



SITE AERIAL PHOTOGRAPH N.T.S (SixMaps)



15 AVOCA STREET GOULBURN (VIEWED FROM GIDDINGST STREET)

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NOTE ; PLANS TO BE READ IN CONJUNCTION WITH ACCOMPANYING BCA COMPLIANCE REPORT PREPARED BY BCA VISION & FLOOD ASSESSMENT LETTER & RISK MANAGMENT PLAN REVISION F PREPARED BY JN ENGINEERING. COMPLIANCE IS TO BE ACHIEVED WITH ALL BCA, ACOUSTIC, FIRE SAFETY,STRUCTURAL AND FLOOD REQUIREMENTS AS PER ACCOMPANYING REPORTS AND THEY TAKE PRECEDENCE OVER THE ARCHITECTURAL PLANS.

DA PLANS  
NOT FOR CONSTRUCTION

ISSUE:	AMENDMENTS:	DATE:	 <div>ARCHIPLAN Design Studio e. perry@archiplandesignstudio.com m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	 <div>DO NOT SCALE DRAWING</div>	ISSUE:	
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	DRAWN: P.G		D	
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580				DRAWING: INDEX & SITE AERIAL PHOTO	DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021							SHEET No: 0.01
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021							



**SITE AREA CALCULATIONS -**  
**PRIOR TO UNAUTHORISED WORKS (AS PURCHASED BY OWNER)**

<u>AREA</u>	<u>COMMENT</u>
SITE AREA : 1378.0m <sup>2</sup> BY DP (1384.5m <sup>2</sup> BY CALCULATION)	AS EXISTING - NO CHANGE
UNIT 1 : 41.74m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 2 : 63.49m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 3 : 47.07m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 4 : 61.04m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 5 : 64.51m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 6 : LOWER GROUND : 27.60m <sup>2</sup> FIRST FLOOR : 73.29m <sup>2</sup> TOTAL : 100.89m <sup>2</sup>	AS EXISTING
LOWER GROUND STORAGE : 14.27m <sup>2</sup>	AS EXISTING
LOWER GROUND OPEN AREA : 156.45m <sup>2</sup>	AS EXISTING
LOWER GROUND BATHROOM/ LAUNDRY : 8.38m <sup>2</sup>	AS EXISTING
PORCH AREAS : 30.70m <sup>2</sup>	AS EXISTING
FIRST FLOOR BALCONY : 26.99m <sup>2</sup>	AS EXISTING

## SITE AREA CALCULATIONS - EXISTING CURRENT SITE WITH UNAUTHORISED WORKS

<u>AREA</u>	<u>COMMENT</u>
SITE AREA : 1378.0m <sup>2</sup> BY DP (1384.5m <sup>2</sup> BY CALCULATION)	AS EXISTING - NO CHANGE
UNIT 1 : 41.74m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 2 : 63.49m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 3 : 47.07m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 4 : 61.04m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 5 : 64.51m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 6 : LOWER GROUND : 28.38m <sup>2</sup> FIRST FLOOR : 73.29m <sup>2</sup> TOTAL : 101.67m <sup>2</sup>	UNIT HAS BEEN SLIGHTLY ALTERED ON THE LOWER GROUND FLOOR. PLEASE SEE PLANS
LOWER GROUND STORAGE/ GROUNDSKEEPERS : 39.50m <sup>2</sup>	PROPOSED GROUNDSKEEPERS ROOM. NOT TO BE OCCUPIED BY TENANT OR OCCUPANCY.
LOWER GROUND STORAGE 4 AREA : 58.62m <sup>2</sup>	STORAGE AREA ENCLOSED FROM NATURAL ELEMENTS
LOWER GROUND OPEN STORAGE 3 AREA : 25.77m <sup>2</sup>	AS EXISTING
LOWER GROUND OPEN STORAGE 1 & 2 AREA : 36.12m <sup>2</sup>	STORAGE AREA ENCLOSED FROM NATURAL ELEMENTS
PORCH AREAS : 30.70m <sup>2</sup>	AS EXISTING
FIRST FLOOR BALCONY : 26.99m <sup>2</sup>	AS EXISTING


### SITE AREA CALCULATIONS - PROPOSAL TO RECTIFY/FORMALISE UNAUTHORISED WORKS & PROPOSED WORKS (ORIGINAL DA)

AREA	COMMENT
SITE AREA : 1378.0m <sup>2</sup> BY DP (1384.5m <sup>2</sup> BY CALCULATION)	AS EXISTING - NO CHANGE
UNIT 1 : 41.74m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 2 : 63.49m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 3 : 47.07m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 4 : 61.04m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 5 : 64.51m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 6 : LOWER GROUND : 27.25m <sup>2</sup> FIRST FLOOR : 73.29m <sup>2</sup> TOTAL : 100.54m <sup>2</sup>	UNIT HAS BEEN SLIGHTLY ALTERED ON THE LOWER GROUND FLOOR. MEASURES TO BE PUT IN PLACE TO MAKE COMPLIANT WITH FLOOD REQUIREMENTS. PLEASE SEE PLANS & FLOOD REPORT.
LOWER GROUND WORKSHOP/ GROUNDSKEEPERS : 24.3m <sup>2</sup>	PROPOSED GROUNDSKEEPERS ROOM. NOT TO BE OCCUPIED BY TENANT OR OCCUPANCY. MEASURES TO BE PUT IN PLACE TO MAKE COMPLIANT WITH FLOOD REQUIREMENTS. PLEASE SEE PLANS & FLOOD REPORT.
LOWER GROUND STORAGE AREA 5 : 15.72m <sup>2</sup>	STORAGE AREA ENCLOSED FROM NATURAL ELEMENTS.
LOWER GROUND STORAGE 4 AREA : 58.62m <sup>2</sup>	STORAGE AREA ENCLOSED FROM NATURAL ELEMENTS.
LOWER GROUND OPEN STORAGE 3 AREA : 25.77m <sup>2</sup>	AS EXISTING
LOWER GROUND OPEN STORAGE 1 & 2 AREA : 36.12m <sup>2</sup>	STORAGE AREA ENCLOSED FROM NATURAL ELEMENTS
PORCH AREAS : 30.70m <sup>2</sup>	AS EXISTING
FIRST FLOOR BALCONY : 50.42m <sup>2</sup>	EXISTING BALCONY IN POOR STRUCTURAL CONDITION. BALCONY TO BE REBUILT AND MADE SLIGHTLY LARGER AS PER PLANS.

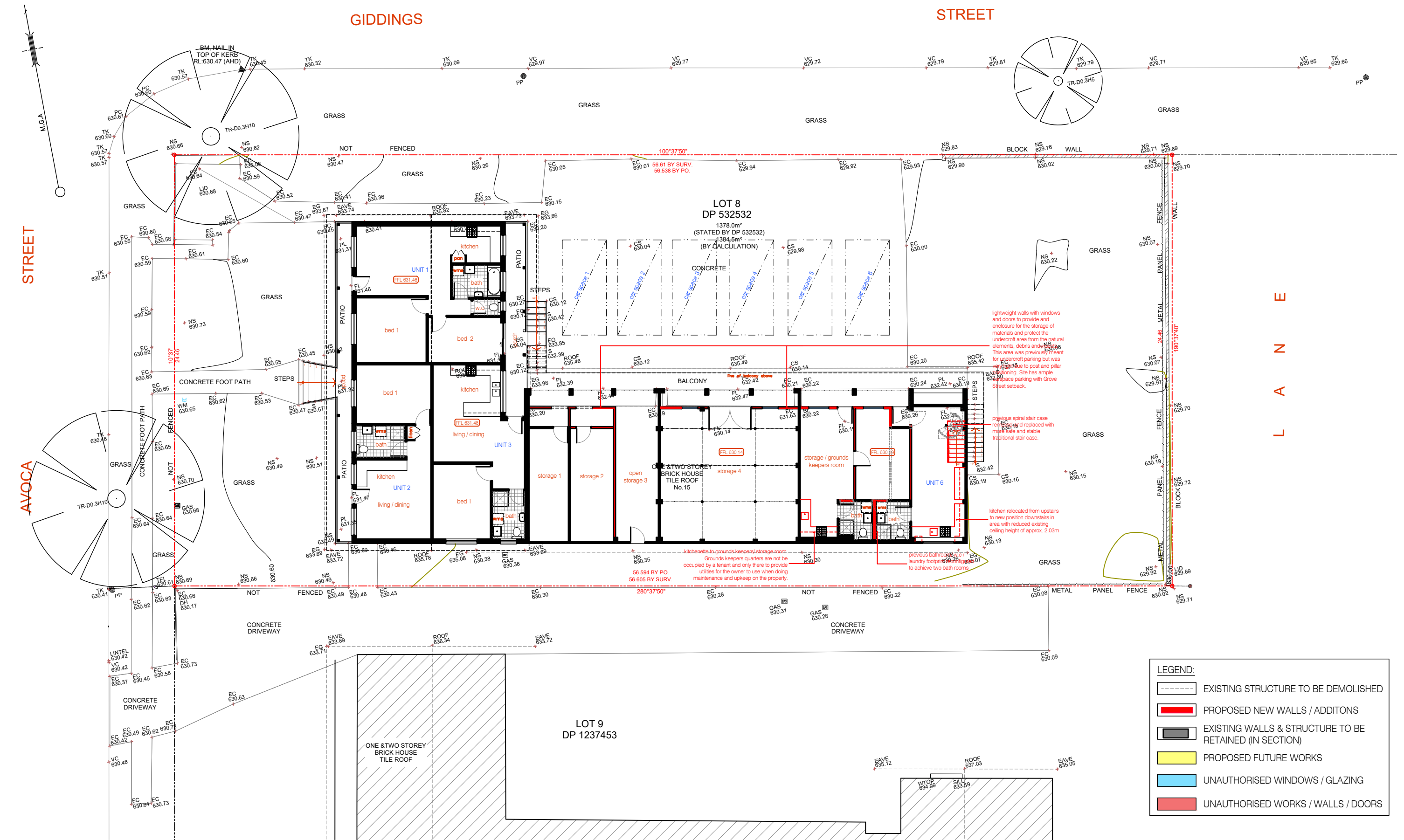
**SITE AREA CALCULATIONS -  
PROPOSAL TO RECTIFY/FORMALISE UNAUTHORISED WORKS & PROPOSED WORKS (POST SEC 34 CONFERENCE)**

AREA	COMMENT
SITE AREA : 1378.0m <sup>2</sup> BY DP (1384.5m <sup>2</sup> BY CALCULATION)	AS EXISTING - NO CHANGE
UNIT 1 : 41.74m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 2 : 63.49m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 3 : 47.07m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 4 : 61.04m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 5 : 64.51m <sup>2</sup>	AS EXISTING - NO CHANGE
UNIT 6 : LOWER GROUND : 27.25m <sup>2</sup> FIRST FLOOR : 73.29m <sup>2</sup> TOTAL : 100.54m <sup>2</sup>	MEASURES TO BE PUT IN PLACE TO MAKE COMPLIANT WITH FLOOD REQUIREMENTS, BCA & FIRE SAFETY. PLEASE SEE PLANS & FLOOD REPORT.
UNIT 6 OPEN CAR SPACES & LOWER GROUND BATH : 47.69m <sup>2</sup>	CAR SPACESW, BATH & STORAGE DEDICATED TO UNIT 6. MEASURES TO BE PUT IN PLACE TO MAKE COMPLIANT WITH FLOOD REQUIREMENTS, BCA & FIRE SAFETY. PLEASE SEE PLANS & FLOOD REPORT.
LOWER GROUND STORAGE 4 AREA : 58.62m <sup>2</sup>	STORAGE AREA ENCLOSED FROM NATURAL ELEMENTS.
LOWER GROUND OPEN STORAGE 3 AREA : 25.77m <sup>2</sup>	AS EXISTING
LOWER GROUND OPEN STORAGE 1 & 2 AREA : 36.12m <sup>2</sup>	STORAGE AREA ENCLOSED FROM NATURAL ELEMENTS
PORCH AREAS : 30.70m <sup>2</sup>	AS EXISTING
FIRST FLOOR BALCONY : 50.42m <sup>2</sup>	EXISTING BALCONY IN POOR STRUCTURAL CONDITION. BALCONY TO BE REBUILT AND MADE SLIGHTLY LARGER AS PER PLANS.
GROUNDS KEEPERS TOOL/WORK SHED : 20m <sup>2</sup>	PROPOSED TOOL / WORK SHED.

**DA PLANS**  
NOT FOR CONSTRUCTION

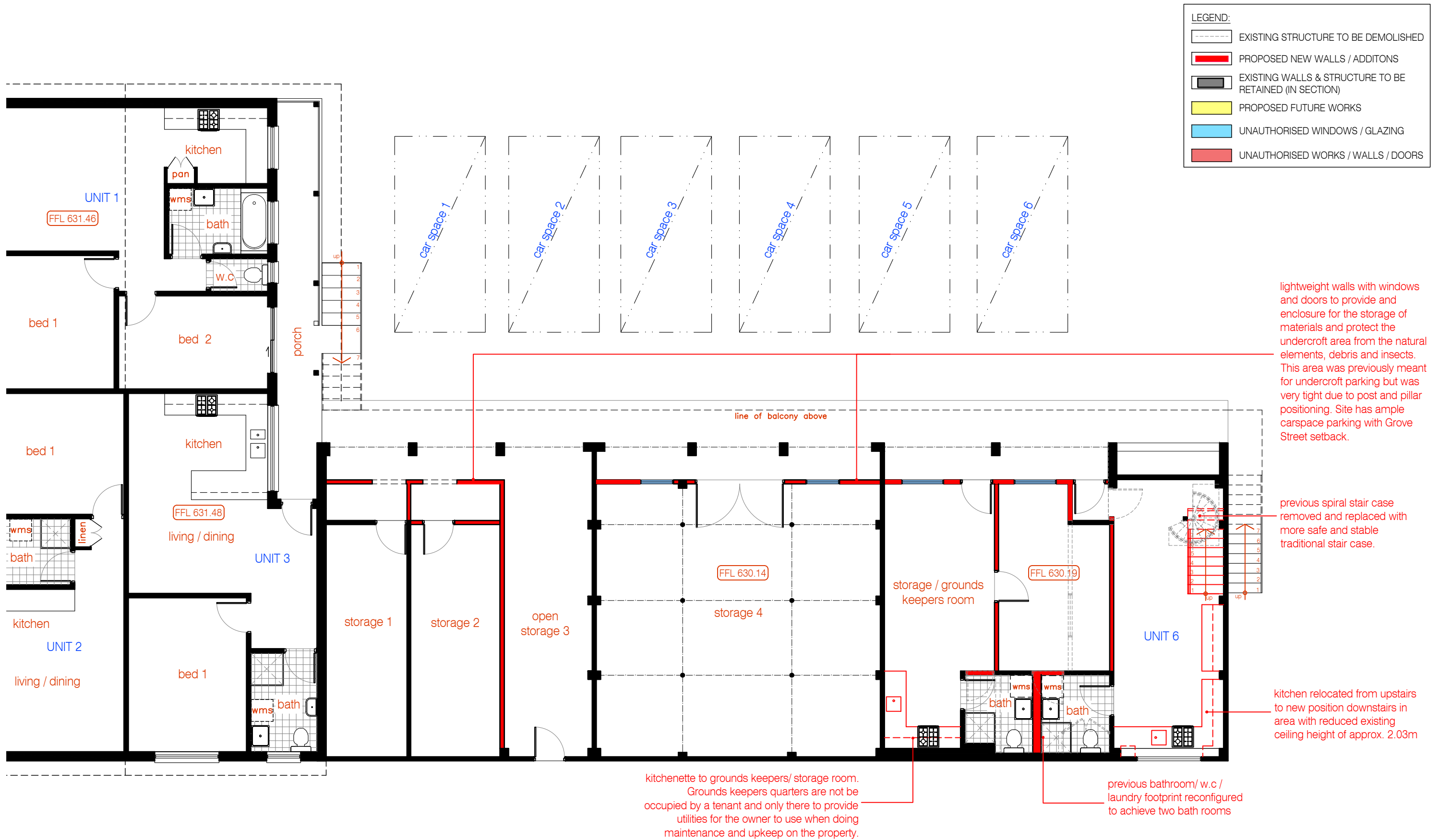
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A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	-		D
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: SITE AREA CALCULATIONS & GENERAL NOTES	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						0.02

