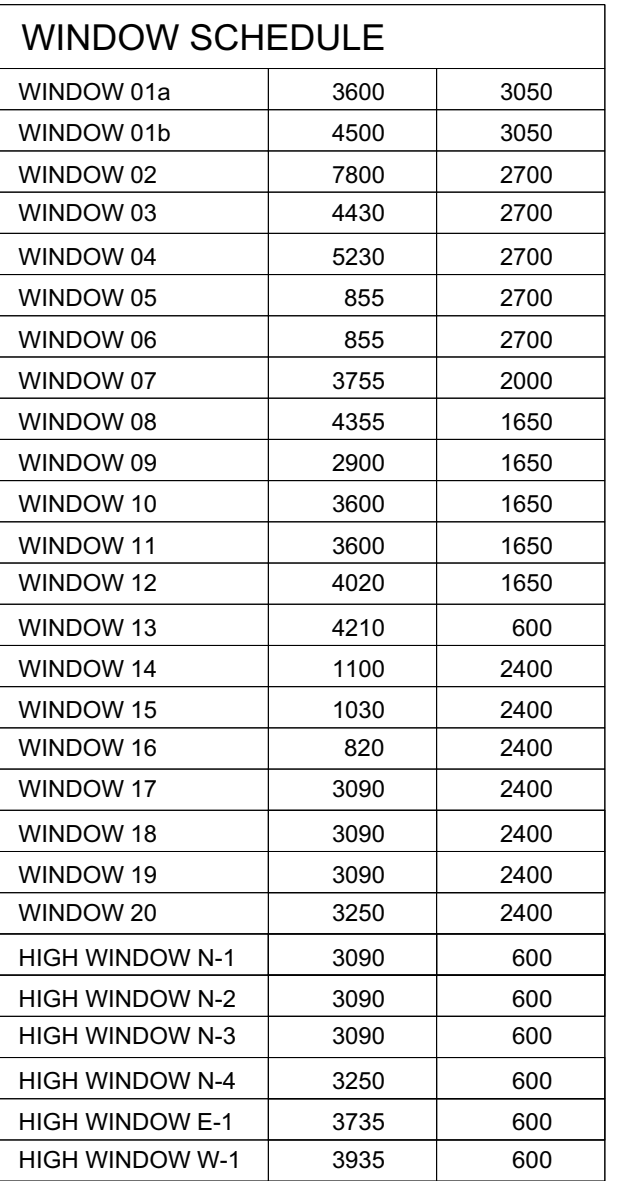









OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT AND DISTANCE FROM THE CENTRE AND THE BASE OF THE WINDOW AND GLAZED DOOR, AS SPECIFIED IN THE OVERSHADOWING COLUMN IN THE TABLE IN BASIX

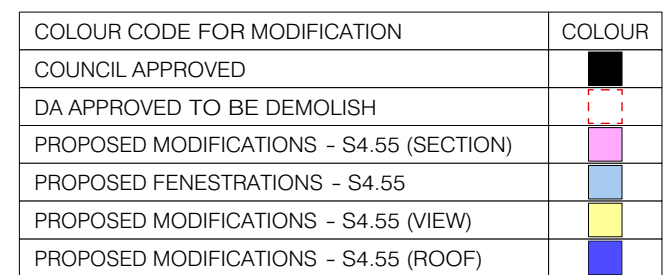


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PROPOSED FENESTRATIONS - S4.55	
PROPOSED MODIFICATIONS - S4.55 (VIEW)	
PROPOSED MODIFICATIONS - S4.55 (ROOF)	

NEW DWELLING - 14 GOLF LINKS RD, KILLARA



DWG No
0287/SM2A/ 01 /E



NEW DWELLING - 14 GOLF LINKS RD, KILLARA

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LEGEND

MATERIAL
BRK - BRICK
CON - CONCRETE
CPT - STEEL
CH - CEMENT RENDER
CT - TILES
FC - FIBRE CEMENT SHEET
GL - GLASS
LV - LOUVRES
MC - METAL CLADDING
MT - METAL ROOF

MATERIAL

PS - PAINT
P1 - PRIVACY SCREEN
ST - STEEL
TM - TIMBER
STO - STONE

E

54.55 REVISED MODIFICATION - J CONFERENCE

12.10.2021

D

54.55 REVISED MODIFICATION FOR LSC REVIEW

07.10.2021

C

54.55 MODIFICATION FOR APPEAL & DISCUSSION

30.09.2021

B

54.55 MODIFICATION FOR SUBMISSION

04.03.2021

P3

PRELIMINARY FOR REVIEW AND COORDINATION

23.02.2021

JOB TITLE

NEW DWELLING

SITE ID

14 GOLF LINKS RD, KILLARA

LOT

01, 10

DP

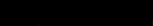
513822, 217659

DATE


JANUARY 2018

SCALE

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Australian Institute
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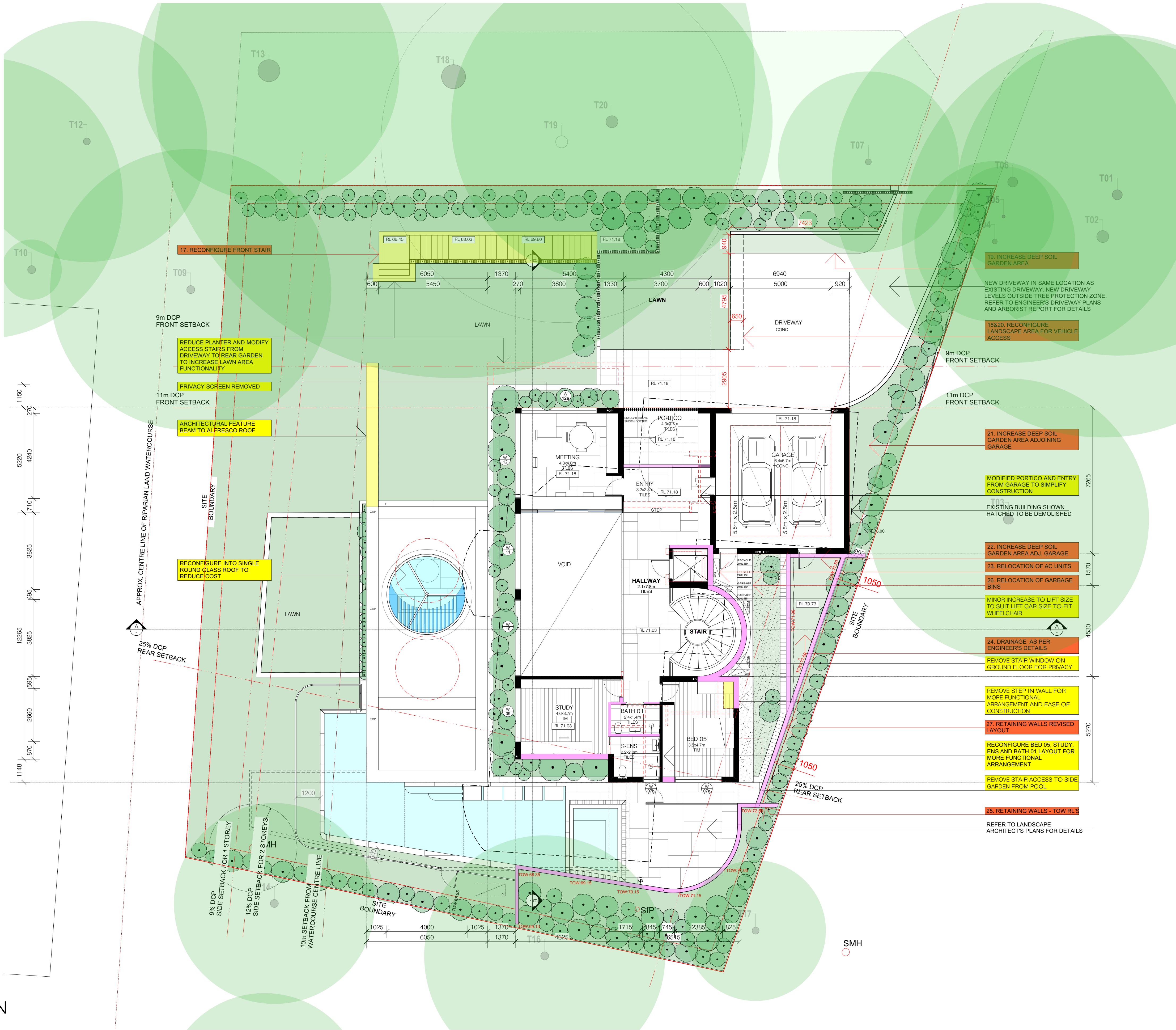
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e info@jurimlaw.com.au ph (02) 9517 2050 Jurim Law Archt. 9870

