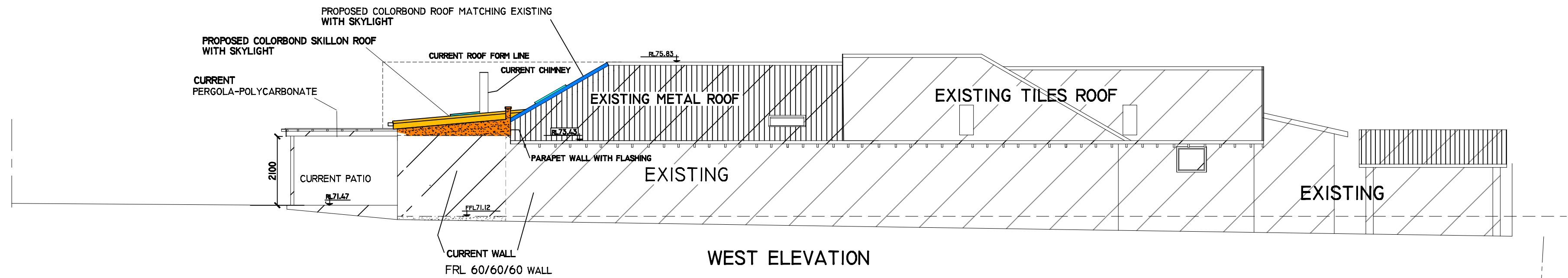
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2 DEEPWATER RD - CASTLE COVE - PH:80345686