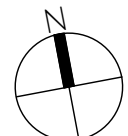




DA PLANS NOT FOR CONSTRUCTION				EXISTING CURRENT GROUND & LOWER GROUND FLOOR PLAN ANALASYS (WITH CURRENT UNAUTHORISED WORKS)			
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN Design Studio</div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	<div>DO NOT SCALE DRAWING</div>
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:200 @ A3	
B	REVISION ISSUE	07.05.2021		ADDRESS:	EXISTING CURRENT GROUND & LOWER GROUND FLOOR PLAN ANALASYS (WITH CURRENT UNAUTHORISED WORKS)	DRAWN:	
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				P.G	
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021		LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580		CHECKED:	SHEET No: 1.01
						P.G	





DA PLANS NOT FOR CONSTRUCTION			EXISTING CURRENT GROUND & LOWER GROUND FLOOR PLAN (WITH CURRENT UNAUTHORISED WORKS)				
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A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:100 @ A3	
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: EXISTING CURRENT GROUND & LOWER GROUND FLOOR PLAN (WITH CURRENT UNAUTHORISED WORKS)	DRAWN:	
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				P.G	
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021				CHECKED:	
						P.G	
							ISSUE: D DA SHEET No: 1.02



LEGEND:

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EXISTING STRUCTURE TO BE DEMOLISHED

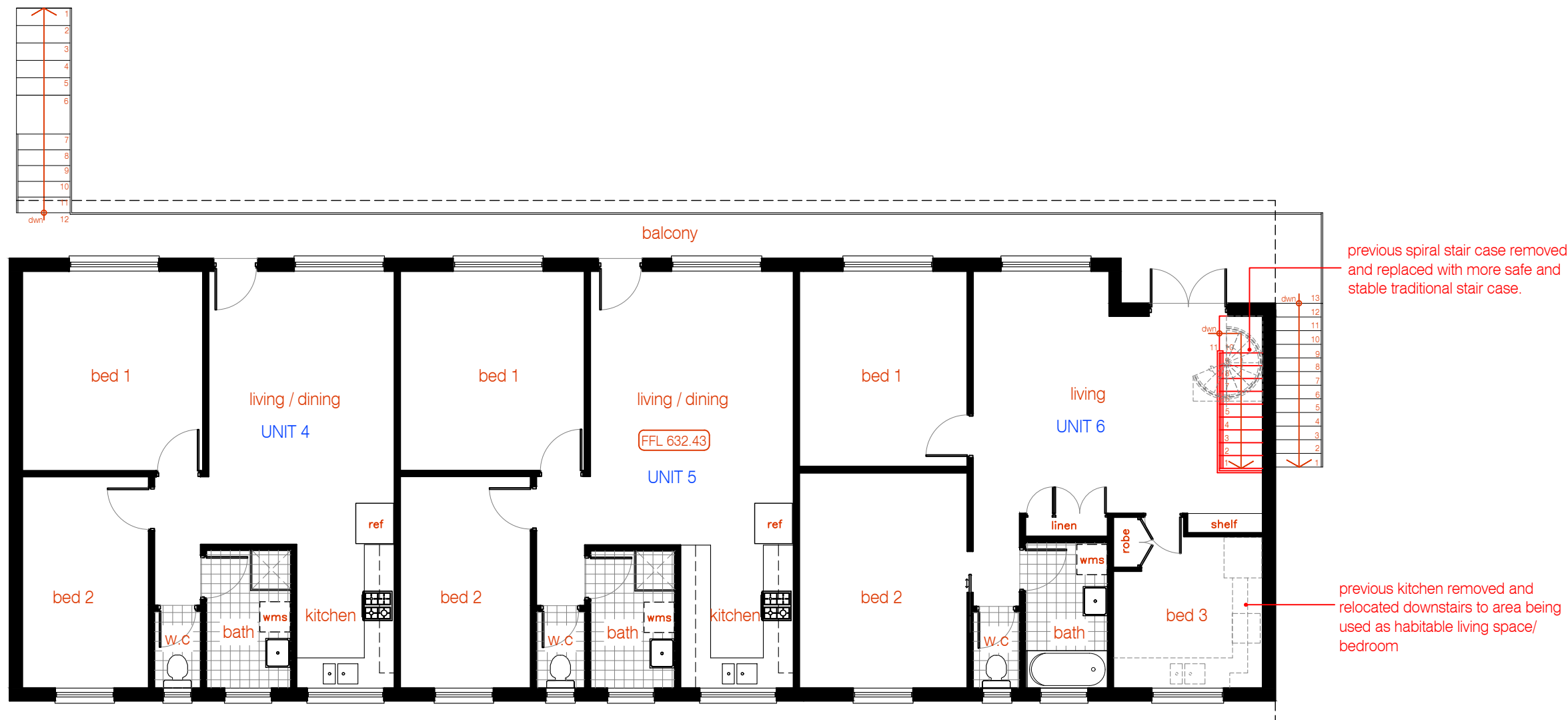
PROPOSED NEW WALLS / ADDITONS


EXISTING WALLS & STRUCTURE TO BE RETAINED (IN SECTION)

PROPOSED FUTURE WORKS

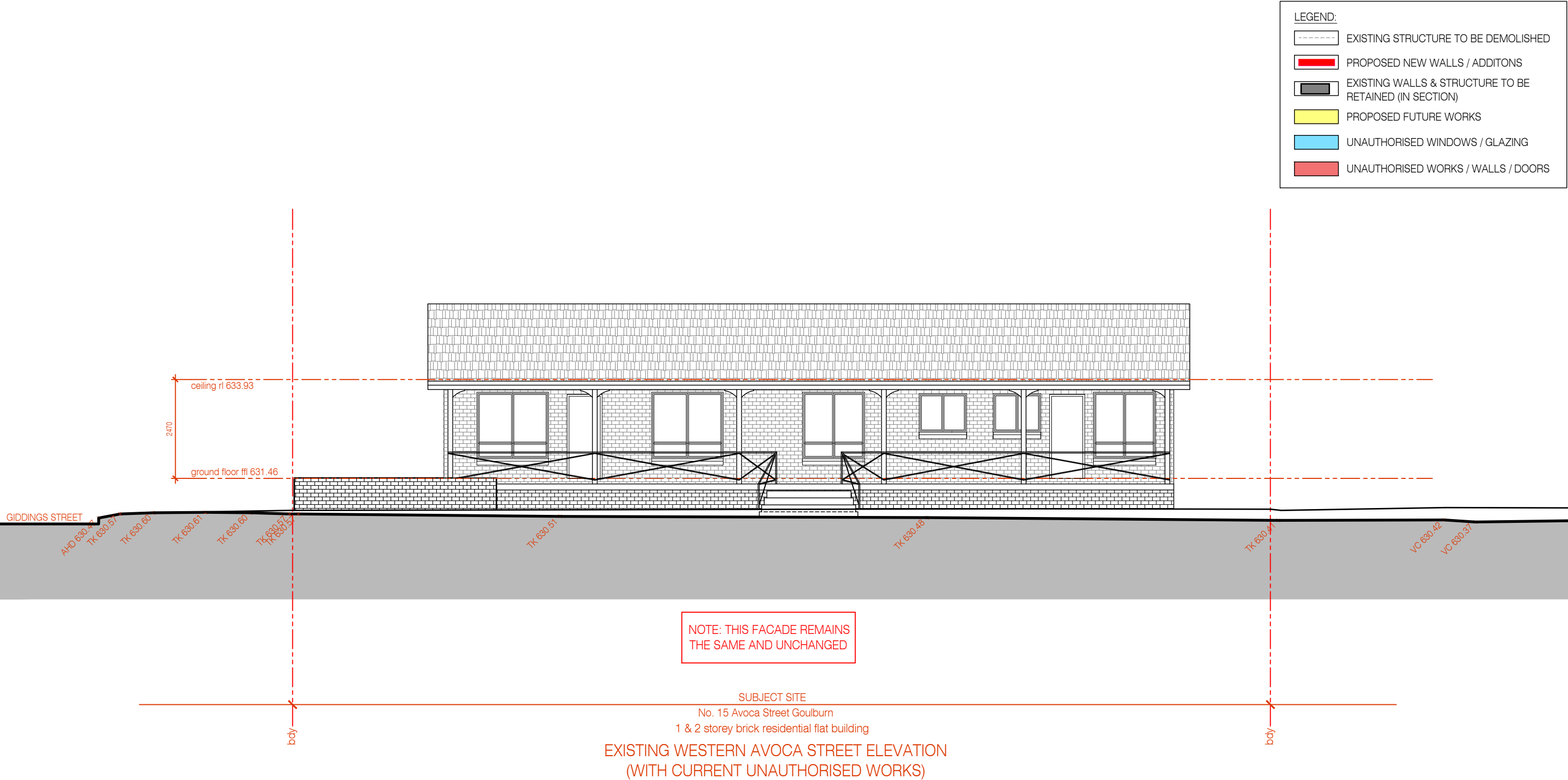
UNAUTHORISED WINDOWS / GLAZING

UNAUTHORISED WORKS / WALLS / DOORS



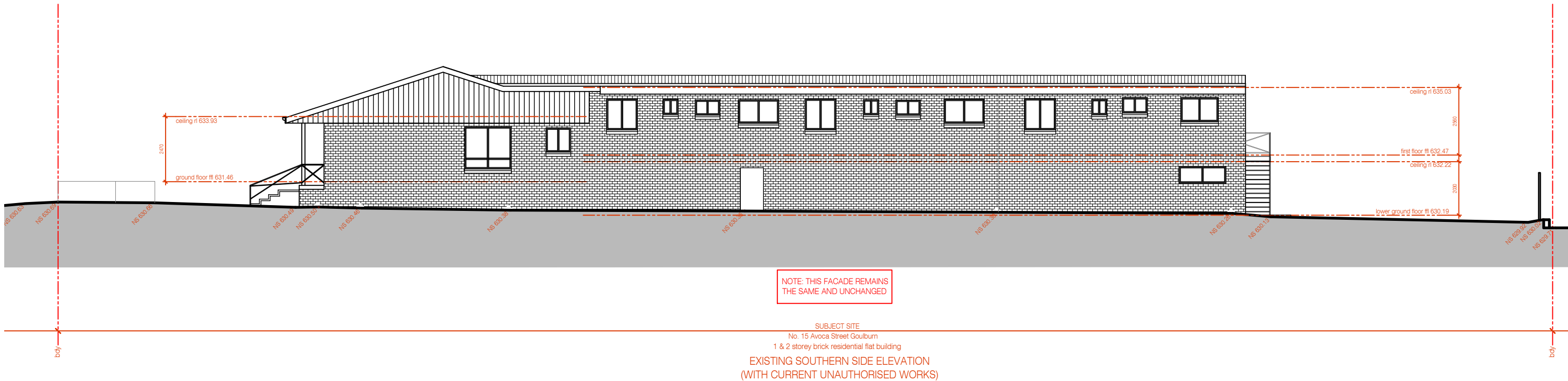
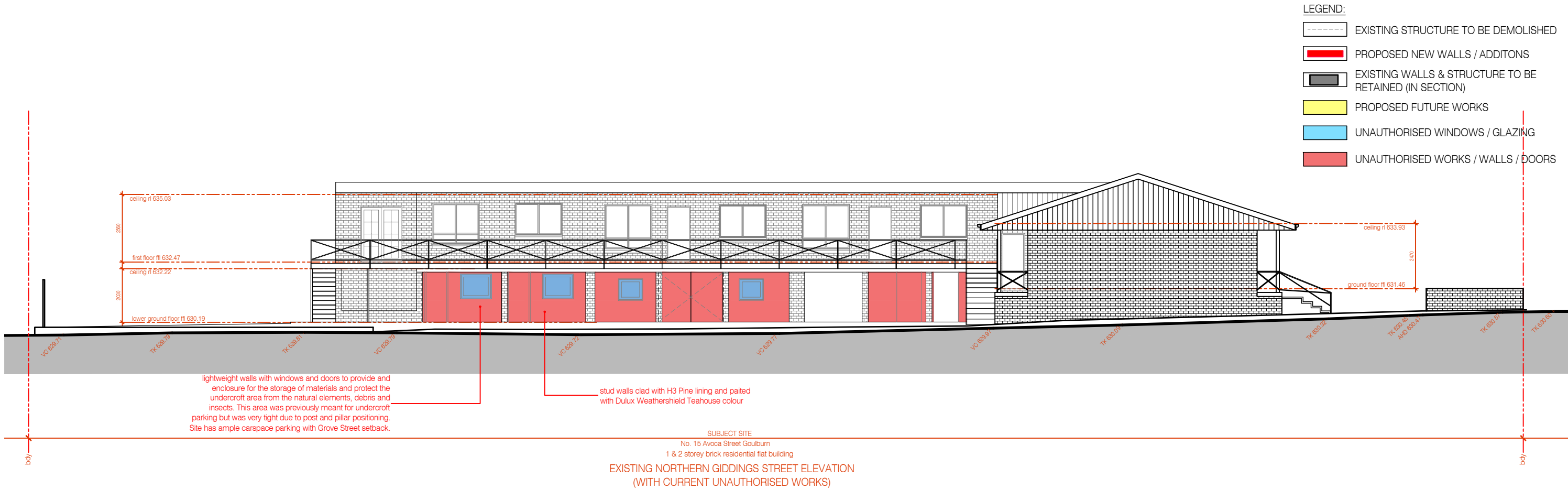
DA PLANS NOT FOR CONSTRUCTION			EXISTING CURRENT FIRST FLOOR PLAN (WITH CURRENT UNAUTHORISED WORKS)						
ISSUE:	AMENDMENTS:	DATE:	 <div>ARCHIPLAN Design Studio e. perry@archiplandesignstudio.com m. 0422 150 672</div>	CLIENT: GEORGE MINAS	PROJECT: APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	SCALE: 1:100 @ A3	 <div>DO NOT SCALE DRAWING</div>	ISSUE: D	
A	DA ISSUE	14.11.2020		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: EXISTING CURRENT FIRST FLOOR PLAN (WITH CURRENT UNAUTHORISED WORKS)	DRAWN: P.G		CHECKED: P.G	DA
B	REVISION ISSUE	07.05.2021							SHEET No:
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021							1.03
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021							