GROUND FLOOR PLAN

NEW DWELLING - 14 GOLF LINKS RD, KILLARA



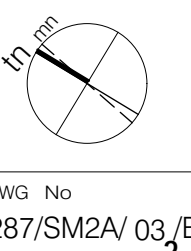
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E	S4.55 REVISED MODIFICATION - J. CONFERENCE	12.10.2021	BRK - BRICK	PT - PAINT	PS - PRIVACY SCREEN			
CN - CONCRETE			CT - CARPET	CR - CEMENT RENDER	CT - TILES			
D	S4.55 REVISED MODIFICATION FOR LEC REVIEW	07.10.2021	FC - FIBRE CEMENT SHEET	GL - GLASS	LV - LOUVRES			
B	S4.55 MODIFICATION FOR APPEAL & DISCUSSION	30.09.2021	MC - METAL CLADDING	MT - METAL ROOF				
P3	PRELIMINARY FOR REVIEW AND COORDINATION	23.02.2021						

JOB TITLE	NEW DWELLING
SITE ID	14 GOLF LINKS RD, KILLARA
LOT	01, 14
DP	513822, 217659
DATE	JANUARY 2018
SCALE	1:100 in A2



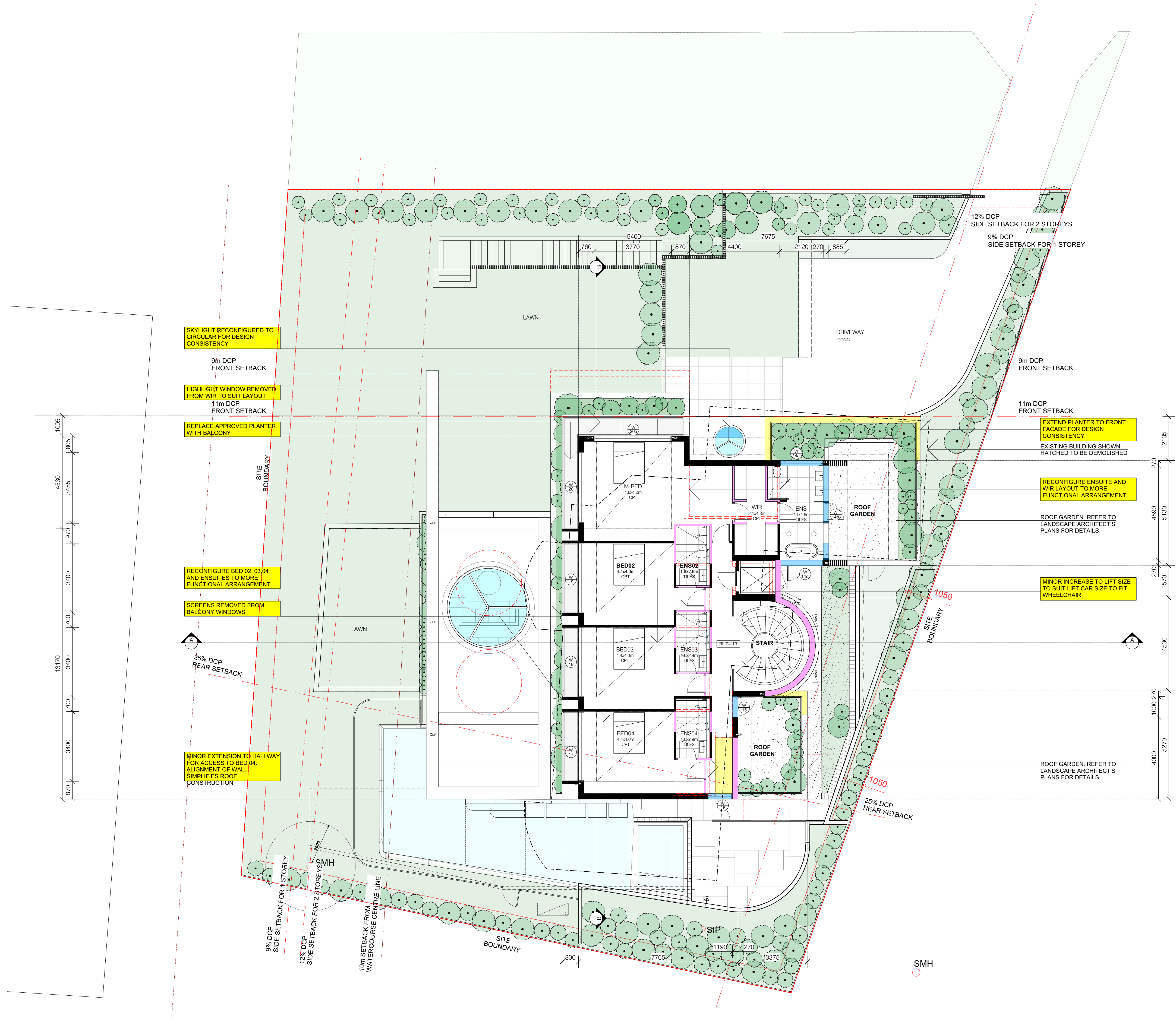
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P 002 820 0000 A 002 820 0000 F 002 820 0000 E 002 820 0000



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DA APPROVED TO BE DEMOLISH	
PROPOSED MODIFICATIONS - S4.55 (SECTION)	
PROPOSED FENESTRATIONS - S4.55	
PROPOSED MODIFICATIONS - S4.55 (VIEW)	
PROPOSED MODIFICATIONS - S4.55 (ROOF)	



LEVEL 1 FLOOR PLAN
NEW DWELLING - 14 GOLF LINKS RD, KILLARA

COLOUR CODE FOR MODIFICATION	COLOUR
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DA APPROVED TO BE DEMOLISH	
PROPOSED MODIFICATIONS - S4.55 (SECTION)	
PROPOSED FENESTRATIONS - S4.55	
PROPOSED MODIFICATIONS - S4.55 (VIEW)	
PROPOSED MODIFICATIONS - S4.55 (ROOF)	

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LEGEND
MATERIAL
BRK - BRICK
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CPT - CARPET
CR - CEMENT RENDER
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LV - LOUVRES
MC - METAL CLADDING
MT - METAL ROOF

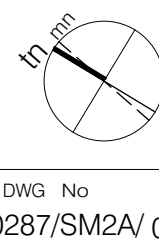
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PS - PRIVACY SCREEN
ST - STEEL
TM - TIMBER
STO - STONE

E	S4.55 REVISED MODIFICATION - J CONFERENCE	12.10.2021
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P3	PRELIMINARY FOR REVIEW AND COORDINATION	23.02.2021

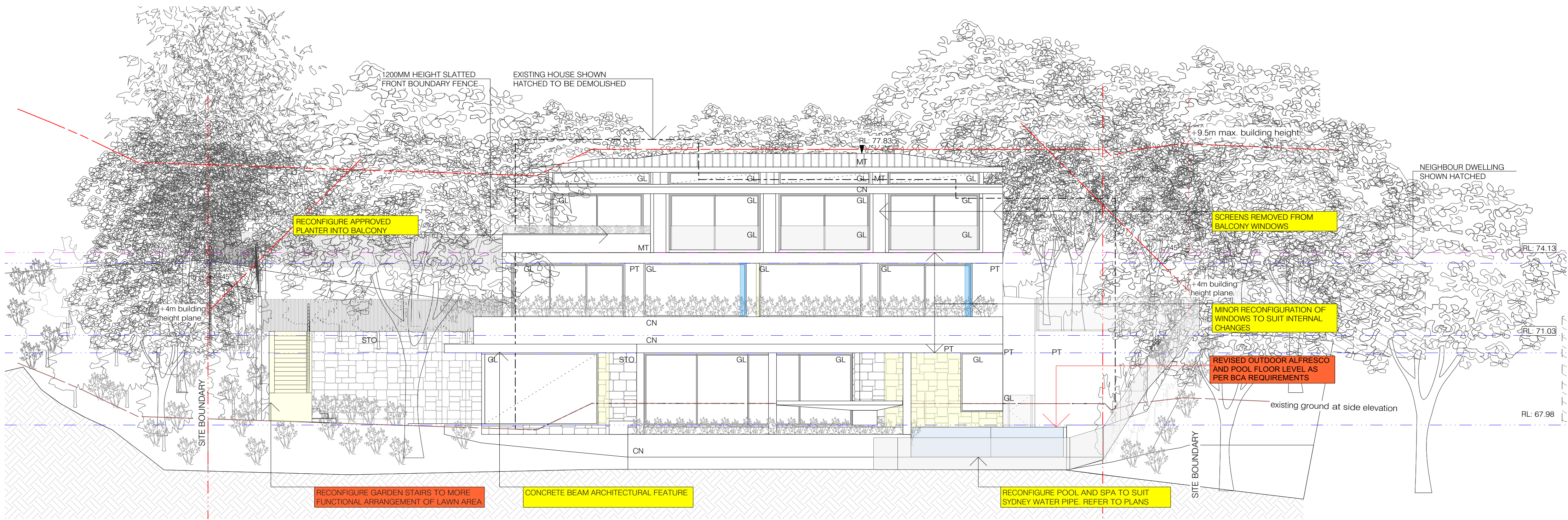
JOB TITLE NEW DWELLING
SITE ID 14 GOLF LINKS RD, KILLARA
LOT 01, 14
DP 513822, 217659
DATE JANUARY 2018
SCALE 1:100 in A2