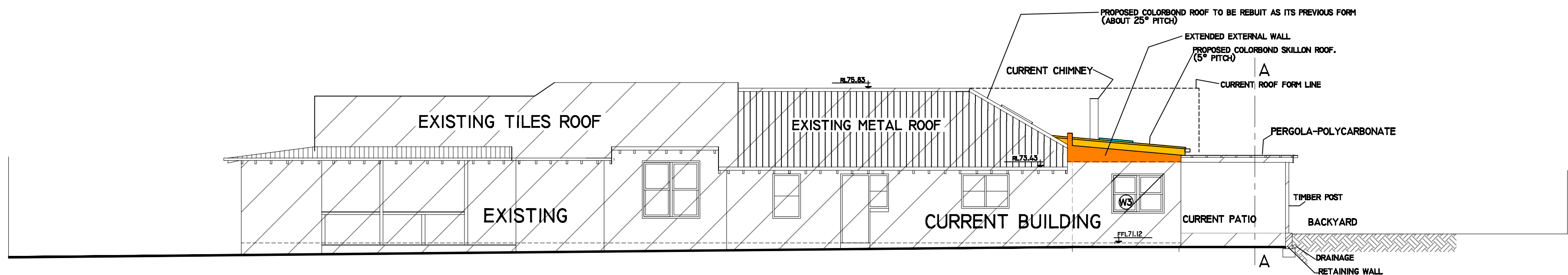
PROPOSED
SECTION B-B



SECTION D-D



WEST ELEVATION



EAST ELEVATION

PROPOSED SECTION B-B AND SECTION D-D
PROPOSED SIDE ELEVATIONS - WEST AND EAST -

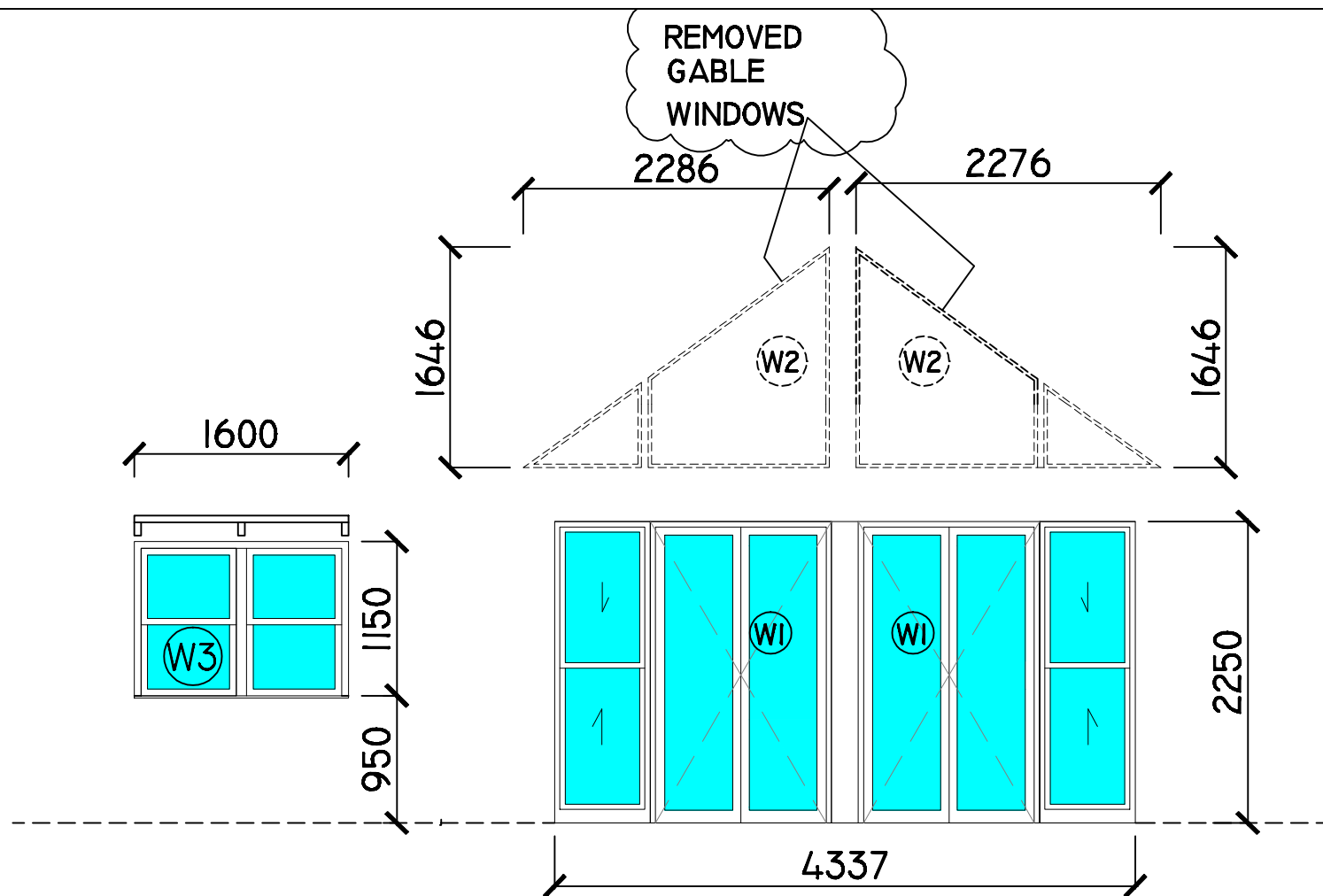
LOT A DP 440114

DATE
18-8-2021
SCALE
1:100@A2
DWG No 5
JOB 2040

Proposed DA for
alteration & extension
AT: 87 BELMONT ROAD
SUBURB: MOSMAN
CLIENT: MRS & MR O'NEILL

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THE DRAWINGS. 02-8034 5686
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CASA STUDIO
2 DEEPWATER RD - CASTLE COVE - PH:80345686



W1: TIMBER FRAME, SINGLE CLEAR GLASS
W2: TIMBER FRAME, SINGLE TONED GLASS
W3: TIMBER FRAME, SINGLE CLEAR GLASS - WITH 450MM SHADING DEVICE

BASIX CERTIFICATE COMMITMENTS:

SCHEDULE OF BASIX COMMITMENTS
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CONSTRUCTION	ADDITIONAL INSULATION REQUIRED (R-VALUE)	OTHER SPECIFICATIONS
CONCRETE SLAB ON GROUND FLOOR	NIL	VAPOUR BARRIER UNDER
RAKED CEILING, PITCHED ROOF: FRAME	CEILING: NIL, ROOF: FOIL BACKED BLANKET (100MM)	LIGHT (SOLAR ABSORPTANCE <0.475)
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WINDOW SCHEDULE AND BASIX

LOT A DP 440114

DATE
18-8-2021

SCALE
@A3

DWG No 6
JOB 2040

Proposed DA for
alteration & extension

AT: 87 BELMONT ROAD

SUBURB: MOSMAN

CLIENT: MRS & MR O'NEILL

NOTES:

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THE DRAWINGS. 02-8034 5686

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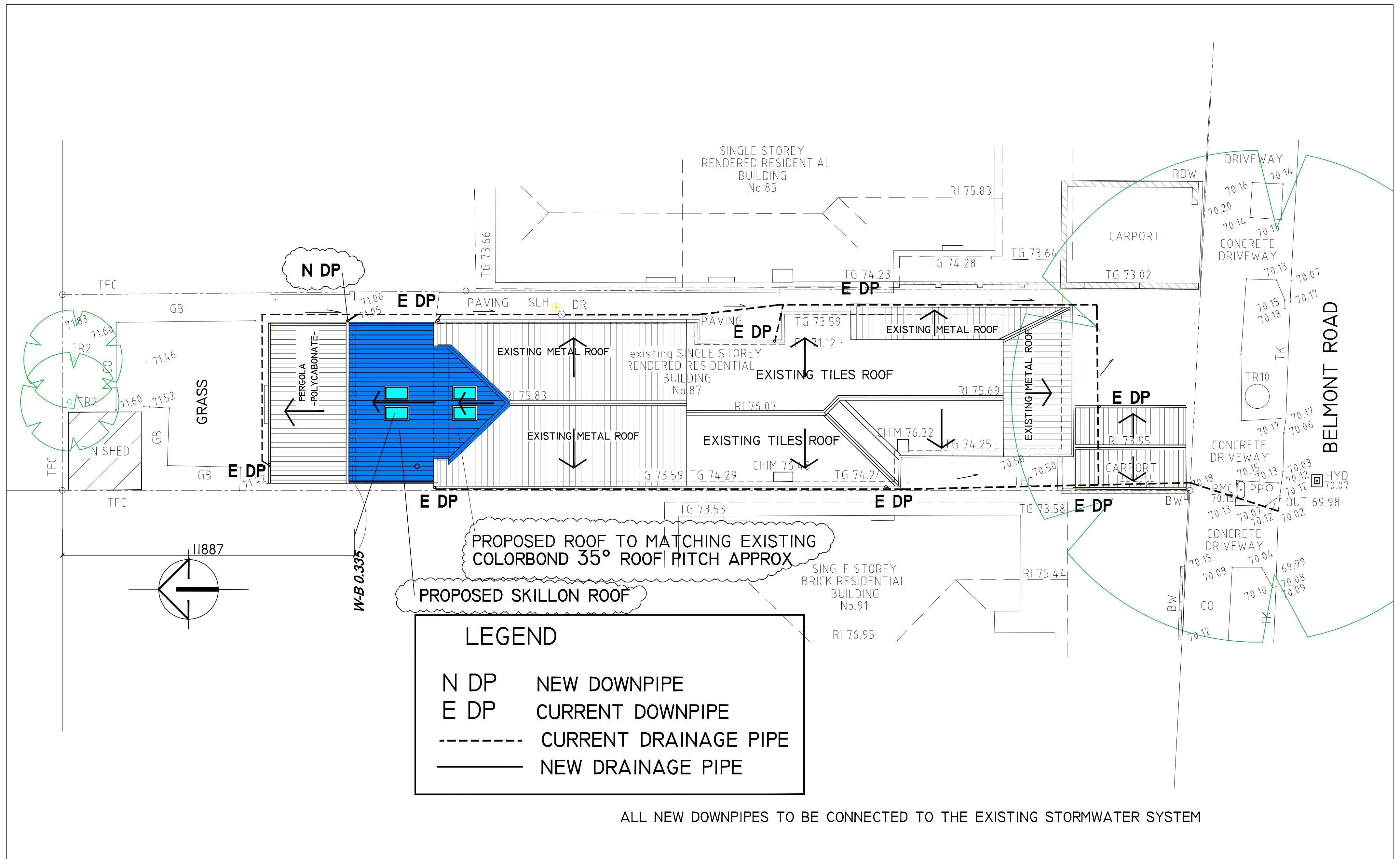
IF ADBESTOS IS FOUND, MUST BE REMOVED BY LICENSED CONTRACTOR.