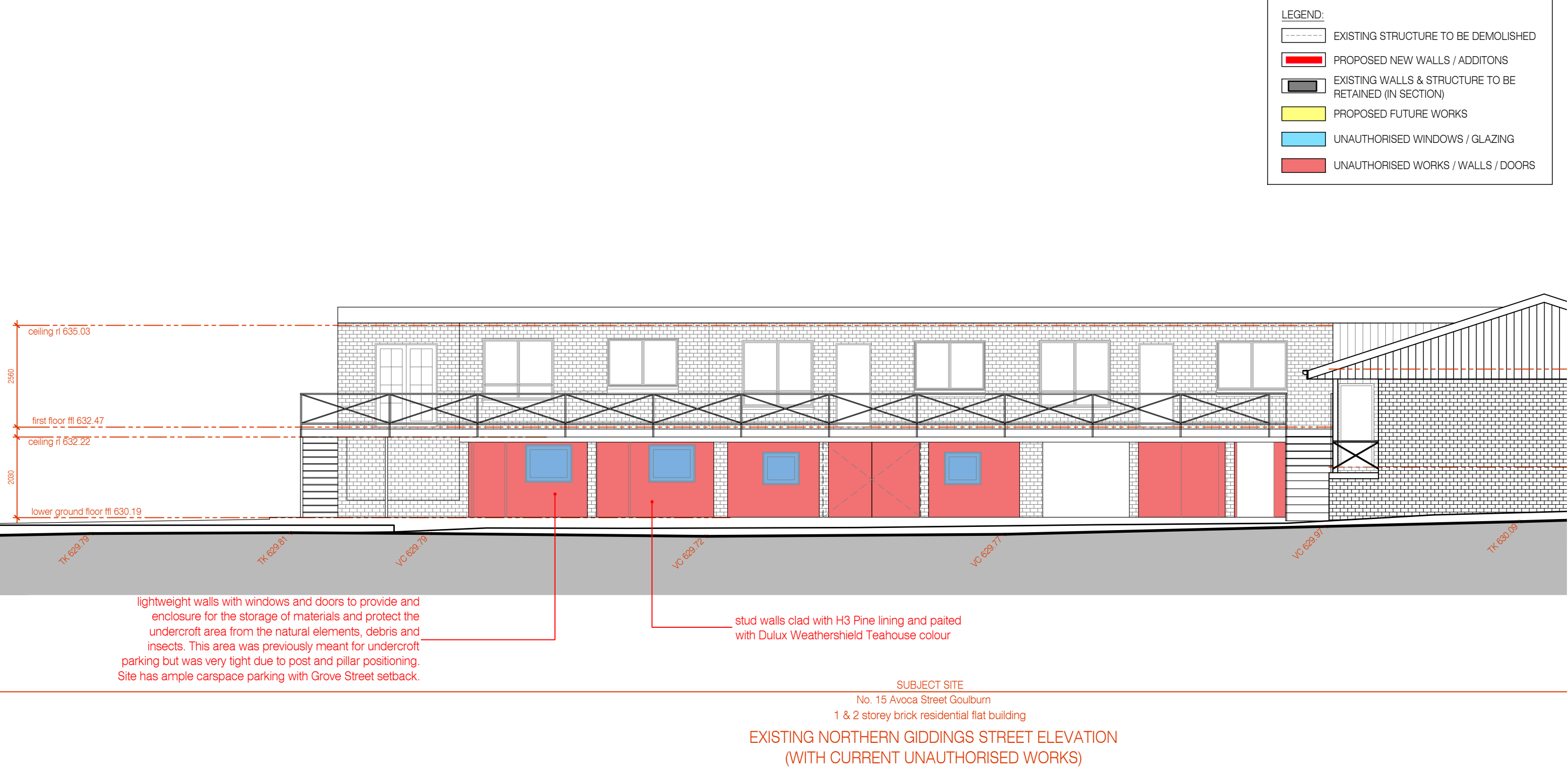
DA PLANS NOT FOR CONSTRUCTION				EXISTING CURRENT WESTERN AVOCA STREET ELEVATION (WITH CURRENT UNAUTHORISED WORKS)				
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN DESIGN STUDIO</div> <div>ARCHIPLAN Design Studio</div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:100 @ A3		D
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: EXISTING WESTERN AVOCA STREET ELEVATION (WITH CURRENT UNAUTHORISED WORKS)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						1.04





DA PLANS NOT FOR CONSTRUCTION				EXISTING CURRENT NORTHERN & SOUTHERN ELEVATIONS (WITH CURRENT UNAUTHORISED WORKS)				
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN DESIGN STUDIO</div> <div>ARCHIPLAN Design Studio e. perry@archiplandesignstudio.com m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:150 @ A3		D
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: EXISTING CURRENT NORTHERN & SOUTHERN ELEVATIONS (WITH CURRENT UNAUTHORISED WORKS)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
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DA PLANS  
NOT FOR CONSTRUCTION

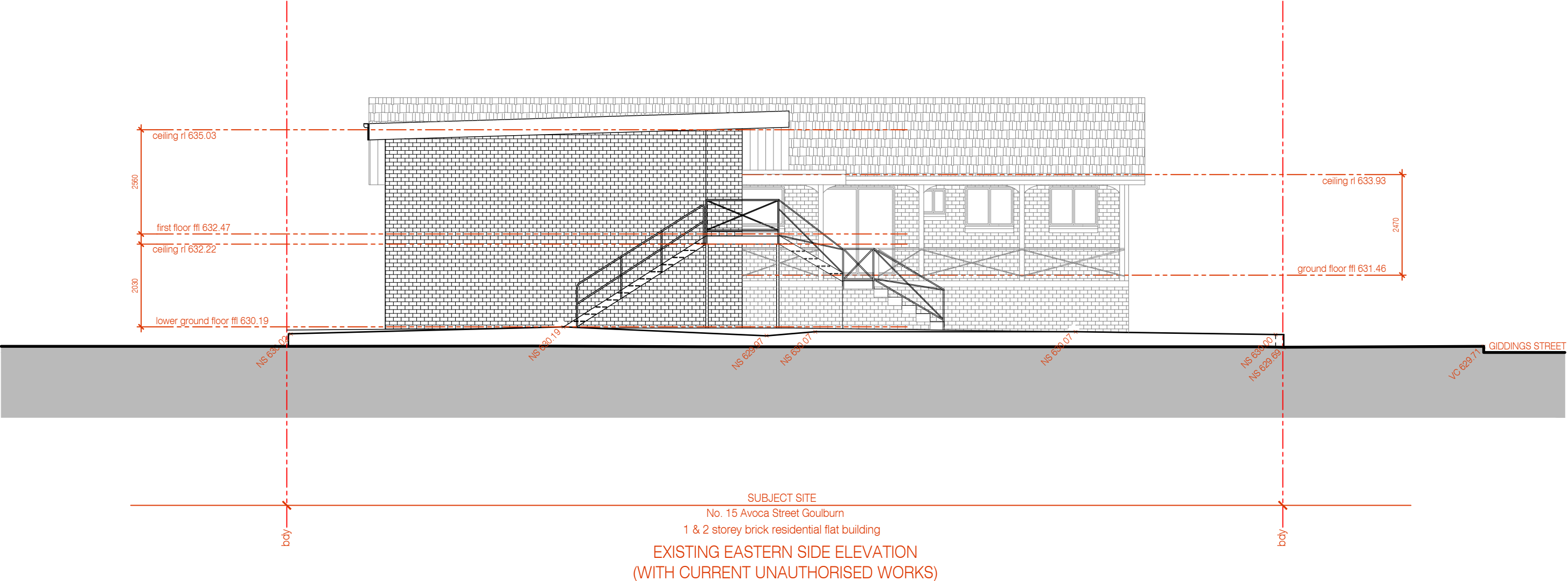
EXISTING CURRENT NORTHERN GIDDINGS STREET ELEVATION (WITH CURRENT UNAUTHORISED WORKS)

ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN DESIGN STUDIO</div> <div>ARCHIPLAN Design Studio</div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
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C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
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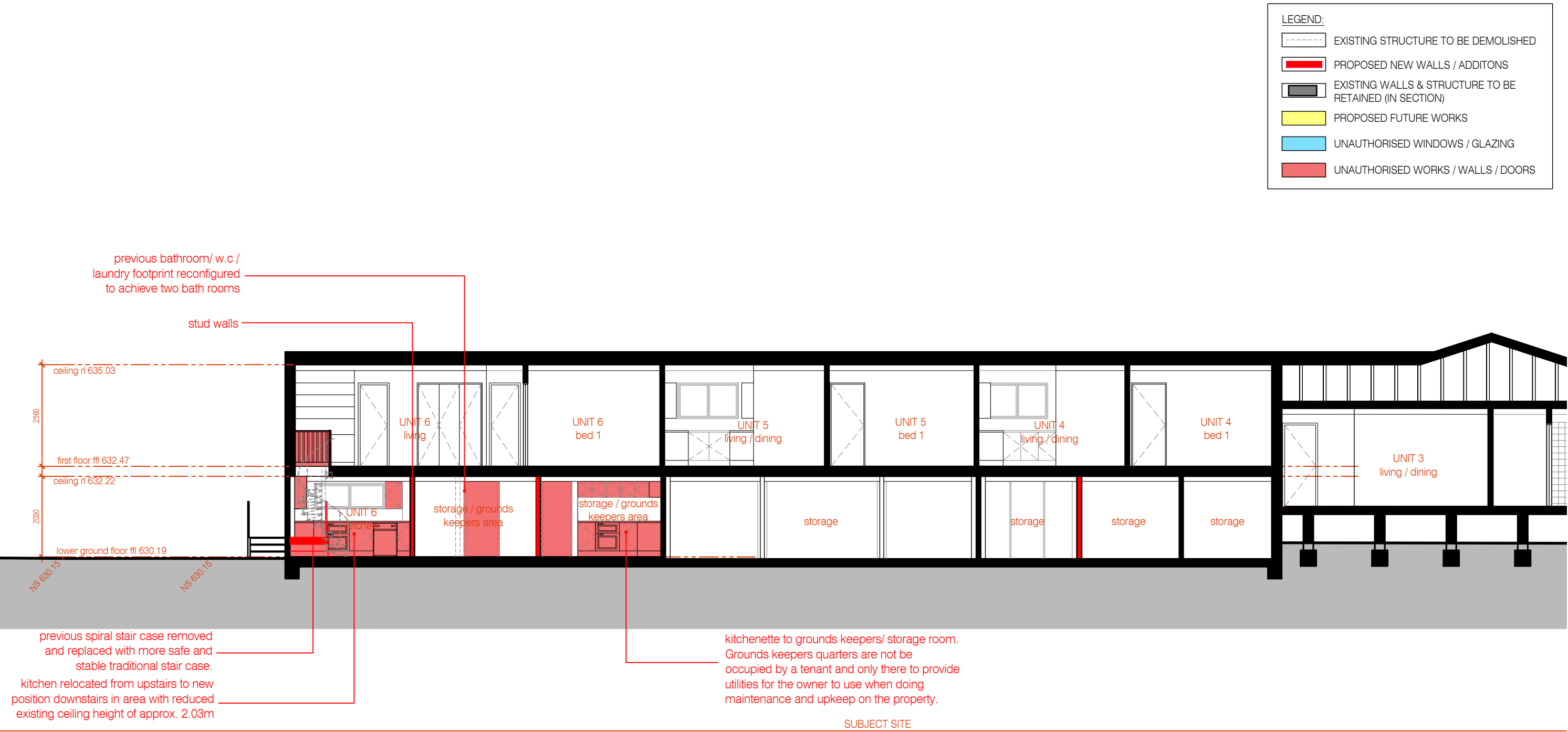
LEGEND:

EXISTING STRUCTURE TO BE DEMOLISHED

PROPOSED NEW WALLS / ADDITONS

DA PLANS NOT FOR CONSTRUCTION			EXISTING CURRENT EASTERN SIDE ELEVATION (WITH CURRENT UNAUTHORISED WORKS)					
ISSUE:	AMENDMENTS:	DATE:	<div><div>ARCHIPLAN DESIGN STUDIO</div><div>e. perry@archiplandesignstudio.com m. 0422 150 672</div></div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
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D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021		LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580		CHECKED:		1.07
						P.G		





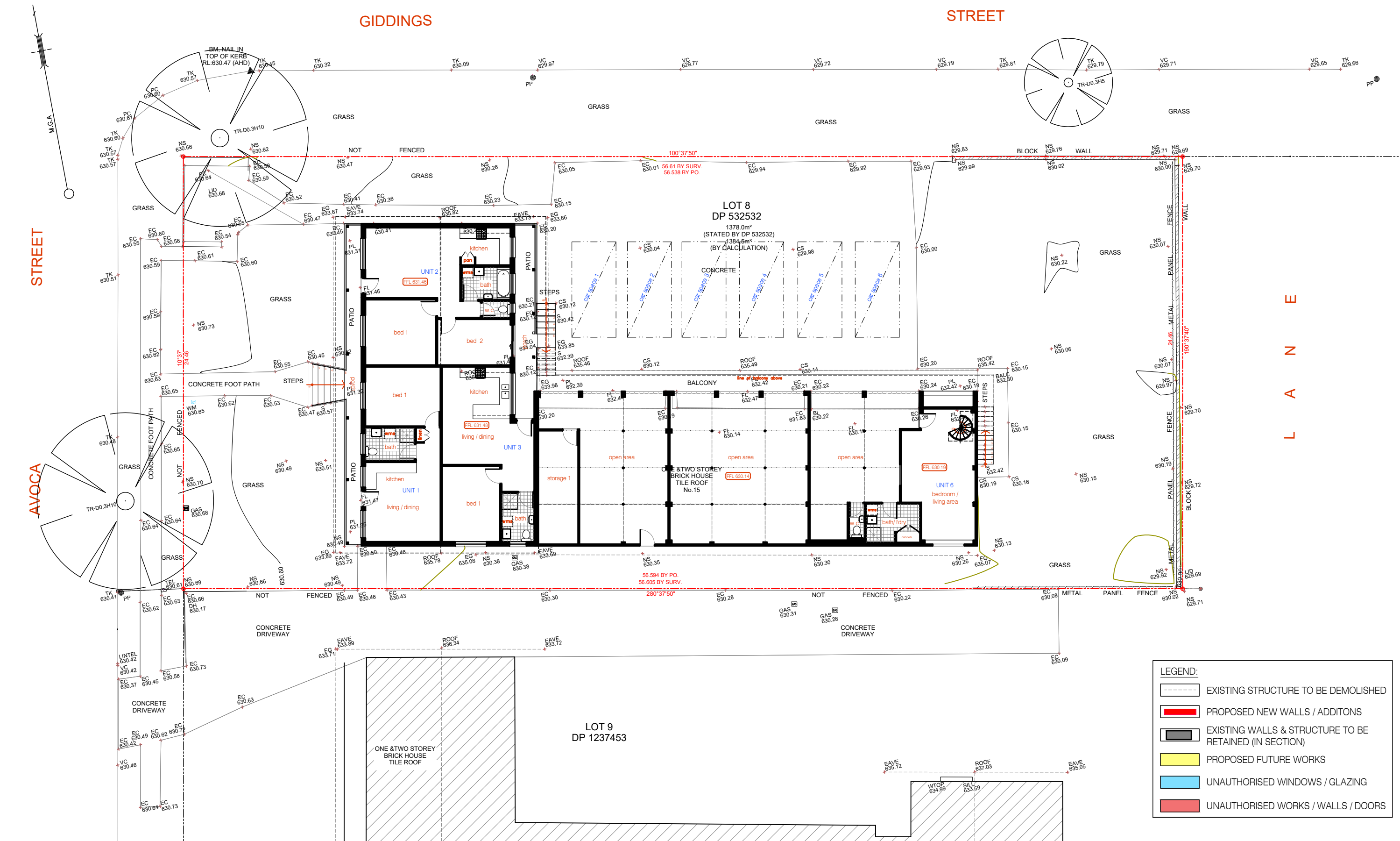
SUBJECT SITE  
No. 15 Avoca Street Goulburn  
1 & 2 storey brick residential flat building  
LONG SECTION A-A (WITH  
CURRENT UNAUTHORISED WORKS)