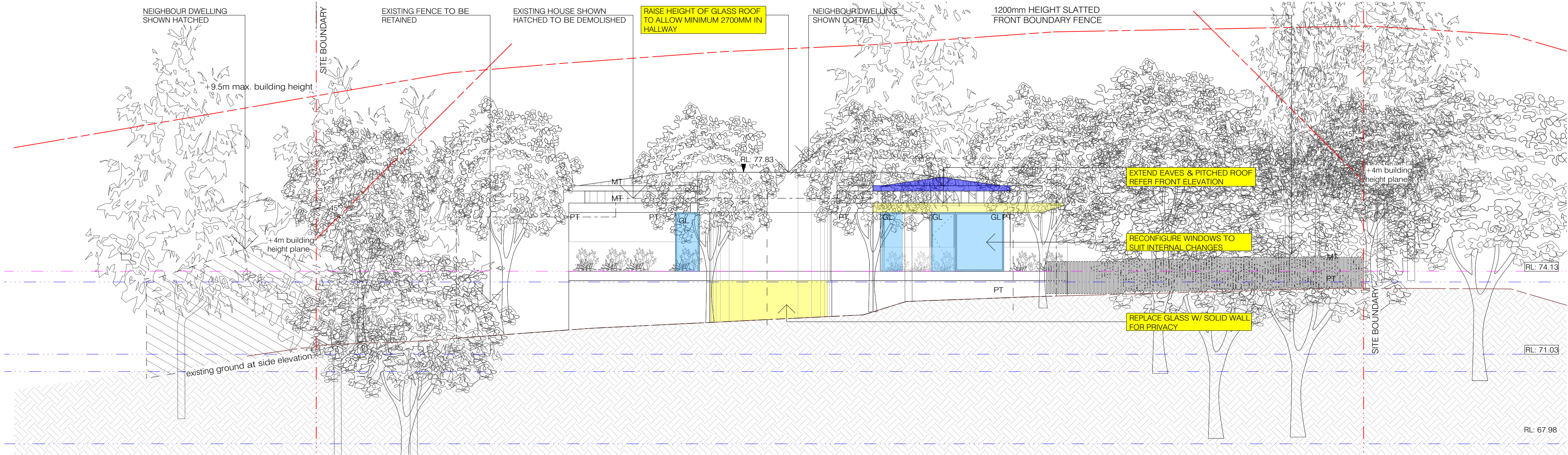
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e info@studiojla.com.au tel (02) 9817 2990 Justin Lee - Nom. Architect 5870



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NORTHWEST ELEVATION
NEW DWELLING, 14 GOLF LINKS RD, KILLARA



SOUTHEAST ELEVATION
NEW DWELLING, 14 GOLF LINKS RD, KILLARA

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COUNCIL APPROVED	
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PROPOSED MODIFICATIONS - S4.55 (SECTION)	
PROPOSED FENESTRATIONS - S4.55	
PROPOSED MODIFICATIONS - S4.55 (VIEW)	
PROPOSED MODIFICATIONS - S4.55 (ROOF)	

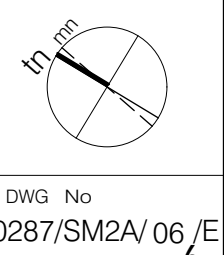
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P3	PRELIMINARY FOR REVIEW AND COORDINATION	23.02.2021			

JOB TITLE	NEW DWELLING
SITE ID	14 GOLF LINKS RD, KILLARA
LOT	01, 14
DP	513822, 217659
DATE	JANUARY 2018
SCALE	1:100 in A2