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2 DEEPWATER RD - CASTLE COVE - PH:80345686



ALL NEW DOWNPIPES TO BE CONNECTED TO THE EXISTING STORMWATER SYSTEM

PROPOSED DRAINAGE CONCEPT PLAN

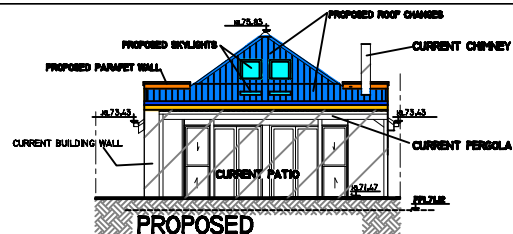
LOT A DP 440114

DATE
18-8-2021
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DWG No 7
JOB 2040

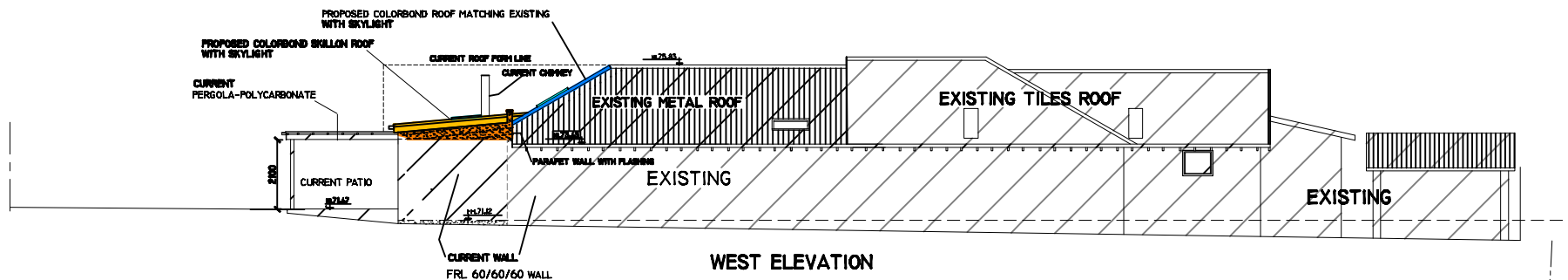
Proposed DA for
alteration & extension
AT: 87 BELMONT ROAD
SUBURB: MOSMAN
CLIENT: MRS & MR O'NEILL

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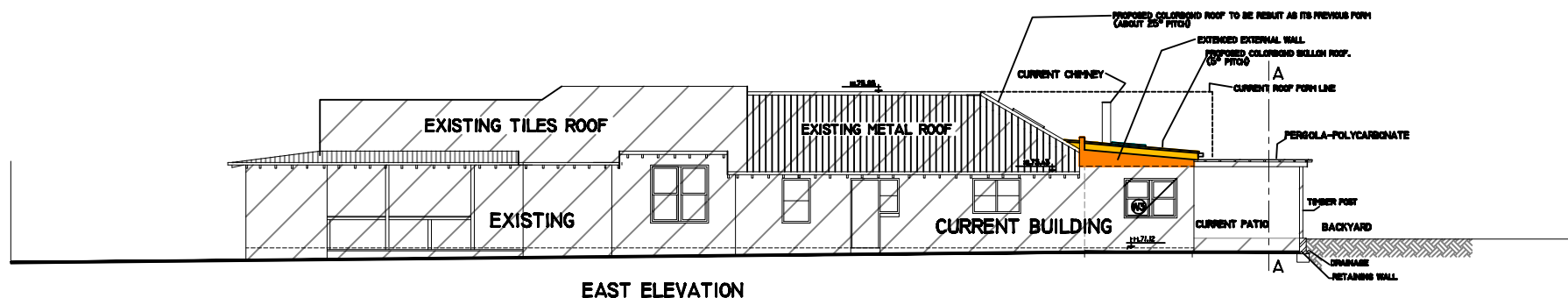
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CASA STUDIO
2 DEEPWATER RD - CASTLE COVE - PH:80345686