DA PLANS  
NOT FOR CONSTRUCTION

EXISTING CURRENT LONG SECTION A-A (WITH CURRENT UNAUTHORISED WORKS)

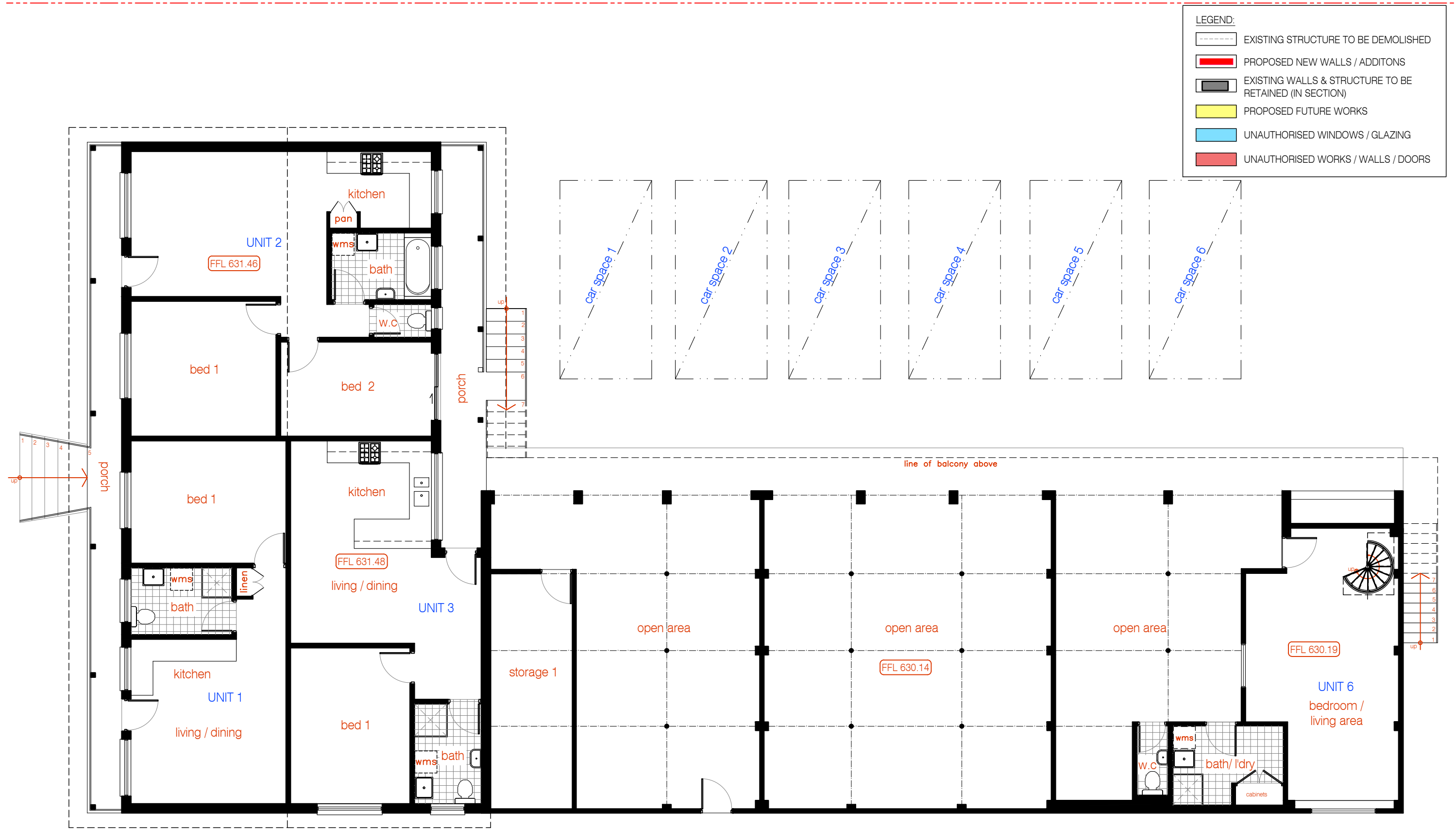
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B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: EXISTING CURRENT LONG SECTION A-A (WITH CURRENT UNAUTHORISED WORKS)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						1.08





DA PLANS NOT FOR CONSTRUCTION			GROUND & LOWER GROUND FLOOR PLAN ANALASYS PRIOR TO UNAUTHORISED WORKS				
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN Design Studio</div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	<div>DO NOT SCALE DRAWING</div>
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C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G	
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021					
							ISSUE: D DA SHEET No: 2.01





DA PLANS NOT FOR CONSTRUCTION			GROUND & LOWER GROUND FLOOR PLAN PRIOR TO UNAUTHORISED WORKS					
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C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No: 2.02
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						



LEGEND:

EXISTING STRUCTURE TO BE DEMOLISHED

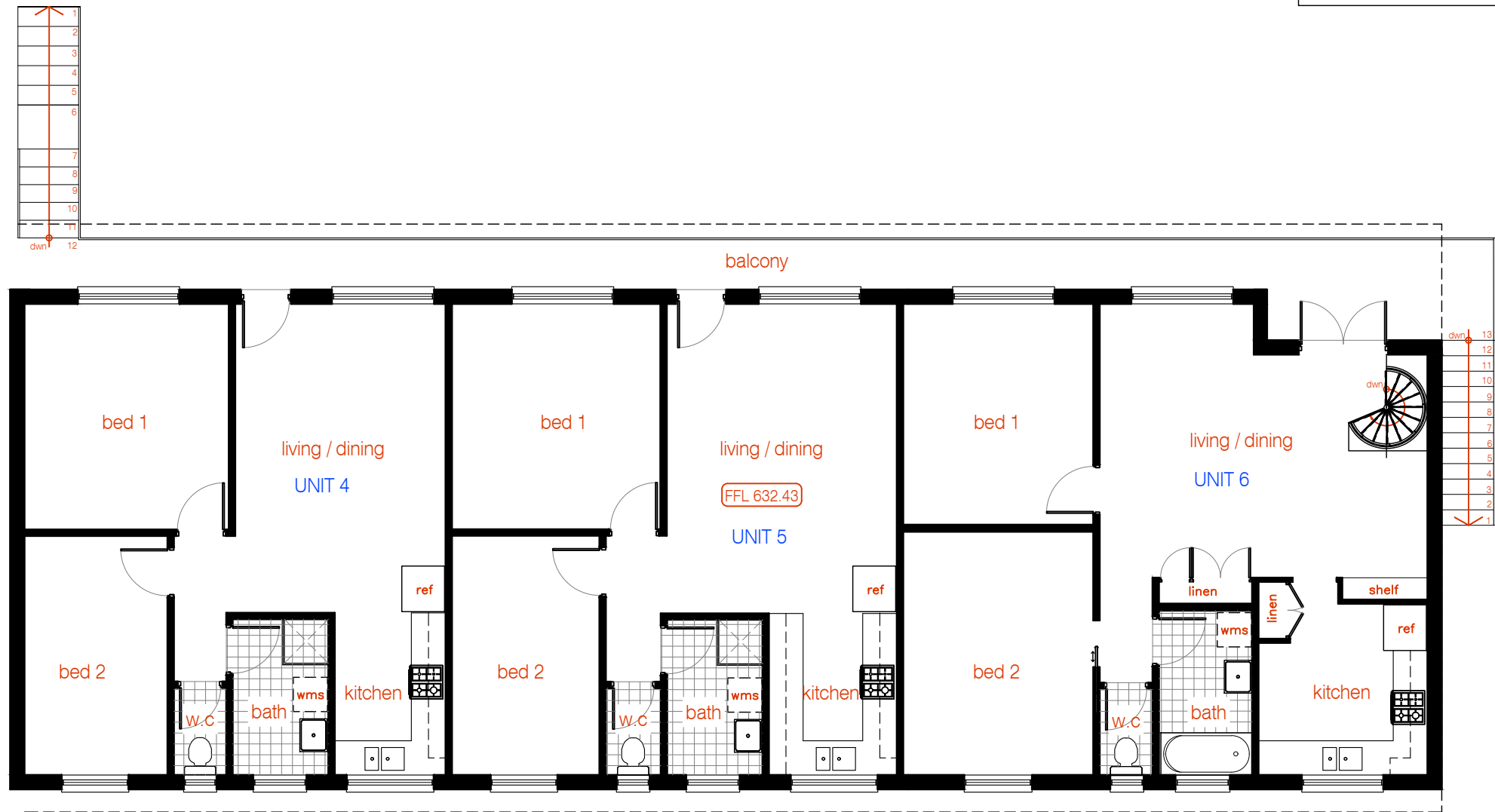
PROPOSED NEW WALLS / ADDITONS

EXISTING WALLS & STRUCTURE TO BE RETAINED (IN SECTION)

PROPOSED FUTURE WORKS

UNAUTHORISED WINDOWS / GLAZING

UNAUTHORISED WORKS / WALLS / DOORS

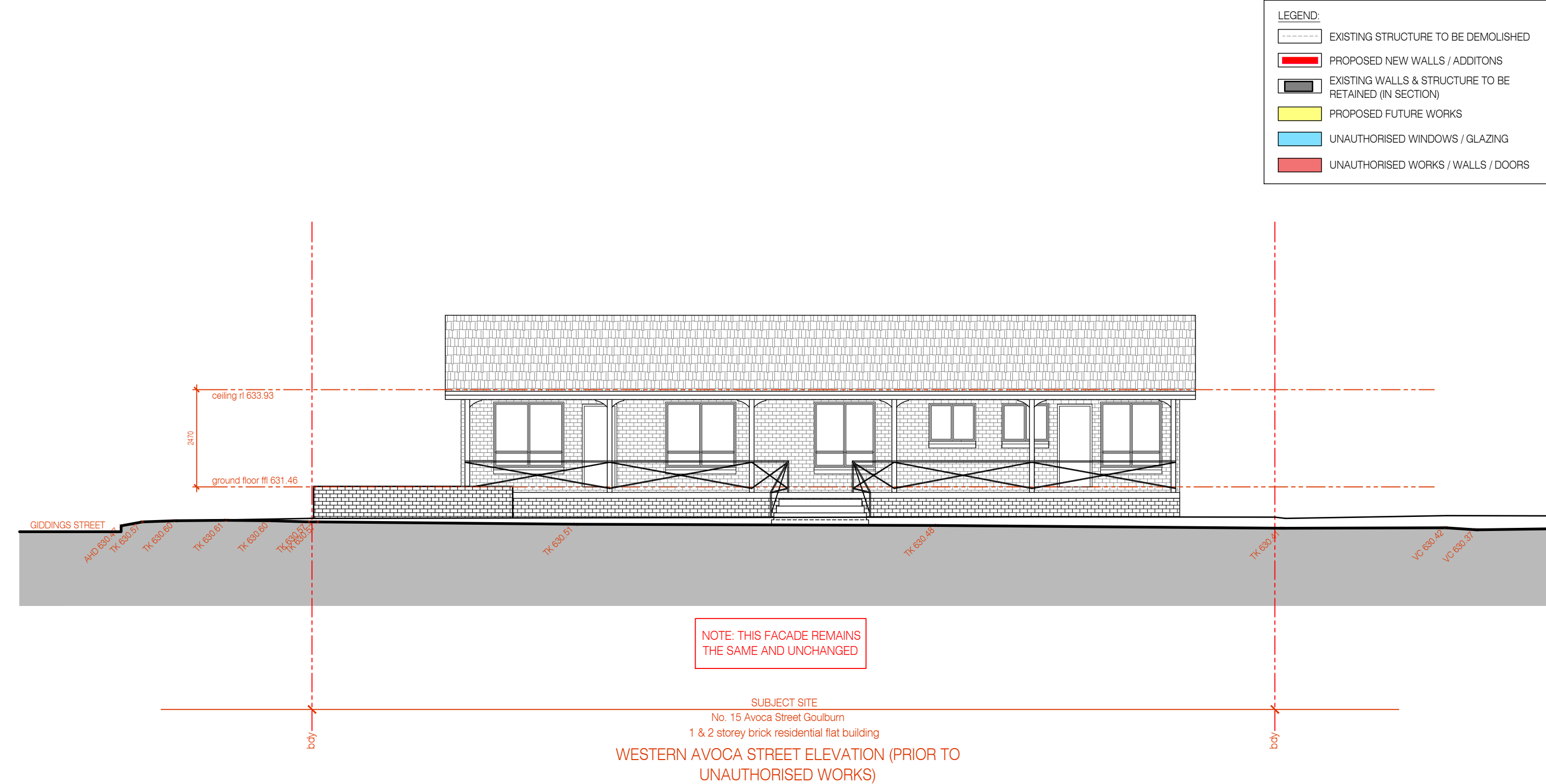


DA PLANS  
NOT FOR CONSTRUCTION

FIRST FLOOR PLAN PRIOR TO UNAUTHORISED WORKS

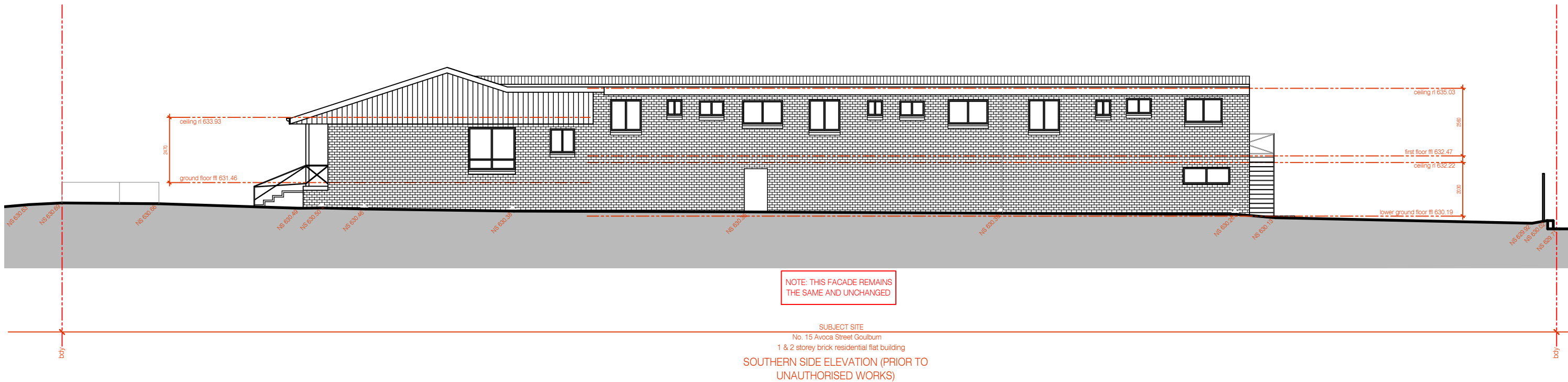
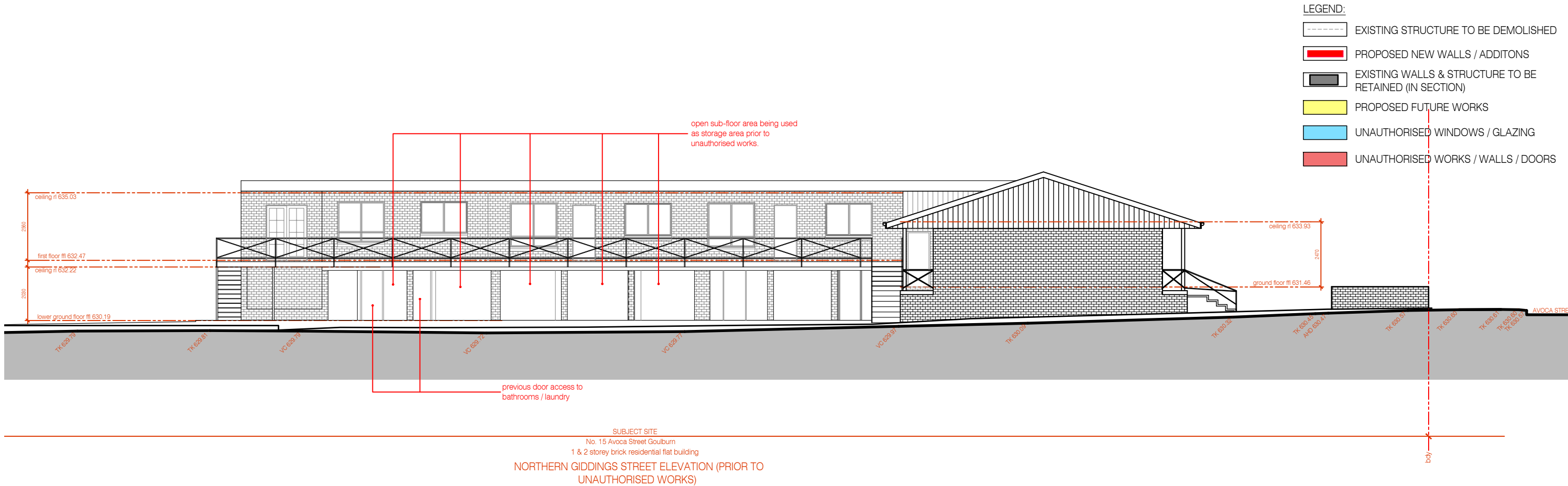
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN DESIGN STUDIO</div> <div>ARCHIPLAN Design Studio e. perry@archiplandesignstudio.com m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	<div></div> <div>DO NOT SCALE DRAWING</div>	ISSUE:
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:100 @ A3		D
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: FIRST FLOOR PLAN PRIOR TO UNAUTHORISED WORKS (AS PURCHASED BY OWNER)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						2.03