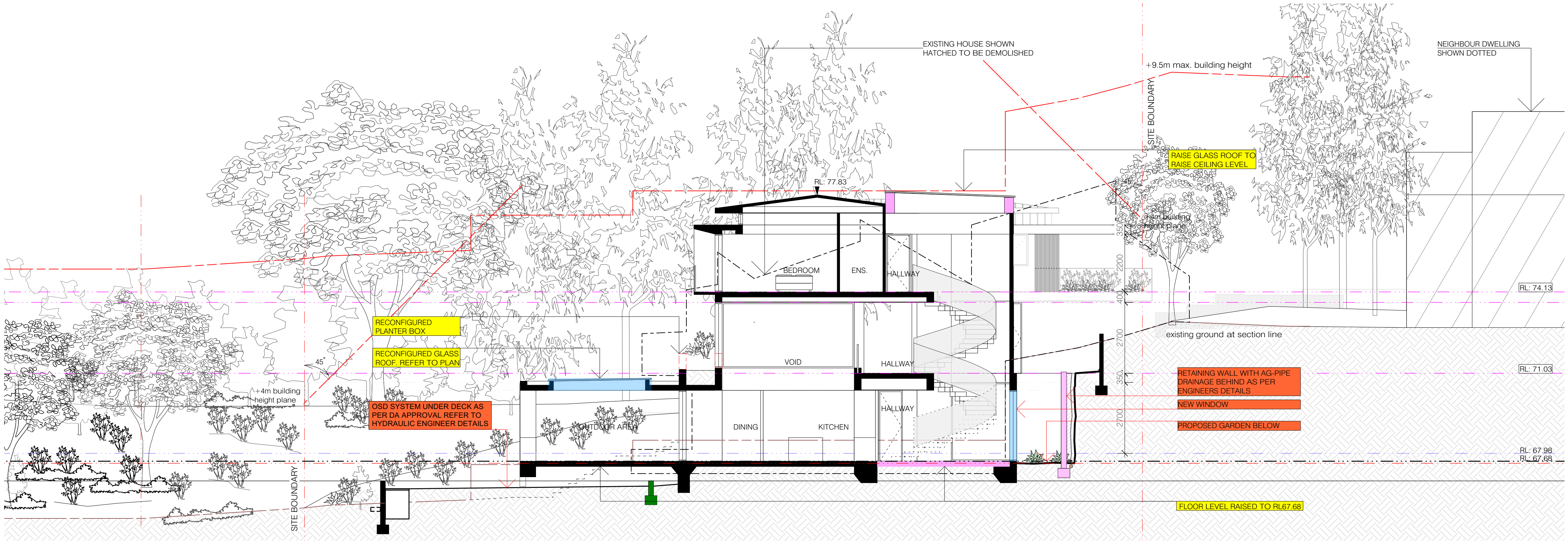


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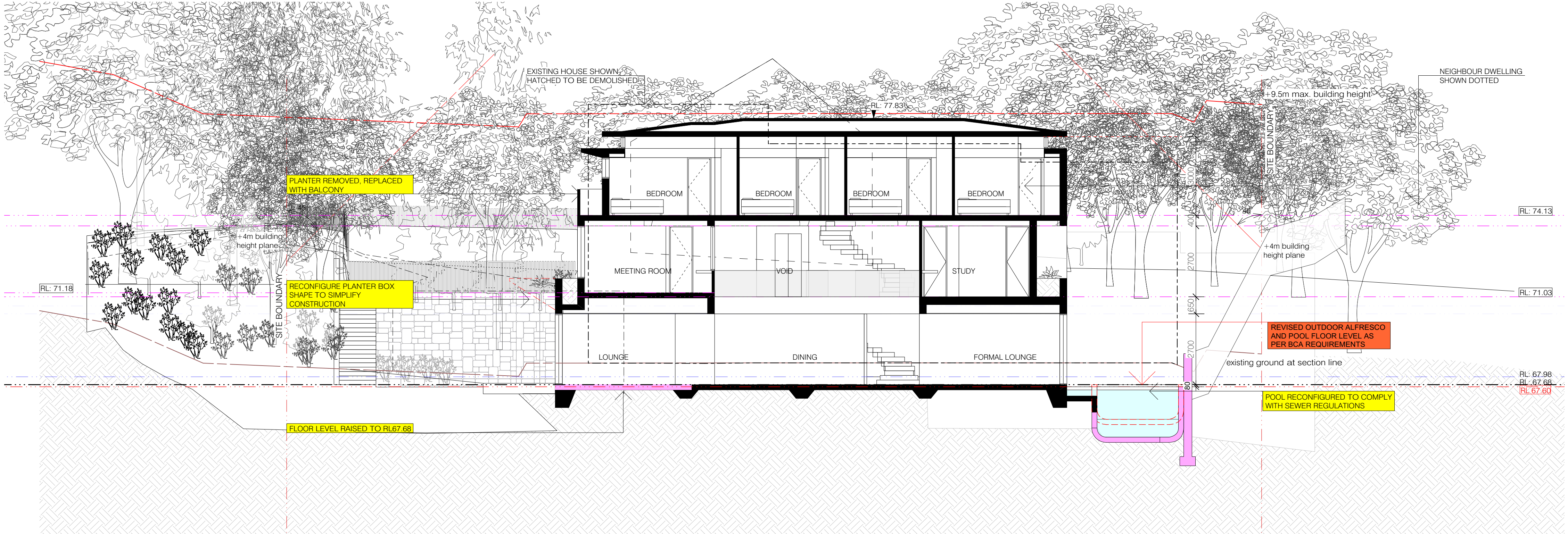
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P 02 9428 8000 & 02 9428 8001 M 02 9428 8001 studiojla.com.au



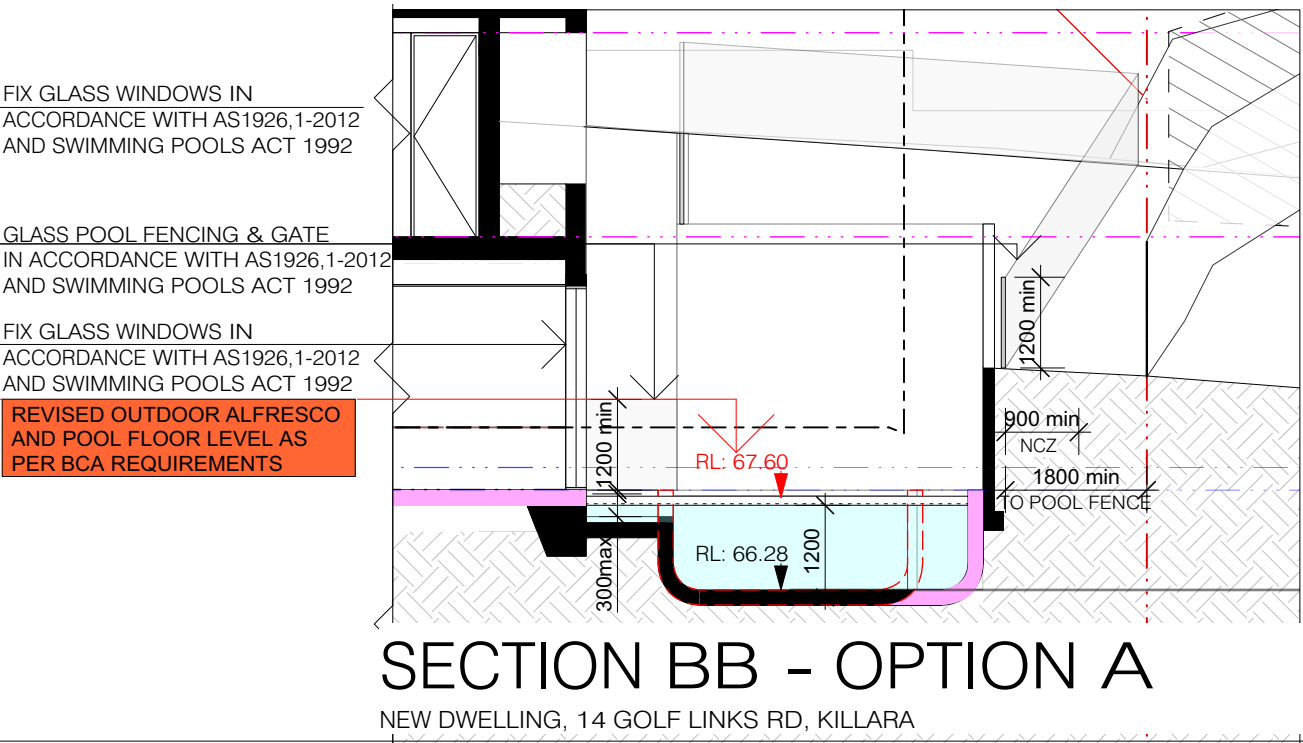
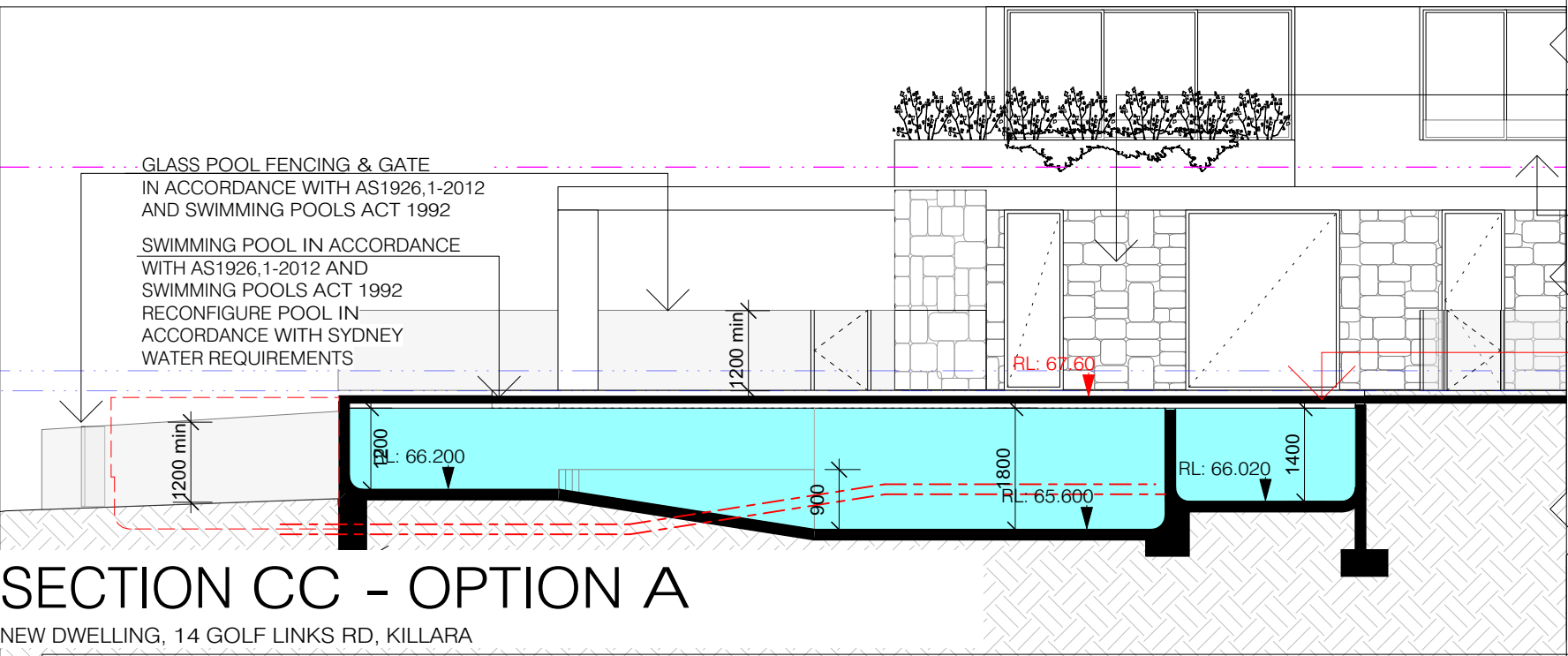
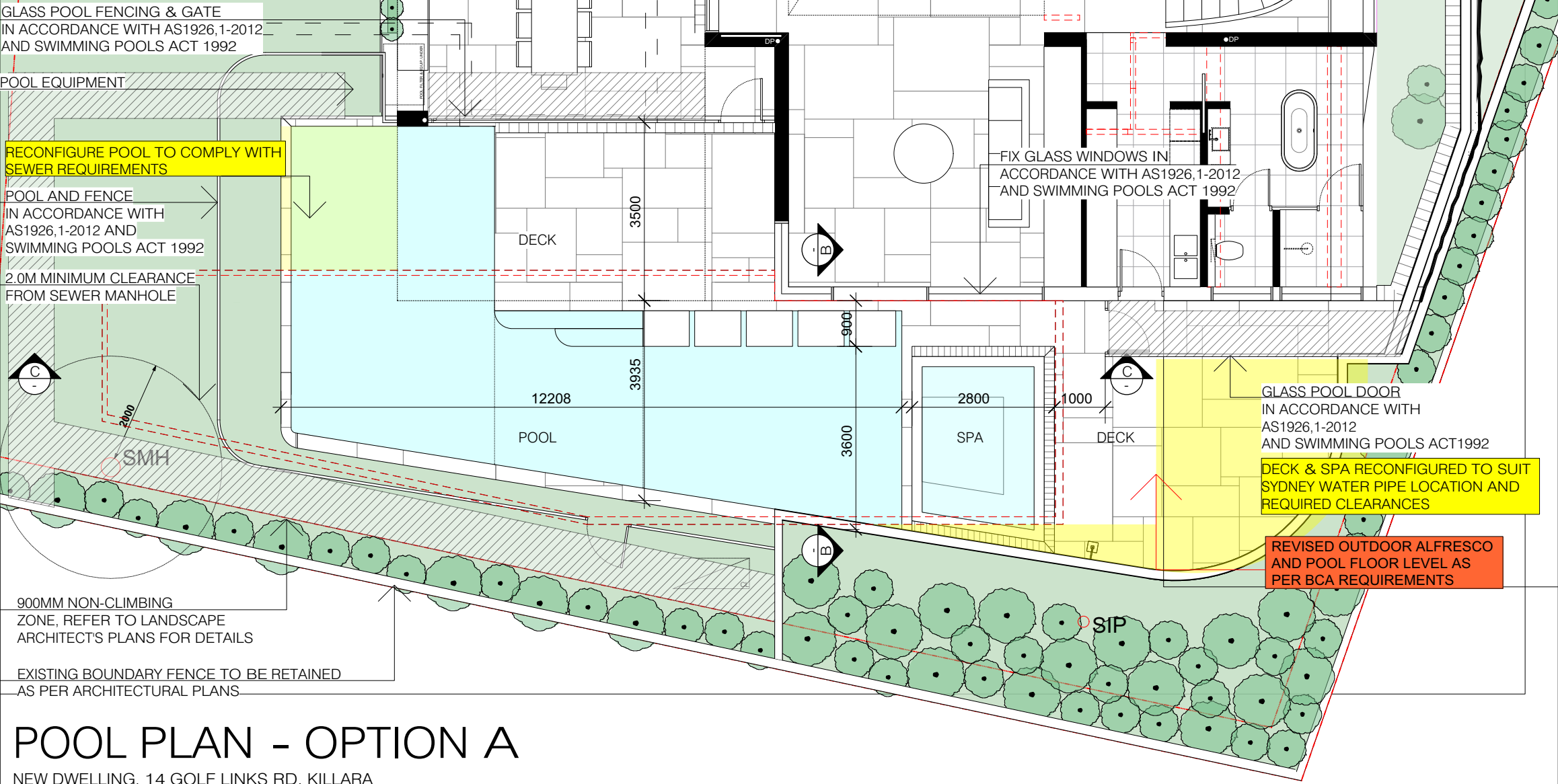
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SECTION AA
NEW DWELLING, 14 GOLF LINKS RD, KILLARA