**PROPOSED
REAR ELEVATION
(NORTH)**



WEST ELEVATION



EAST ELEVATION

ELEVATIONS - 1:200 @ A4
NOTIFICATION PLAN ON A4

LOT A DP 440114

DATE
18-8-2021

SCALE
1:200@A3

DWG No 4
JOB 2040

**Proposed:
alteration & extension**

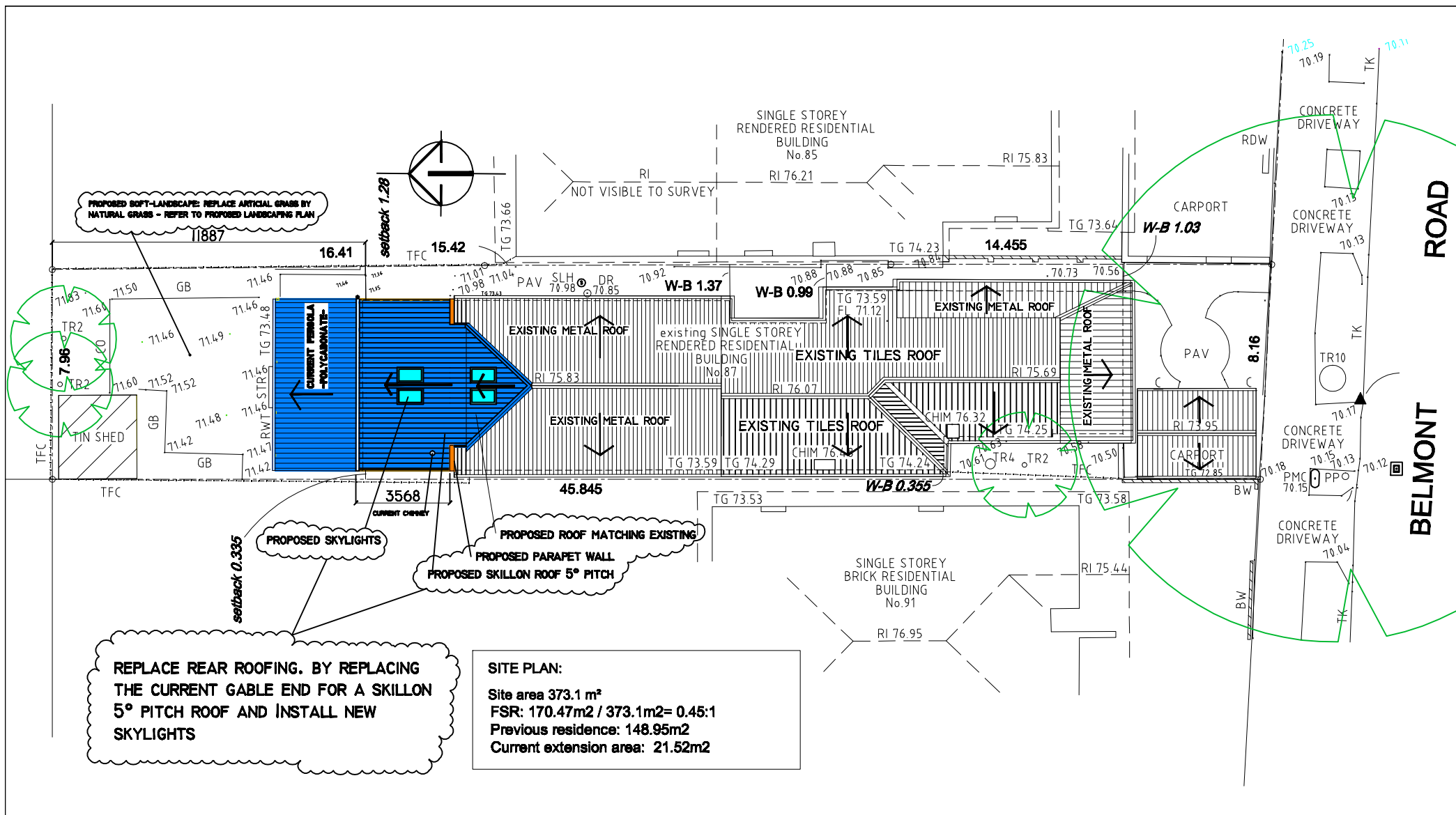
AT: 87 BELMONT ROAD
SUBURB: MOSMAN
CLIENT: MRS & MR O'NEILL

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CASA STUDIO

2 DEEPWATER RD - CASTLE COVE - PH:80345686



SITE PLAN - 1:200 @ A4
 NOTIFICATION PLAN ON A4

LOT A DP 440114

DATE
18-8-2021

SCALE
1:200@A3

DWG No 4
JOB 2040

Proposed:
alteration & extension

AT: 87 BELMONT ROAD
 SUBURB: MOSMAN
 CLIENT: MRS & MR O'NEILL

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