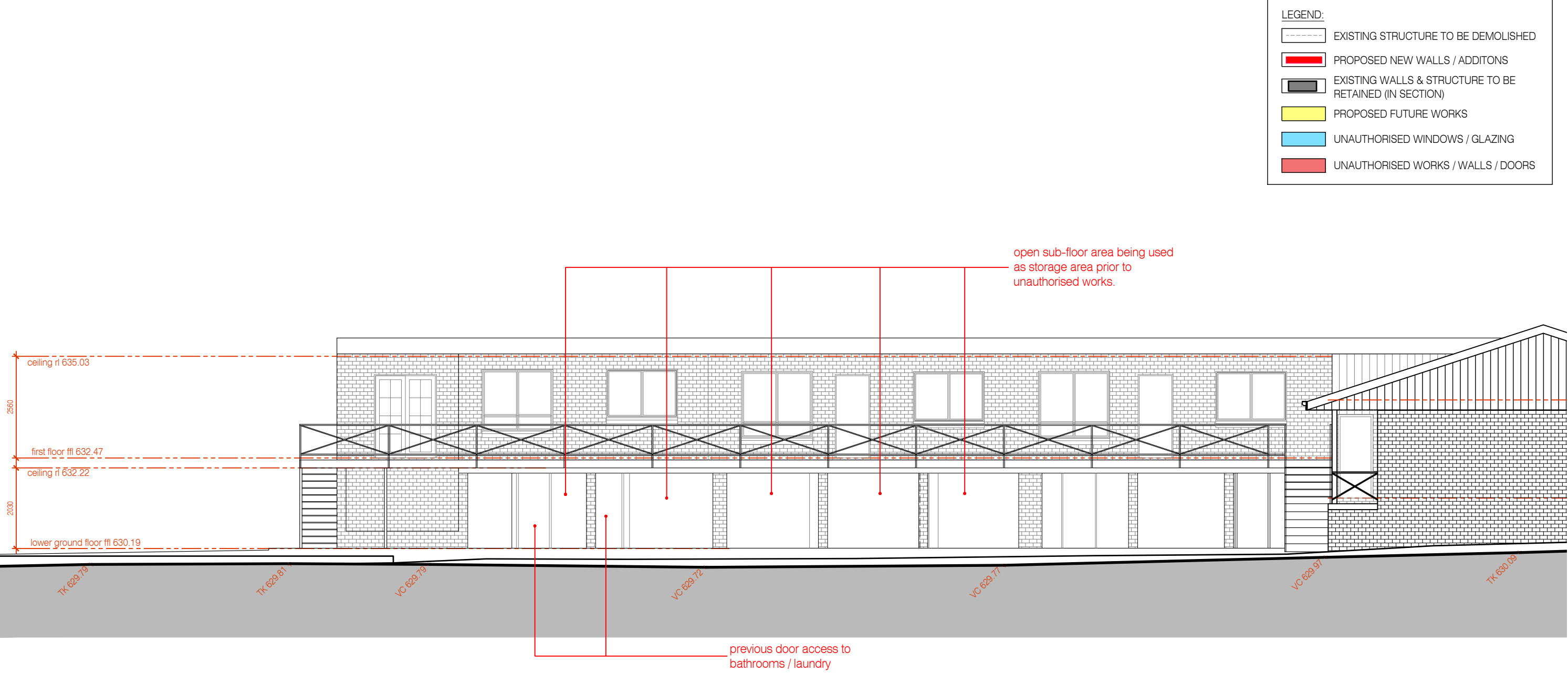
DA PLANS NOT FOR CONSTRUCTION			WESTERN AVOCA STREET ELEVATION PRIOR TO UNAUTHORISED WORKS					
ISSUE:	AMENDMENTS:	DATE:	<div><div>ARCHIPLAN</div><div>DESIGN STUDIO</div></div> <div>ARCHIPLAN Design Studio</div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:100 @ A3		D
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: WESTERN AVOCA STREET ELEVATION PRIOR TO UNAUTHORISED WORKS (AS PURCHASED BY OWNER)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						2.04





DA PLANS NOT FOR CONSTRUCTION				NORTHERN & SOUTHERN ELEVATIONS PRIOR TO UNAUTHORISED WORKS				
ISSUE:	AMENDMENTS:	DATE:	 <div>ARCHIPLAN Design Studio e. perry@archiplandesignstudio.com m. 0422 150 672</div>	CLIENT: GEORGE MINAS	PROJECT: APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	SCALE: 1:150 @ A3	DO NOT SCALE DRAWING	ISSUE: D
A	DA ISSUE	14.11.2020		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: NORTHERN & SOUTHERN ELEVATIONS PRIOR TO UNAUTHORISED WORKS (AS PURCHASED BY OWNER)	DRAWN: P.G		DA
B	REVISION ISSUE	07.05.2021				CHECKED: P.G		SHEET No:
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021						2.05
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						





SUBJECT SITE  
No. 15 Avoca Street Goulburn  
1 & 2 storey brick residential flat building  
NORTHERN GIDDINGS STREET ELEVATION (PRIOR TO UNAUTHORISED WORKS)

DA PLANS  
NOT FOR CONSTRUCTION

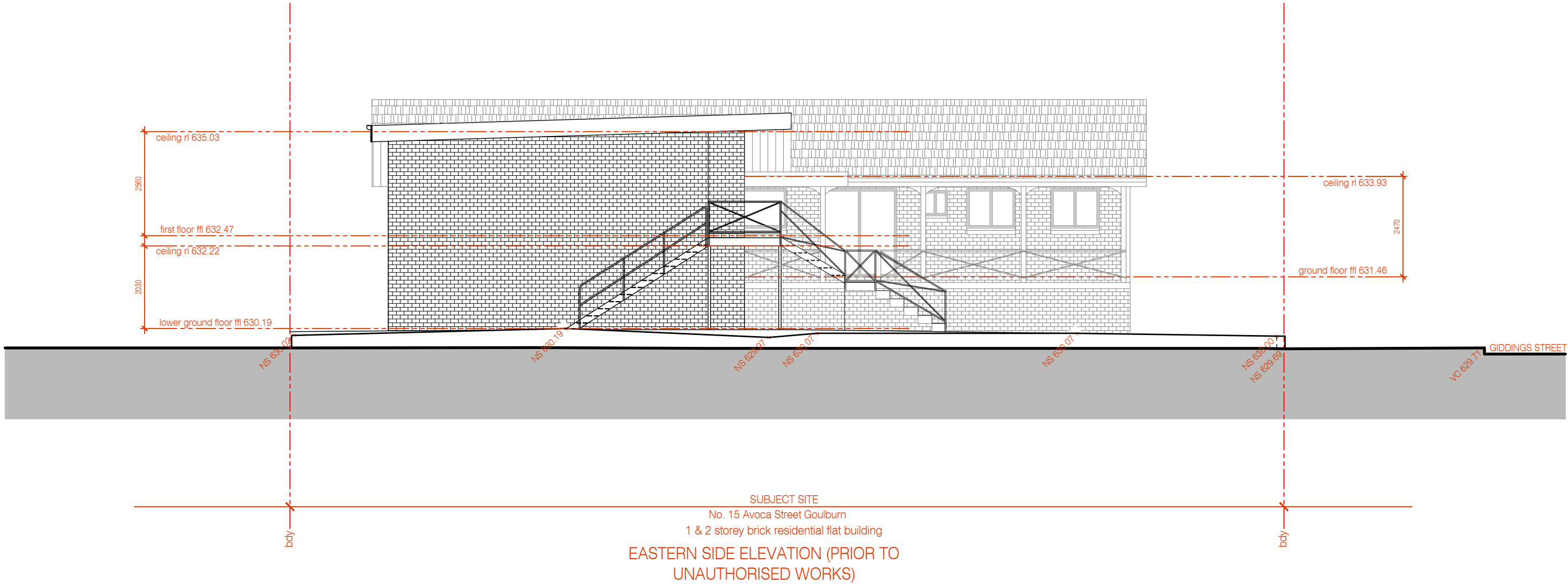
NORTHERN GIDDINGS STREET ELEVATION PRIOR TO UNAUTHORISED WORKS

ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN DESIGN STUDIO</div> <div>ARCHIPLAN Design Studio e. perry@archiplandesignstudio.com m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:100 @ A3		D
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: NORTHERN GIDDINGS STREET ELEVATION PRIOR TO UNAUTHORISED WORKS (AS PURCHASED BY OWNER)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						2.06



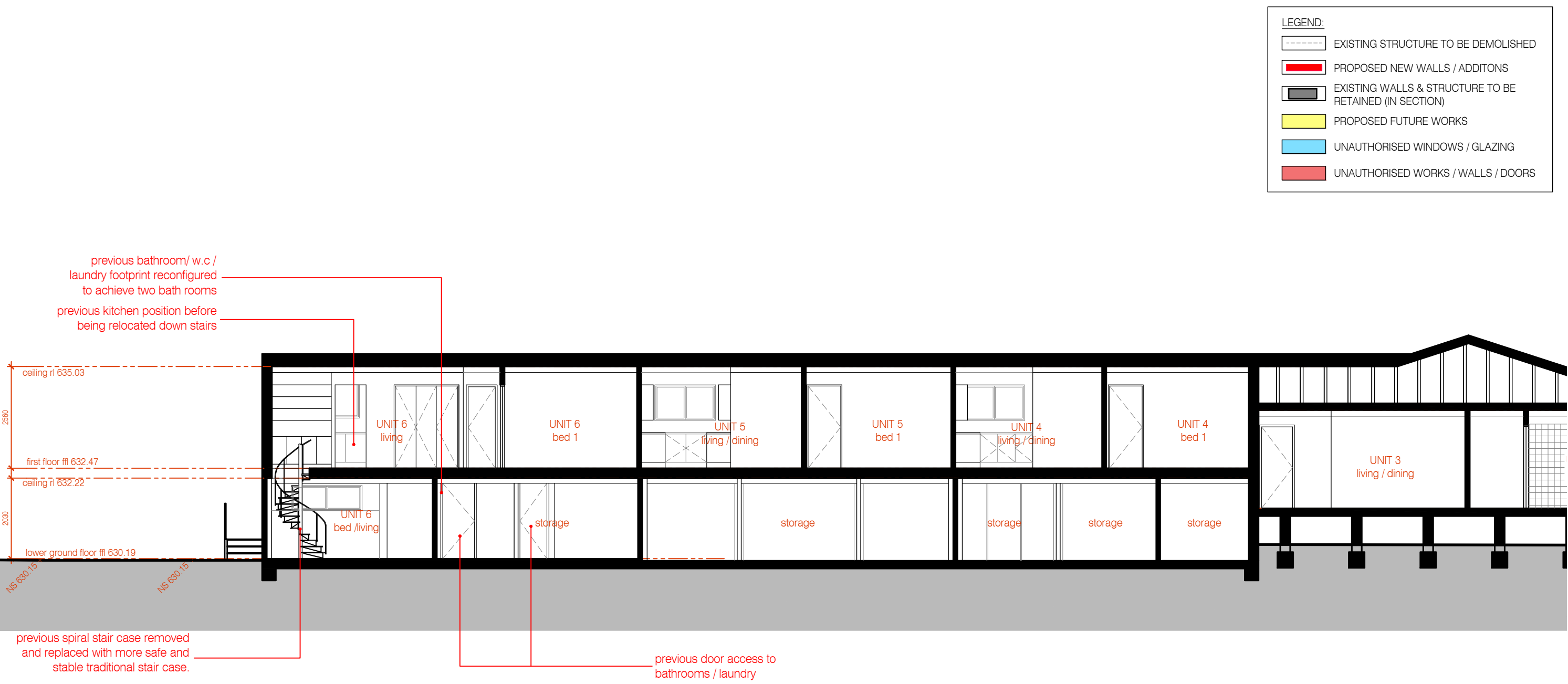
LEGEND:

EXISTING STRUCTURE TO BE DEMOLISHED

PROPOSED NEW WALLS / ADDITONS

DA PLANS NOT FOR CONSTRUCTION				EASTERN SIDE ELEVATION PRIOR TO UNAUTHORISED				
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN DESIGN STUDIO</div> <div>ARCHIPLAN Design Studio</div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:100 @ A3		D
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: EASTERN SIDE ELEVATION PRIOR TO UNAUTHORISED WORKS (AS PURCHASED BY OWNER)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						2.07