SECTION BB
NEW DWELLING, 14 GOLF LINKS RD, KILLARA



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LEGEND

MATERIAL

BRK - BRICK

CN - CONCRETE

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CR - CEMENT RENDER

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JOB TITLE NEW DWELLING

SITE ID 14 GOLF LINKS RD, KILLARA

LOT 01, 14

DP 513822, 217659

DATE JANUARY 2018

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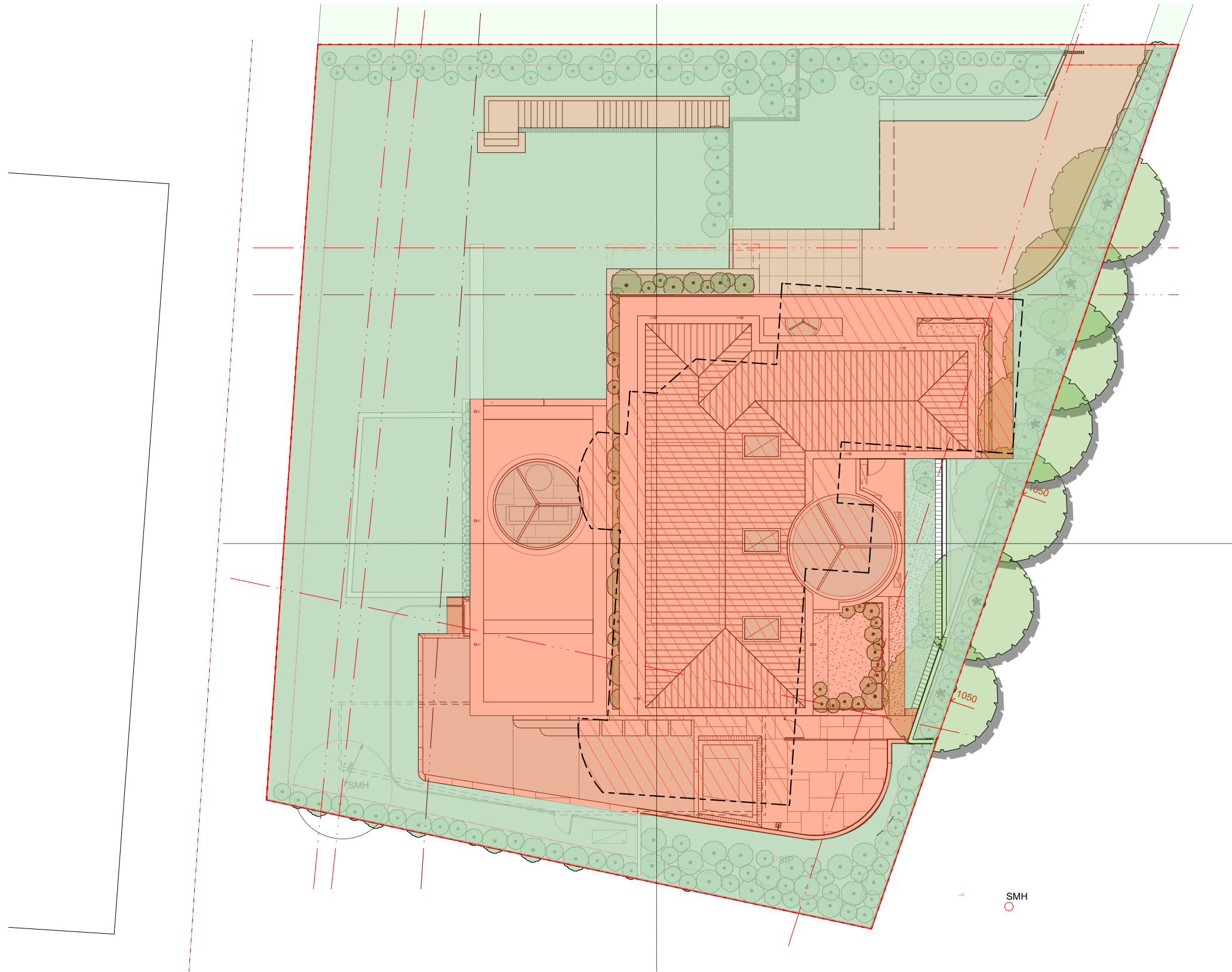


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0287/SM2A/08 /E

8



LANDSCAPE CALCULATION PLAN

NEW DWELLING - 14 GOLF LINKS RD, KILLARA

LANDSCAPE CALCULATION

SITE AREA	1201.0sqm
MAXIMUM BUILT UPON AREA	600.5sqm (50%)
MAXIMUM BUILT UPON AREA TO FRONT SETBACK	131.1sqm (30%)
MINIMUM SOFT LANDSCAPE AREA (SITE AREA - MAXIMUM BUILT UPON AREA)	600.2sqm (50%)
PROPOSED BUILT UPON AREA	599.8sqm (50%)
PROPOSED BUILT UPON AREA TO FRONT SETBACK	131.0sqm (30%)
PROPOSED SOFT LANDSCAPE AREA (SITE AREA - MAXIMUM BUILT UPON AREA)	602.0sqm (50%)

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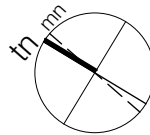
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JOB TITLE	NEW DWELLING
SITE ID	14 GOLF LINKS RD, KILLARA
LOT	01, 14
DP	513822, 217659
DATE	JANUARY 2018
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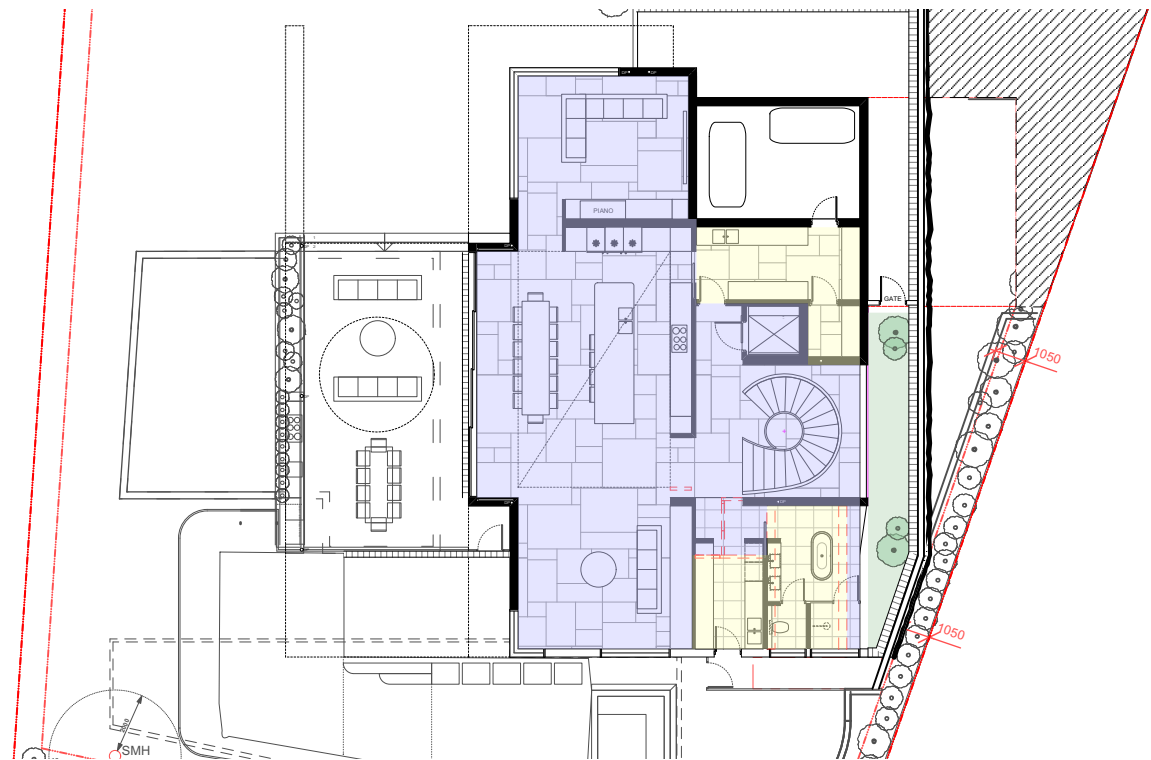


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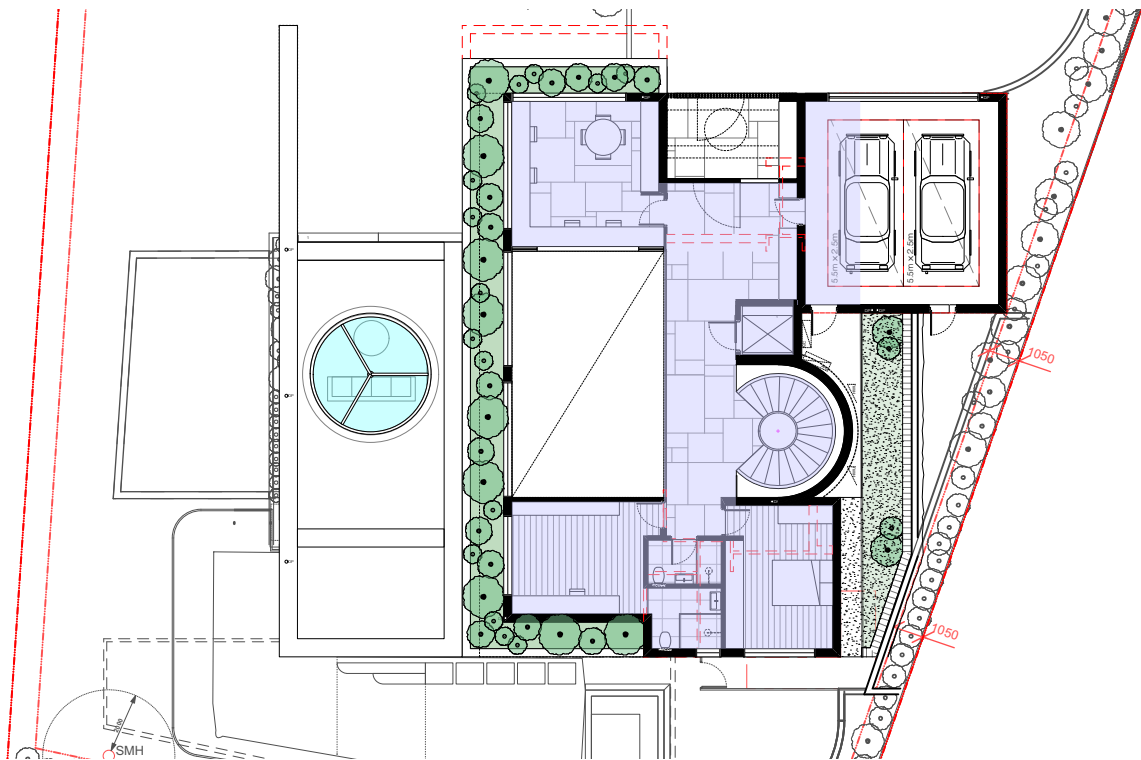