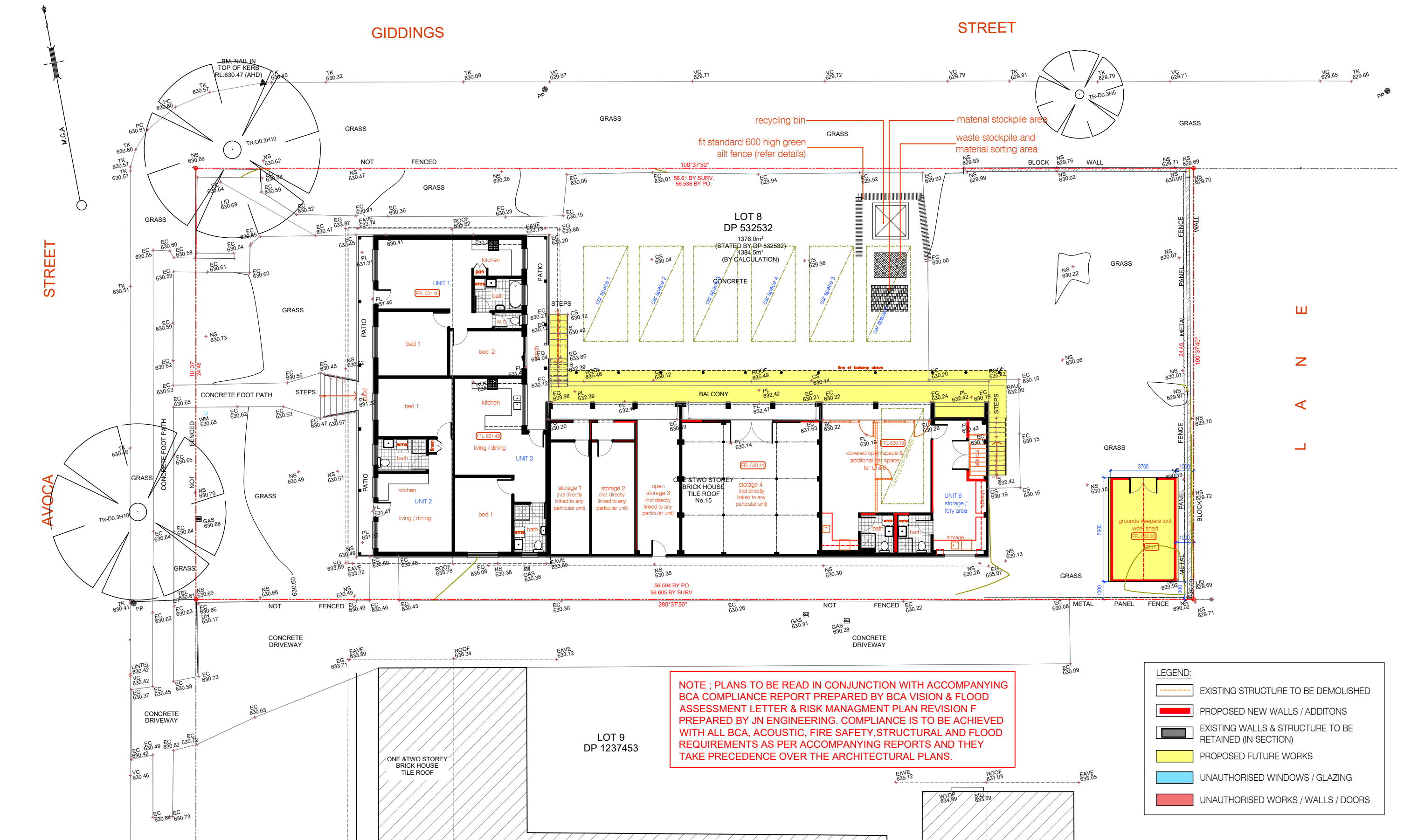
SUBJECT SITE  
No. 15 Avoca Street Goulburn  
1 & 2 storey brick residential flat building  
LONG SECTION A-A (PRIOR TO  
UNAUTHORISED WORKS)

DA PLANS  
NOT FOR CONSTRUCTION

LONG SECTION A-A PRIOR TO UNAUTHORISED WORKS

ISSUE:	AMENDMENTS:	DATE:	 <div>ARCHIPLAN Design Studio e. perry@archiplandesignstudio.com m. 0422 150 672</div>	CLIENT: GEORGE MINAS	PROJECT: APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	SCALE: 1:100 @ A3	DO NOT SCALE DRAWING	ISSUE: D
A	DA ISSUE	14.11.2020		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: LONG SECTION A-A PRIOR TO UNAUTHORISED WORKS (AS PURCHASED BY OWNER)	DRAWN: P.G		DA
B	REVISION ISSUE	07.05.2021				CHECKED: P.G		SHEET No:
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021						2.08
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						





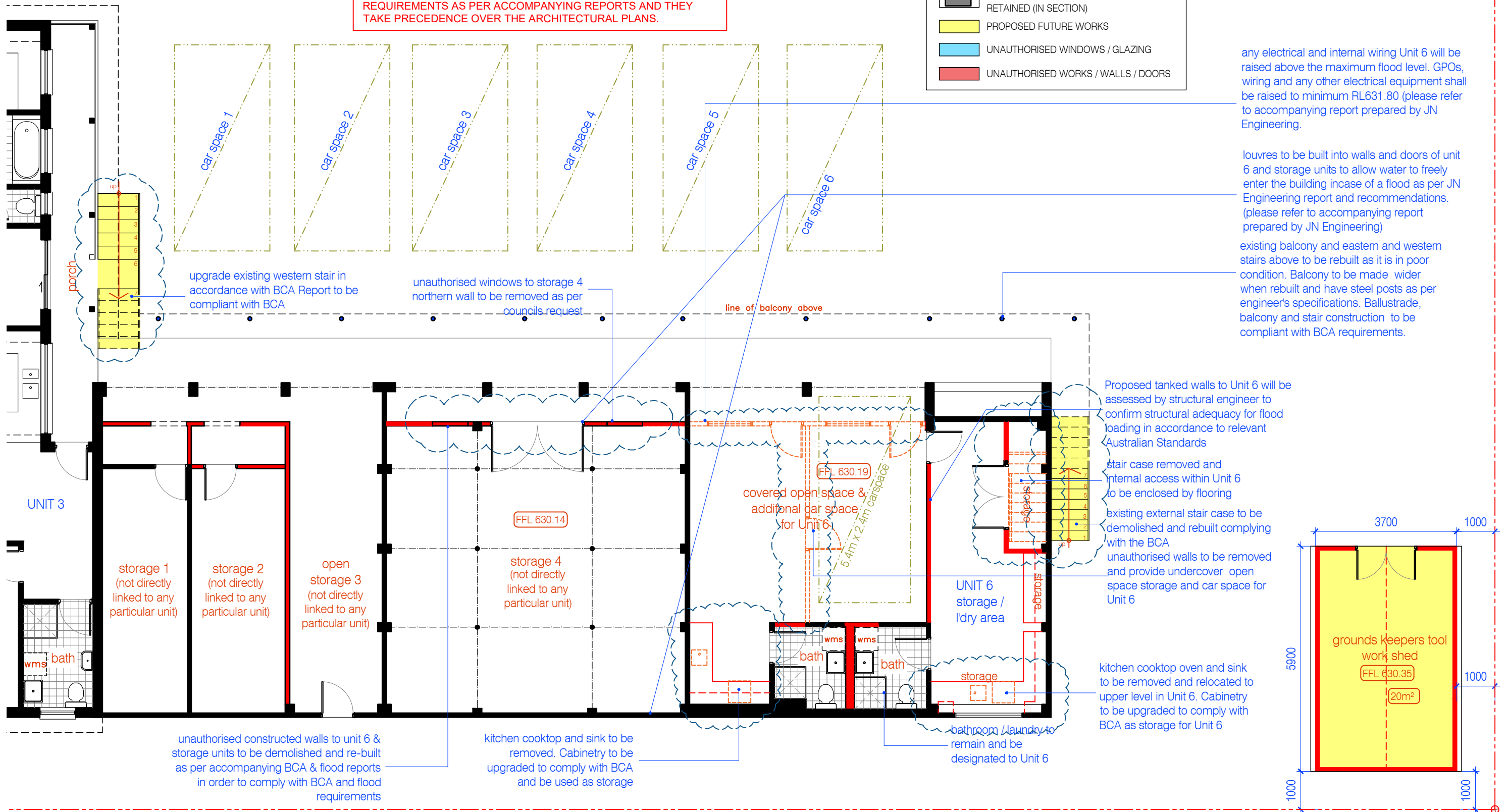
DA PLANS NOT FOR CONSTRUCTION				PROPOSED GROUND & LOWER GROUND FLOOR PLAN ANALASYS & CONSTRUCTION MANAGEMENT PLAN (POST SEC 34 CONFERENCE)			
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN DESIGN STUDIO</div> <div>e. perry@archiplandesignstudio.com m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	<div>DO NOT SCALE DRAWING</div>
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:200 @ A3	
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: PROPOSED GROUND & LOWER GROUND FLOOR PLAN ANALASYS & CONSTRUCTION MANAGEMENT PLAN (POST SEC 34 CONFERENCE)	DRAWN: P.G	
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G	
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021					
						ISSUE: D DA SHEET No: 4.01	



NOTE ; PLANS TO BE READ IN CONJUNCTION WITH ACCOMPANYING BCA COMPLIANCE REPORT PREPARED BY BCA VISION & FLOOD ASSESSMENT LETTER & RISK MANAGMENT PLAN REVISION F PREPARED BY JN ENGINEERING. COMPLIANCE IS TO BE ACHIEVED WITH ALL BCA, ACOUSTIC, FIRE SAFETY,STRUCTURAL AND FLOOD REQUIREMENTS AS PER ACCOMPANYING REPORTS AND THEY TAKE PRECEDENCE OVER THE ARCHITECTURAL PLANS.

LEGEND:

EXISTING STRUCTURE TO BE DEMOLISHED

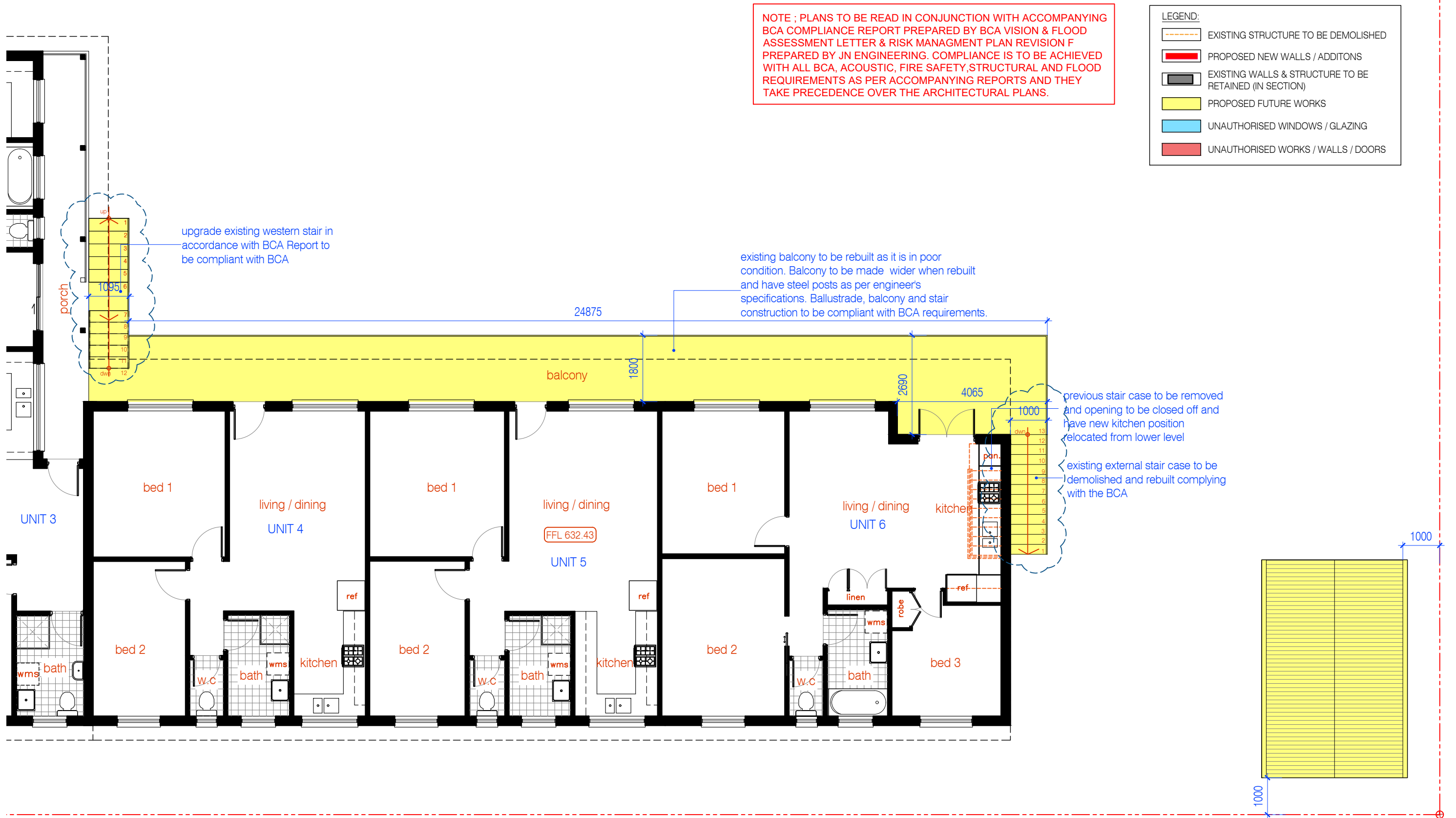
PROPOSED NEW WALLS / ADDITONS

DA PLANS  
NOT FOR CONSTRUCTION

PROPOSED GROUND & LOWER GROUND FLOOR PLAN (POST SEC 34 CONFERENCE)

ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN Design Studio</div> <div><div>ARCHIPLAN</div><div>DESIGN STUDIO</div></div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	<div></div> <div>DO NOT SCALE DRAWING</div>	ISSUE:
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:100 @ A3		D
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: PROPOSED GROUND & LOWER GROUND FLOOR PLAN (POST SEC 34 CONFERENCE)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						4.02





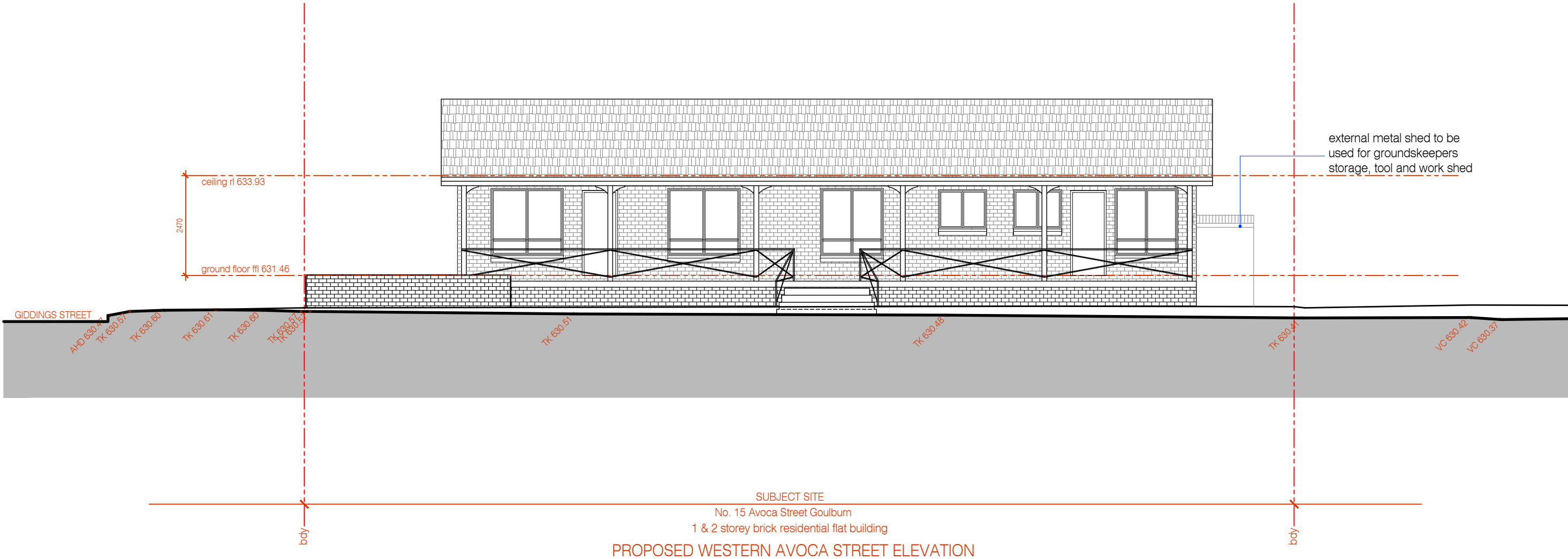
DA PLANS NOT FOR CONSTRUCTION			PROPOSED FIRST FLOOR PLAN (POST SEC 34 CONFERENCE)				
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN Design Studio</div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	<div>DO NOT SCALE DRAWING</div>
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:100 @ A3	
B	REVISION ISSUE	07.05.2021		ADDRESS:	DRAWING:	DRAWN:	
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				P.G	
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021		LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	PROPOSED FIRST FLOOR PLAN (POST SEC 34 CONFERENCE)	CHECKED:	ISSUE:
						P.G	D
							DA
							SHEET No:
							4.03



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LEGEND:

EXISTING STRUCTURE TO BE DEMOLISHED

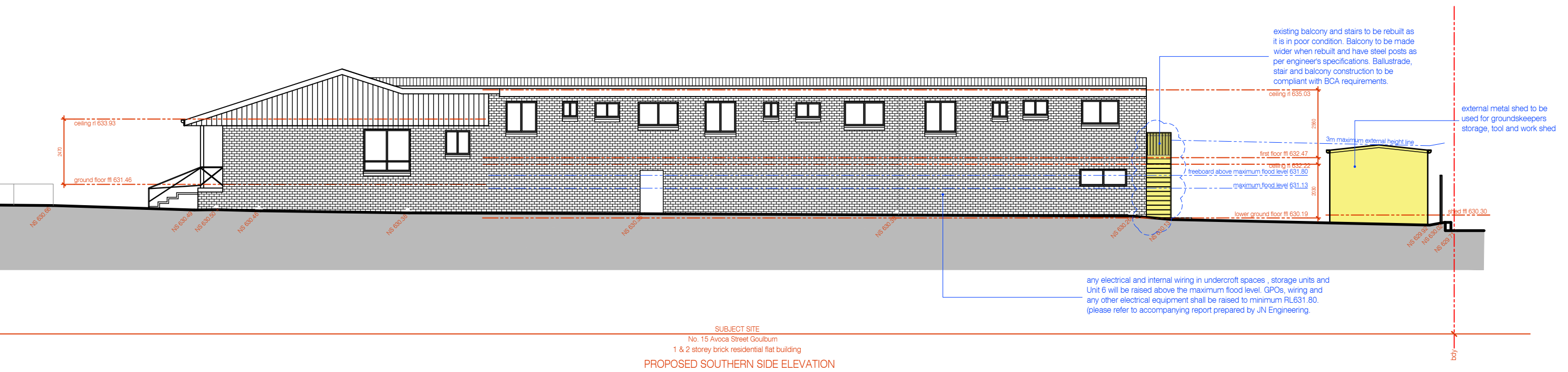
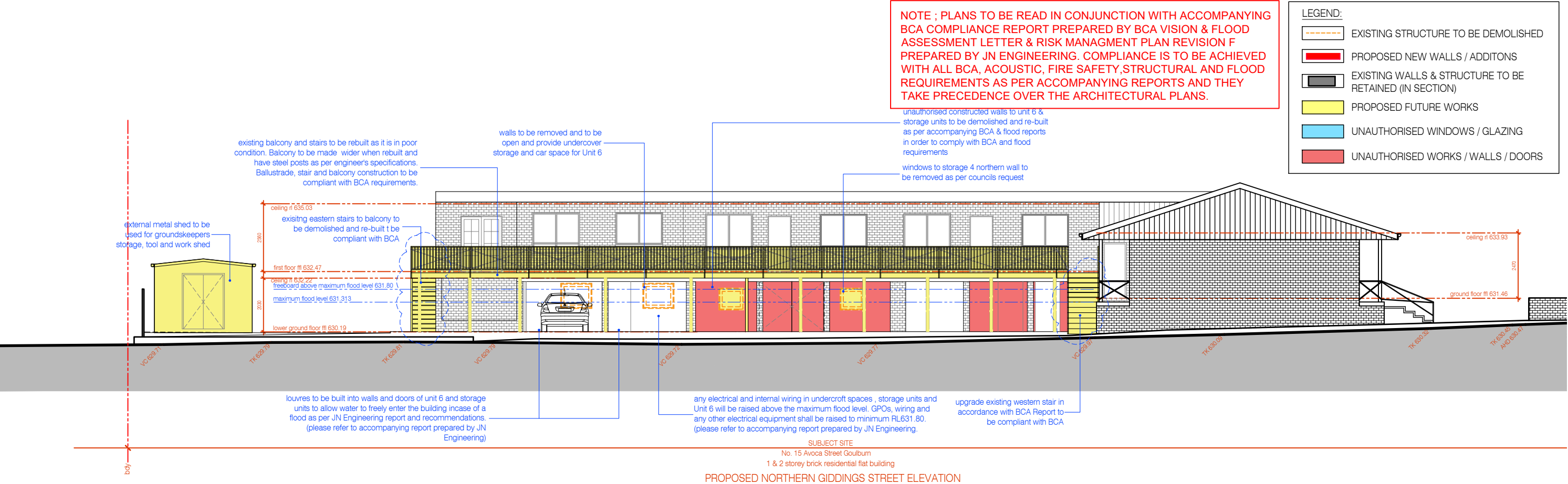
PROPOSED NEW WALLS / ADDITONS

DA PLANS  
NOT FOR CONSTRUCTION

PROPOSED WESTERN AVOCA STREET ELEVATION (POST SEC 34 CONFERENCE)

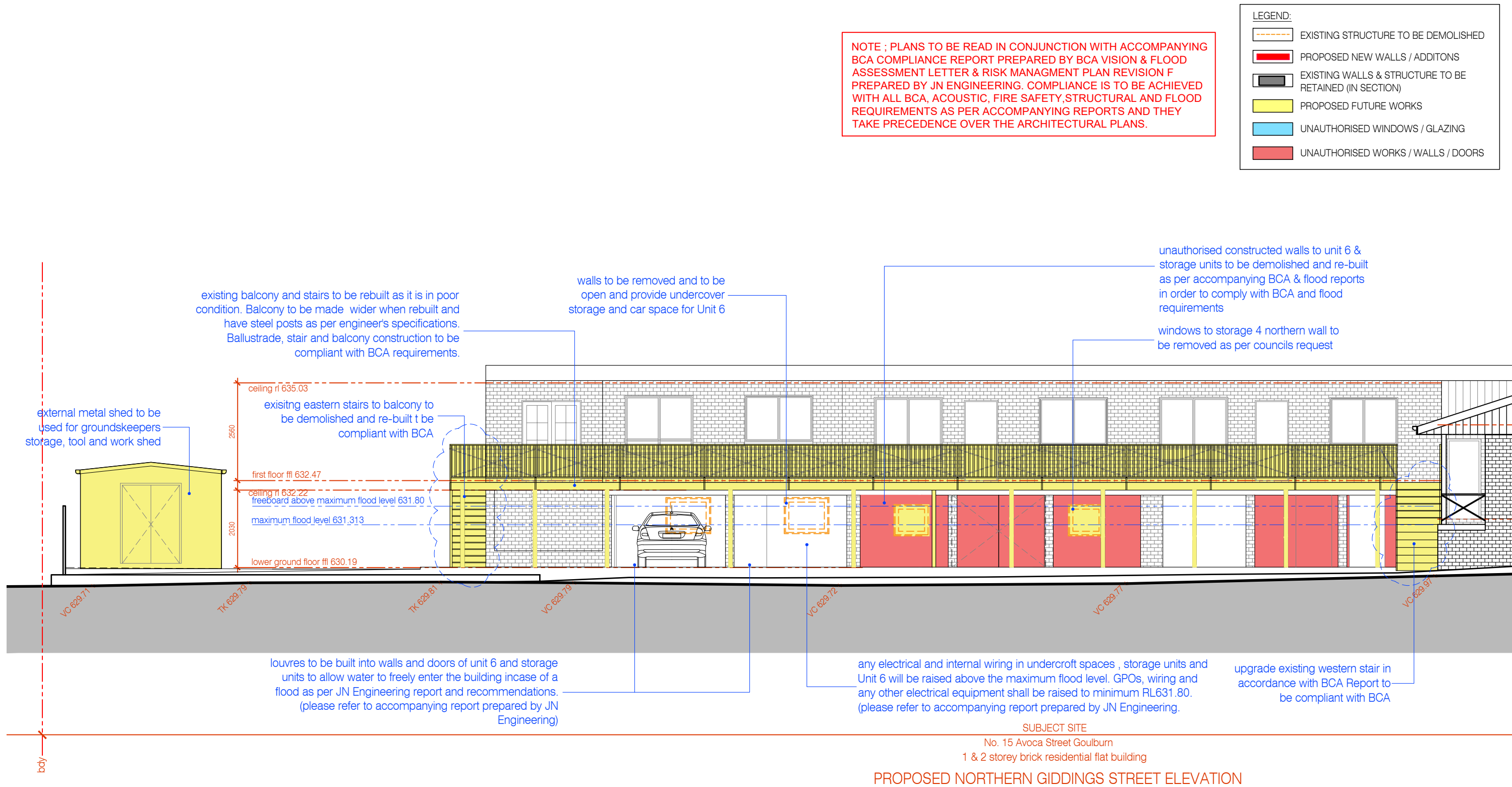
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN DESIGN STUDIO</div> <div>ARCHIPLAN Design Studio</div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:100 @ A3		D
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: PROPOSED WESTERN AVOCA STREET ELEVATION (POST SEC 34 CONFERENCE)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						4.04





DA PLANS NOT FOR CONSTRUCTION				PROPOSED NORTHERN & SOUTHERN ELEVATIONS (POST SEC 34 CONFERENCE)				
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN Design Studio</div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
A	DA ISSUE	14.11.2020		GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:150 @ A3		D
B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: PROPOSED NORTHERN & SOUTHERN ELEVATIONS (POST SEC 34 CONFERENCE)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						4.05





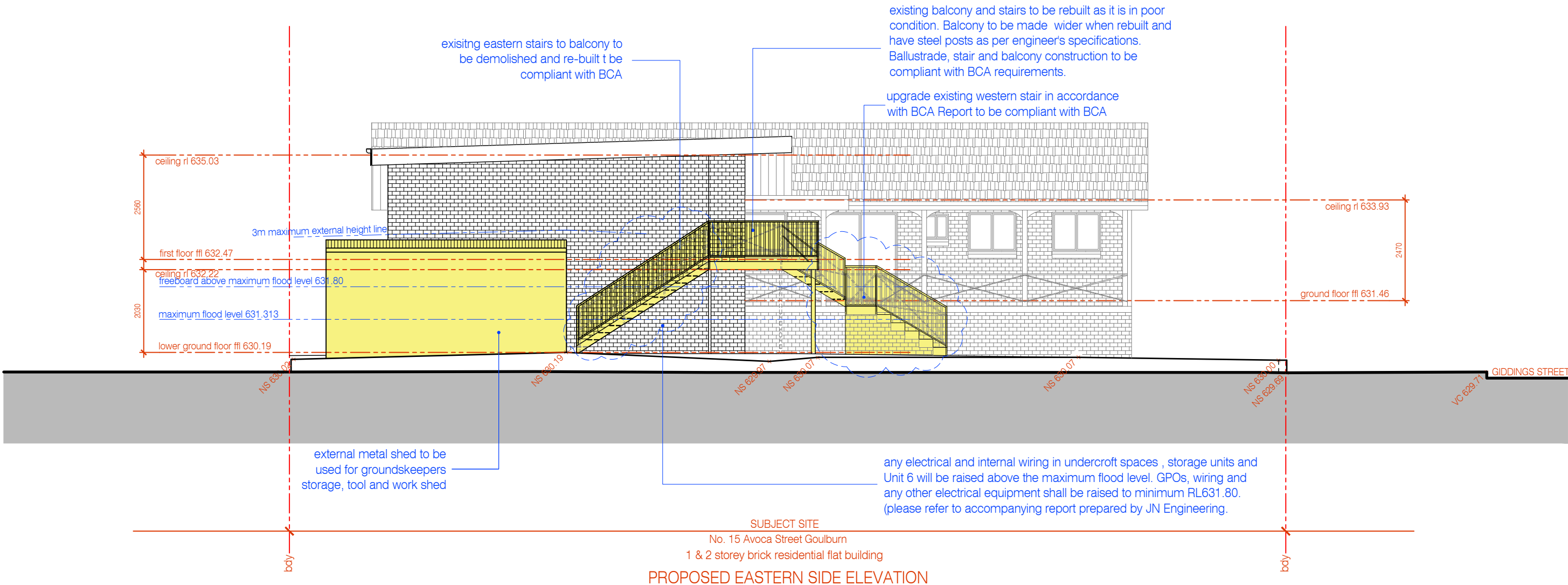
DA PLANS NOT FOR CONSTRUCTION			PROPOSED NORTHERN GIDDINGS STREET ELEVATION (POST SEC 34 CONFERENCE)					
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN Design Studio</div> <div>e. perry@archiplandesignstudio.com</div> <div>m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
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B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: PROPOSED NORTHERN GIDDINGS STREET ELEVATION (POST SEC 34 CONFERENCE)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						4.06



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LEGEND:

EXISTING STRUCTURE TO BE DEMOLISHED

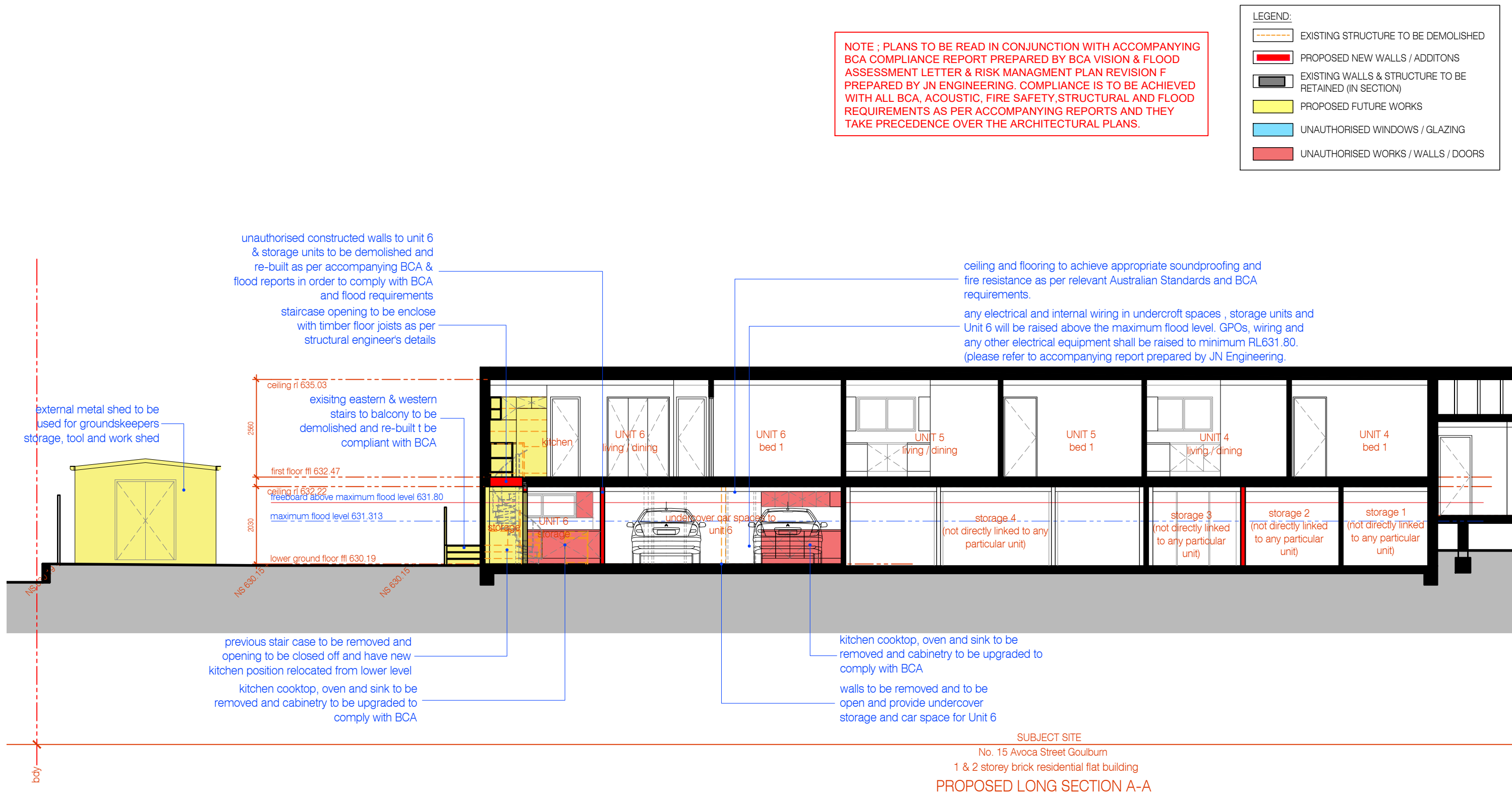
PROPOSED NEW WALLS / ADDITONS

DA PLANS  
NOT FOR CONSTRUCTION

PROPOSED EASTERN SIDE ELEVATION (POST SEC 34 CONFERENCE)

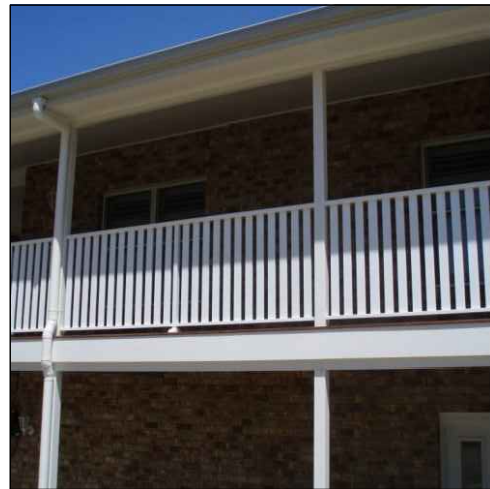
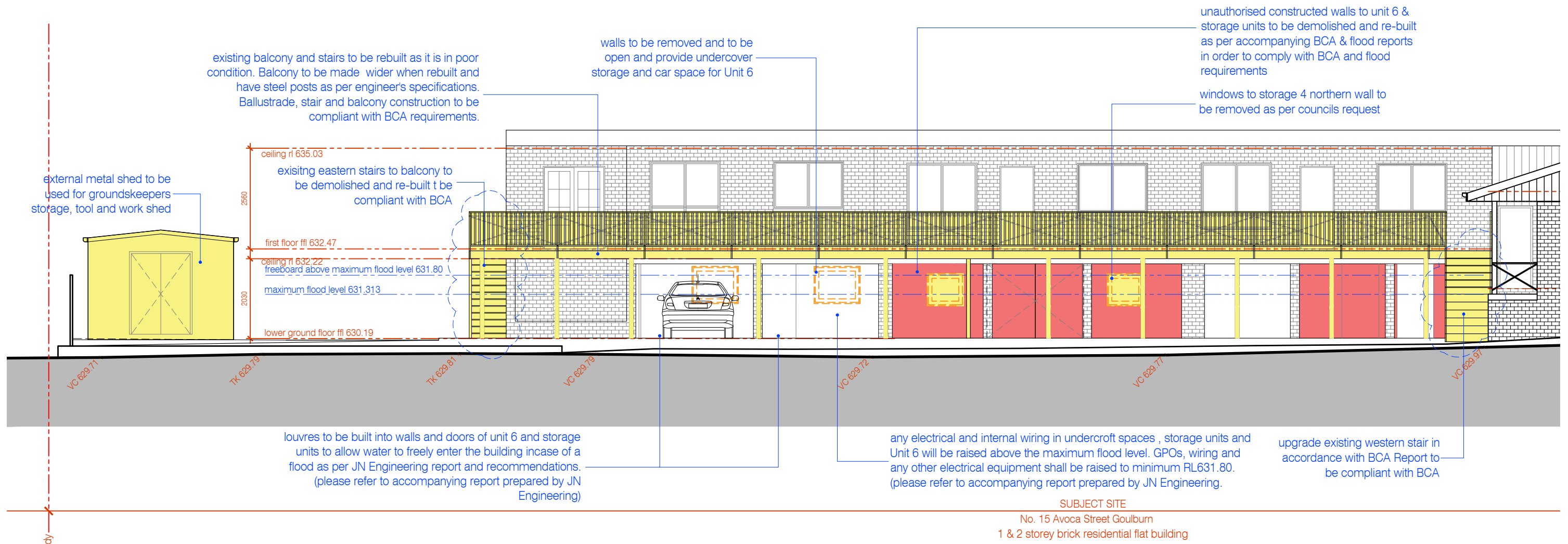
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B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: PROPOSED EASTERN SIDE ELEVATION (POST SEC 34 CONFERENCE)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						4.07



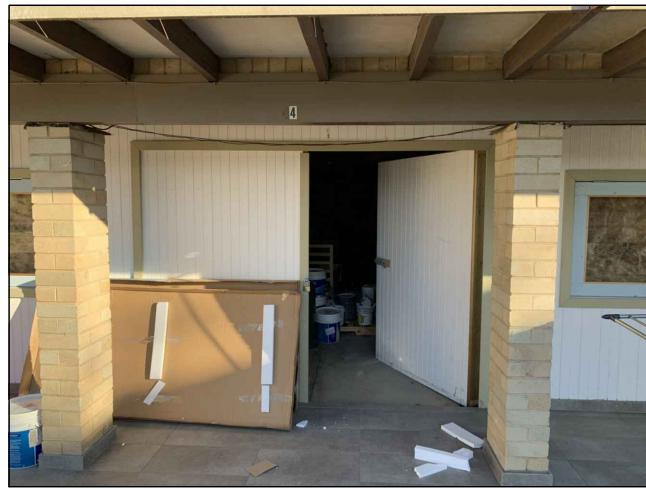


DA PLANS NOT FOR CONSTRUCTION			PROPOSED LONG SECTION A-A (POST SEC 34 CONFERENCE)					
ISSUE:	AMENDMENTS:	DATE:	<div>ARCHIPLAN DESIGN STUDIO</div> <div>ARCHIPLAN Design Studio e. perry@archiplandesignstudio.com m. 0422 150 672</div>	CLIENT:	PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
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B	REVISION ISSUE	07.05.2021		ADDRESS: LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	DRAWING: PROPOSED LONG SECTION A-A (POST SEC 34 CONFERENCE)	DRAWN: P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021				CHECKED: P.G		SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021						4.08





**(A)** First floor balcony to be rebuilt from steel and have vertical timber ballustrade in order to comply with BCA..



**(B)** Unauthorised walls to unit 6 and storage units to be demolished and rebuilt as per BCA Compliance & Flood Letter Report. Newly constructed walls to have Weathershield 'Timeless Grey' colour.



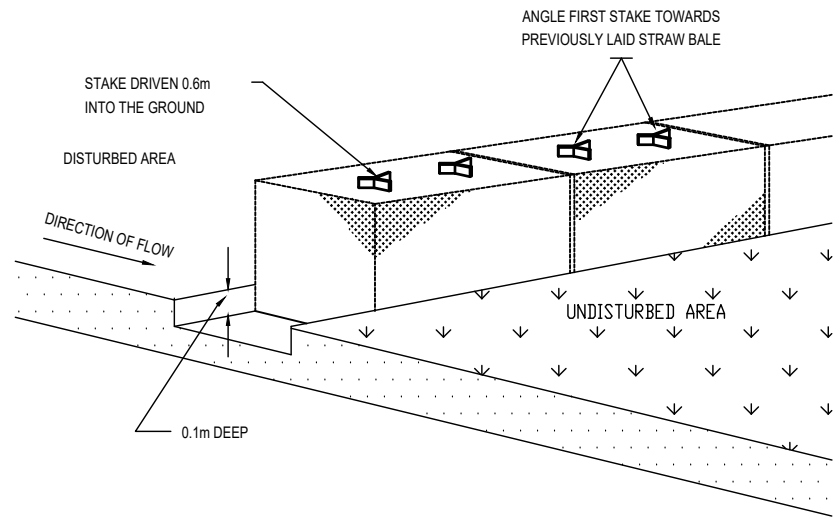
Dulux Weathershield 'Timeless Grey' Exterior paint

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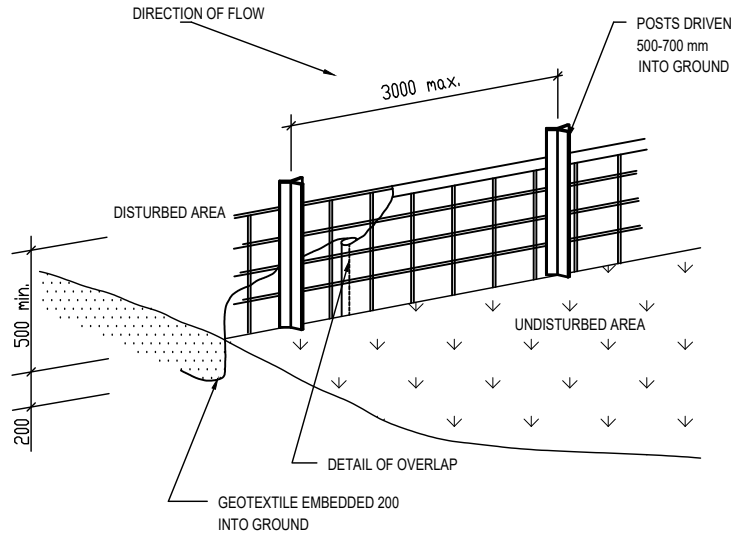
DA PLANS  
NOT FOR CONSTRUCTION

ISSUE:	AMENDMENTS:	DATE:	CLIENT:	PROJECT:	SCALE:	ISSUE:
A	DA ISSUE	14.11.2020	GEORGE MINAS	APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	1:100 @ A3	D
B	REVISION ISSUE	07.05.2021				DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021	ADDRESS:	DRAWING:	DRAWN:	SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021	LOT 8 in D.P 532532 15 AVOCA STREET GOULBURN 2580	MATERIAL & COLOUR SCHEDULE OF FINISHES	P.G	5.01
					CHECKED:	DO NOT SCALE DRAWING
					P.G	

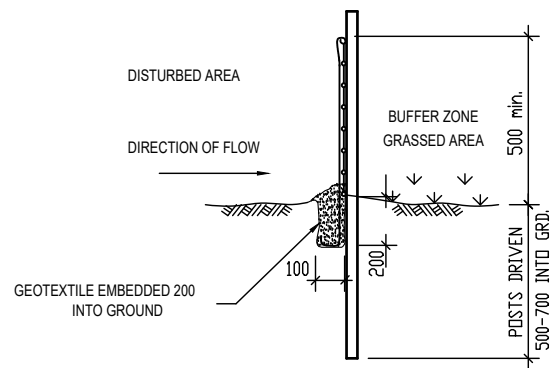




STRAW BALE SEDIMENT FILTER



SILT FENCE SEDIMENT FILTER



GEOFABRIC LINED 'SILT' FENCE

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE
  2. STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM
  3. TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED
  4. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE

DEMOLITION STAGE				
MATERIALS ON-SITE		REUSE & RECYCLING		DISPOSAL
material	estimated volume m <sup>3</sup>	on-site contractor, landfill destination	off-site contractor, landfill destination	
excavated material	0	-	-	-
green waste	0	-	-	-
brick material	0	-	-	-
concrete material	0	-	-	-
timber material	5	-	damaged so used as landfill	excess to Eco Cycle Materials 153-157 Newtown Rd Wetherill Park
metal material	3	-	-	-
carpet material	2	-	-	excess to Eco Cycle Materials 153-157 Newtown Rd Wetherill Park
plast.board material	2	-	-	CSR Plasterboard Jarmax PTY Ltd 3 Edward Howe Place Narellanvale

CONSTRUCTION STAGE				
MATERIALS ON-SITE		REUSE & RECYCLING		DISPOSAL
type of material	estimated volume m <sup>3</sup>	on-site contractor, landfill destination	off-site contractor, landfill destination	
excavated material	0	-	-	-
green waste	0	-	-	-
brick material	0	-	-	-
concrete material	0	-	-	-
timber material	2	-	damaged so used as landfill	excess to Eco Cycle Materials 153-157 Newtown Rd Wetherill Park
metal material	2	-	-	-
carpet material	-	-	-	excess to Eco Cycle Materials 153-157 Newtown Rd Wetherill Park
plast.board material	1	-	-	CSR Plasterboard Jarmax PTY Ltd 3 Edward Howe Place Narellanvale

USE OF PREMISES			
WASTE GENERATED BEING GENERATED		PROPOSED ON SITE STORAGE AND TREATMENT FACILITIES (on site composting, waste storage & recycling)	DESTINATION recycling, contractor landfill destination
TYPE	VOLUME		
glass plastic bottles	15 lt	stored in council mobil bin awaiting collection.	recycled fortnightly
food scraps	40 lt	designated area for composition on site.	compost on site
green waste	20 lt	designated area for composition on site.	compost on site
paper cardboard	30 lt	stored in council mobil bin awaiting collection.	recycled weekly
general waste	40lt	stored in mobil council bin awaiting collection	recycled fortnightly
other waste	varies	stored on site awaiting for quarterly council street collection.	quarterly collection

WASTE MANAGEMENT PLAN

DA PLANS  
NOT FOR CONSTRUCTION

ISSUE:	AMENDMENTS:	DATE:	CLIENT:		PROJECT:	SCALE:	DO NOT SCALE DRAWING	ISSUE:
A	DA ISSUE	14.11.2020	GEORGE MINAS		APPLICATION FOR UNAUTHORISED WORKS & PROPOSED USE	-		D
B	REVISION ISSUE	07.05.2021	ADDRESS:		DRAWING:	P.G		DA
C	POST SEC 34 CONFERENCE AMENDMENTS ISSUE	16.06.2021	LOT 8 in D.P 532532		SEDIMENTATION, EROSION CONTROL & WASTE	CHECKED:	DO NOT SCALE DRAWING	SHEET No:
D	POST SEC 34 CONFERENCE 23.06.21 AMENDMENTS	25.06.2021	15 AVOCA STREET		MANAGEMENT DETAILS	P.G		5.02
			GOULBURN 2580					



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