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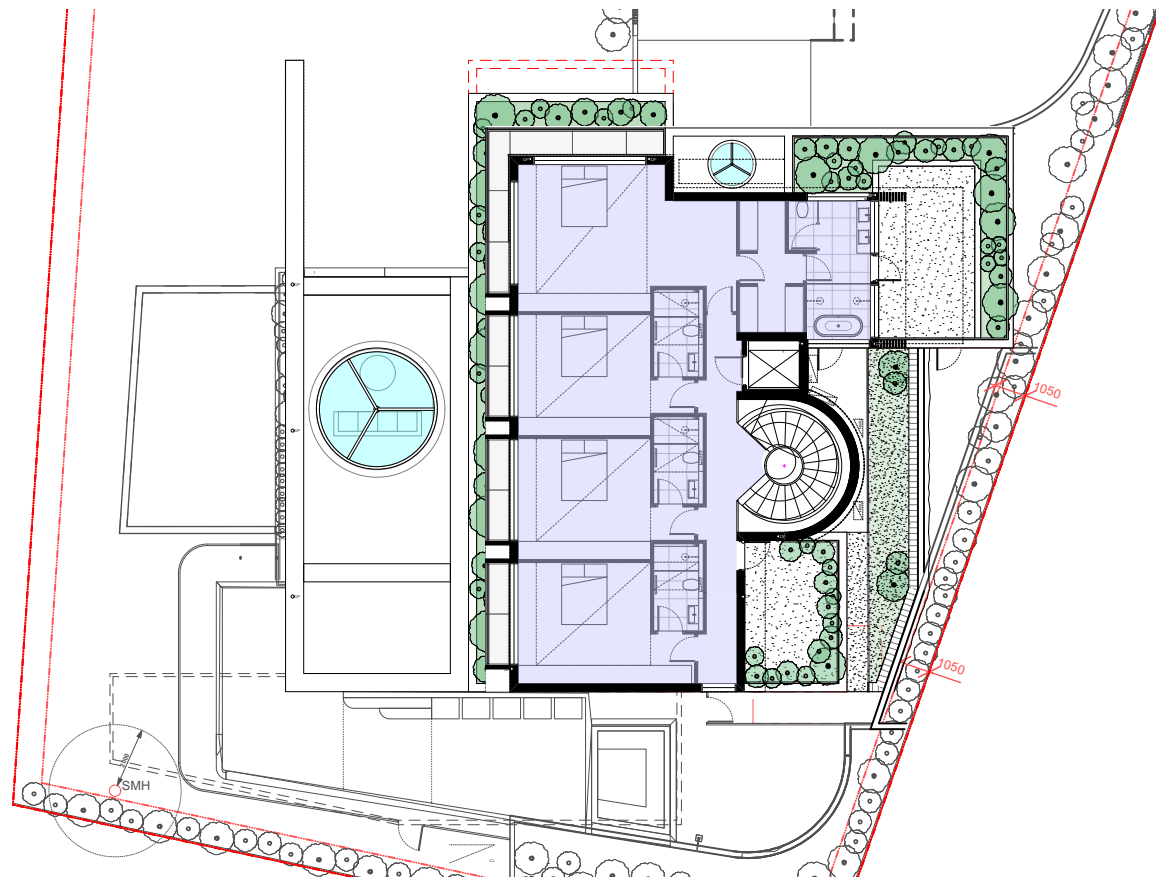
LOWER GROUND FLOOR PLAN GFA

NEW DWELLING - 14 GOLF LINKS RD, KILLARA



GROUND FLOOR PLAN GFA

NEW DWELLING - 14 GOLF LINKS RD, KILLARA



LEVEL 1 PLAN GFA

NEW DWELLING - 14 GOLF LINKS RD, KILLARA

LEGEND

- GFA CALCULATION AREA
- APPROVED BUILT AREA CONVERTED INTO ASSESSABLE GFA

DA APPROVED GFA - CALCULATION

LEVEL 1	139 SQM
GROUND LEVEL	120 SQM
LOWER GROUND	147 SQM
<u>TOTAL:</u>	<u>406 SQM</u>

GFA - CALCULATION

LEVEL 1	142 SQM
GROUND LEVEL	128 SQM
LOWER GROUND	196 SQM
<u>TOTAL:</u>	<u>466 SQM</u>
APPROVED BUILDING AREA BEING CONVERTED INTO ASSESSABLE GFA (INCLUDED IN TOTAL ABOVE)	37 SQM

S4.55 APPROVED GFA - CALCULATION

LEVEL 1	140 SQM
GROUND LEVEL	131 SQM
LOWER GROUND	150 SQM
<u>TOTAL:</u>	<u>421 SQM</u>

FSR - CALCULATION

(170 + (0.2 x site area)) / site area

SITE AREA	1201.0 SQM
GROSS FLOOR AREA	466 SQM
MAX ALLOWED AREA	410.2 SQM

PROPOSED FSR = 0.388 : 1

APPROVED BUILDING AREA BEING CONVERTED INTO ASSESSABLE GFA (INCLUDED IN TOTAL ABOVE)	37SQM	(0.03 : 1)
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LEGEND	MATERIAL
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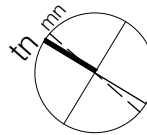
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JOB TITLE	NEW DWELLING
SITE ID	14 GOLF LINKS RD, KILLARA
LOT	01, 14
DP	513822, 217659
DATE	JANUARY 2018
SCALE	1:200 in A3

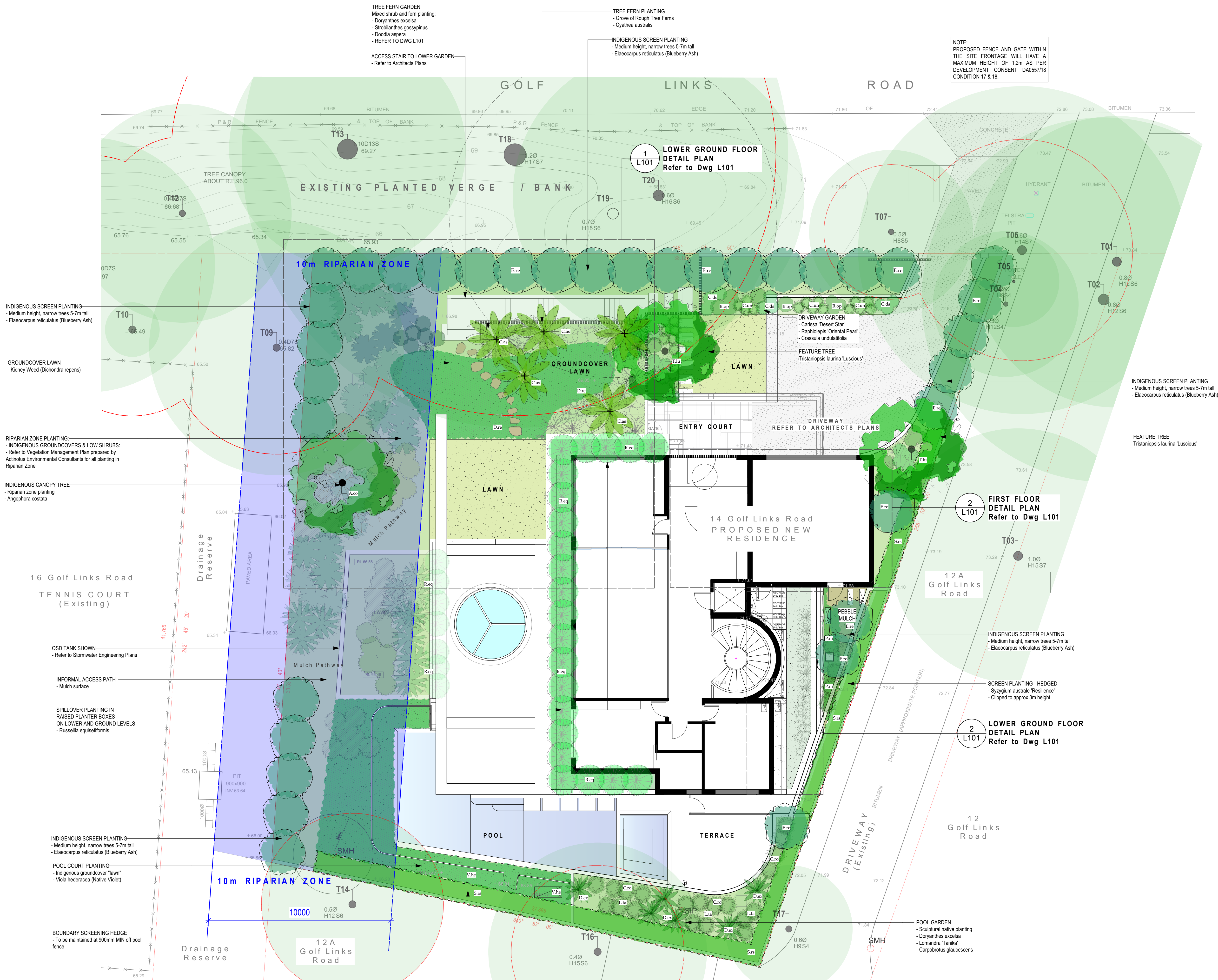


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0287/SM2A/ 10 /E



KEY

- EXISTING LEVEL
- PROPOSED LEVEL
- EXISTING CONTOUR
- SITE BOUNDARY
- RIPARIAN ZONE
- GARDEN BED
- LAWN
- PEBBLE MULCH
- CLIPPED HEDGE
- SCREEN PLANTING
- LOW PLANTING
- GROUNDCOVERS
- PROPOSED TREE
- TREE FERNS
- EXISTING TREE PROPOSED FOR REMOVAL Refer to Existing Tree Schedule
- EXISTING TREE TO BE RETAINED Refer to Arborists Report for full details
- Tree Protection Zone (TPZ) as calculated by Project Arborist

General Notes

1. PLEASE REFER TO DWG L101 FOR EXISTING TREE DETAILS & INDICATIVE PLANT LISTS

L	12/10/21	Revised Issue	DC
K	8/10/21	Revised Issue	DC
J	29/9/21	Add OSD and Lower Ground Floor Services Corridor	DC
I	24/9/21	Update Existing Tree Schedule	DC
H	04/03/21	SL55 Issue	RE
G	7/5/20	Revised Issue for Construction Certificate	SL
F	24/7/19	Revised Issue	RG
E	12/5/19	Revised Issue	RG
D	28/11/18	Revised Issue	RG
C	26/11/18	Revised Issue	RG
B	12/11/18	Revised Issue	RG
A	28/09/18	Preliminary - For Discussion	RG

REVISION	DATE	REVISION NOTE	BY

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PROJECT

Proposed Alterations & Additions

ADDRESS

14-16 Golf Links Rd Killara

CLIENT

Ma, Chris

DRAWING

Landscape Concept - Site

spirit level

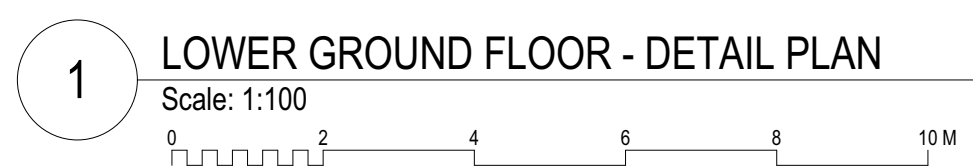
spirit level designs pty ltd
1st floor 722 Bourke Street Redfern NSW 2016
tel: 02 8399 0660 fax: 02 8399 0554
email: inspired@spiritlevel.com.au

ABN: 58 078 310 826

PROJECT #	1460	DWG STATUS	
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PLOT DATE	24/7/19	DWG #	
ORIGINAL SHEET SIZE	A1	REVISION	
SCALE @ SHEET SIZE	1:100		
DRAWN	RG	CHKD	HM

L100 L

OF -



K	12/10/21	Revised Issue	DC
L	8/10/21	Revised Issue	DC
J	29/9/21	Add OSD and Lower Ground Floor Services Corridor	DC
I	24/9/21	Updated Existing Tree Schedule	DC
H	04/03/21	\$4.55 Issue	RE
G	7/5/20	Revised Issue for Construction Certificate	SL
F	27/7/19	Revised Issue	RG
E	12/5/19	Revised Issue	RG
D	28/11/18	Revised Issue	RG
C	26/11/18	Revised Issue	RG
B	12/11/18	Revised Issue	RG
A	28/09/18	Preliminary - For Discussion	RG
	REVISION	DATE	REVISION NOTE
			BY

Tree No	Genus Species	Common Name	Height	Canopy	Calliper	Action
T01	<u>Angophora costata</u>	Sydney Red Gum	20000	16000	500	Retain
T02	<u>Angophora costata</u>	Sydney Red Gum	24000	20000	600	Retain
T03	<u>Angophora costata</u>	Sydney Red Gum	18000	14000	500	Retain
T04	<u>Angophora costata</u>	Sydney Red Gum	14000	8000	250	Retain
T05	<u>Angophora costata</u>	Sydney Red Gum	12000	5000	150	Retain
T06	<u>Angophora costata</u>	Sydney Red Gum	14000	18000	500	Retain
T07	<u>Jacaranda mimosifolia</u>	Jacaranda	8000	9000	300	Retain
T09	<u>Angophora costata</u>	Sydney Red Gum	24000	14000	400	Retain
T10	<u>Washingtonia Spp</u>	Washingtonia	12000	3000	400	Retain
T11	<u>Angophora costata</u>	Sydney Red Gum	22000	14000	400	Retain
T12	<u>Eucalyptus pilularis</u>	Blackbutt	18000	12000	350	Retain
T13	<u>Eucalyptus sp</u>	Eucalypt	15000	13000	1100	Retain
T14	<u>Platanus x hybrid</u>	London Plane Tree	12000	10000	400	Retain
T15	<u>Pittosporum undulatum</u>	Sweet Pittosporum	12000	10000	350	Retain
T16	<u>Citharexylum spinuosum</u>	Fiddlewood	14000	12000	400	Retain
T17	<u>Callistemon Spp</u>	Bottle Brush	9000	7000	350	Retain
T18	<u>Eucalyptus pilularis</u>	Blackbutt	30000	30000	1200	Retain
T19	<u>Eucalyptus pilularis</u>	Blackbutt	26000	18000	600	Remove
T20	<u>Angophora costata</u>	Sydney Red Gum	24000	16000	600	Retain

ID	Latin Name	Common Name	Pot Size	Mature Height	Mature Spread	Qty
TREES						
A.co	<i>Angophora costata</i>	Sydney Red Gum	45L	15 - 17m	10 - 12m	1
C.as	<i>Cyathea australis</i>	Rough Tree Fern	45L	8 - 12m	2.0 - 3.5m	5
T.lu	<i>Tristanopsis laurina 'Luscious'</i>	Water Gum	100L	8 - 10m	6 - 8m	2
SHRUBS						
A.ca	<i>Alpinia caerulea</i>	Native Ginger	200mm	0.9 - 1.5m	0.6 - 0.9m	
C.ds	<i>Carissa 'Desert Star'</i>	Natal Plum	200mm	0.8 - 1.0m	0.9 - 1.2m	9
C.ms	<i>Cordyline allamanda-suttoniae</i>	Giant Palm Lily	300mm	4.0 - 10.0m	1.0 - 2.0 m	5
C.ov	<i>Crassula ovata</i>	Jade Plant	200mm	1.5 - 3m	1.2 - 2.0m	18
C.un	<i>Crassula arborescens ssp undulatifolia</i>	Ripple Jade	200mm	0.9 - 1.5m	1.2 - 2.0m	15
D.as	<i>Doodia aspera</i>	Prickly Rasp Fern	200mm	0.6 - 0.75m	0.0 - 0.3m	60
D.ex	<i>Doranthus excelsa</i>	Gymea Lily, Giant Lily	300mm	1.5 - 3m	1.2 - 2.0m	12
R.eq	<i>Russelia equisetiformis</i>	Coral Plant	200mm	0.9 - 1.5m	1.2 - 2.0m	80
R.op	<i>Raphiolepis 'Oriental Pearl'</i>	Indian Hawthorn	200mm	1 - 1.2m	1 - 1.2m	15
S.go	<i>Strobilanthes gossypinus</i>	Persian Shield	200mm	0.9 - 1.5m	0.9 - 1.2m	12
GROUNDCOVERS						
A.hi	<i>Adiantum hispidulum</i>	Rough Maidenhair Fern	140mm	0.75 - 0.9m	0.9 - 1.2m	30
C.ro	<i>Carpobrotus rossii</i>	Native Pigface	140mm	0.0 - 0.3m	1.2 - 2.0m	60
D.re	<i>Dichondra repens</i>	Kidney Weed	100mm	0.0 - 0.3m	0.9 - 1.2m	250
L.ta	<i>Lomandra longifolia 'Tanika'</i>	Fine-Leaved Mat Rush	gro-tube	0.6 - 0.75m	0.6 - 0.9m	25
P.ni	<i>Plectranthus 'Nico'</i>	Plectranthus Nioo'	100mm	0.3 - 0.45m	0.0 - 0.3m	12
V.he	<i>Viola hederacea</i>	Native Violet	140mm	0.0 - 0.3m	1.2 - 2.0m	150
HEDGES & SCREEN PLANTING						
S.re	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	45L	5 - 10m	6 - 10m	21
E.rs	<i>Syzygium australe 'Resilience'</i>	Dwarf Lilli Pilli	25L	3 - 5m	1.2 - 2.0m	68

1. For full details of Existing Trees on site, please refer to the Arboricultural Impact Appraisal and Method Statement, prepared by Naturally Trees (Sept 2018)
2. Riparian Zone planting has been selected from typical STIF species, as nominated in Ecologists report, prepared by Actinotus Environmental Consultants, plus locally indigenous species.
3. Saplings of small tree species, shrub & groundcover plantings within the Riparian Zone, and any others indicative of STIF formations should be sourced from nurseries specialising in local provenance seed and tubestock

Proposed Alterations & Additions

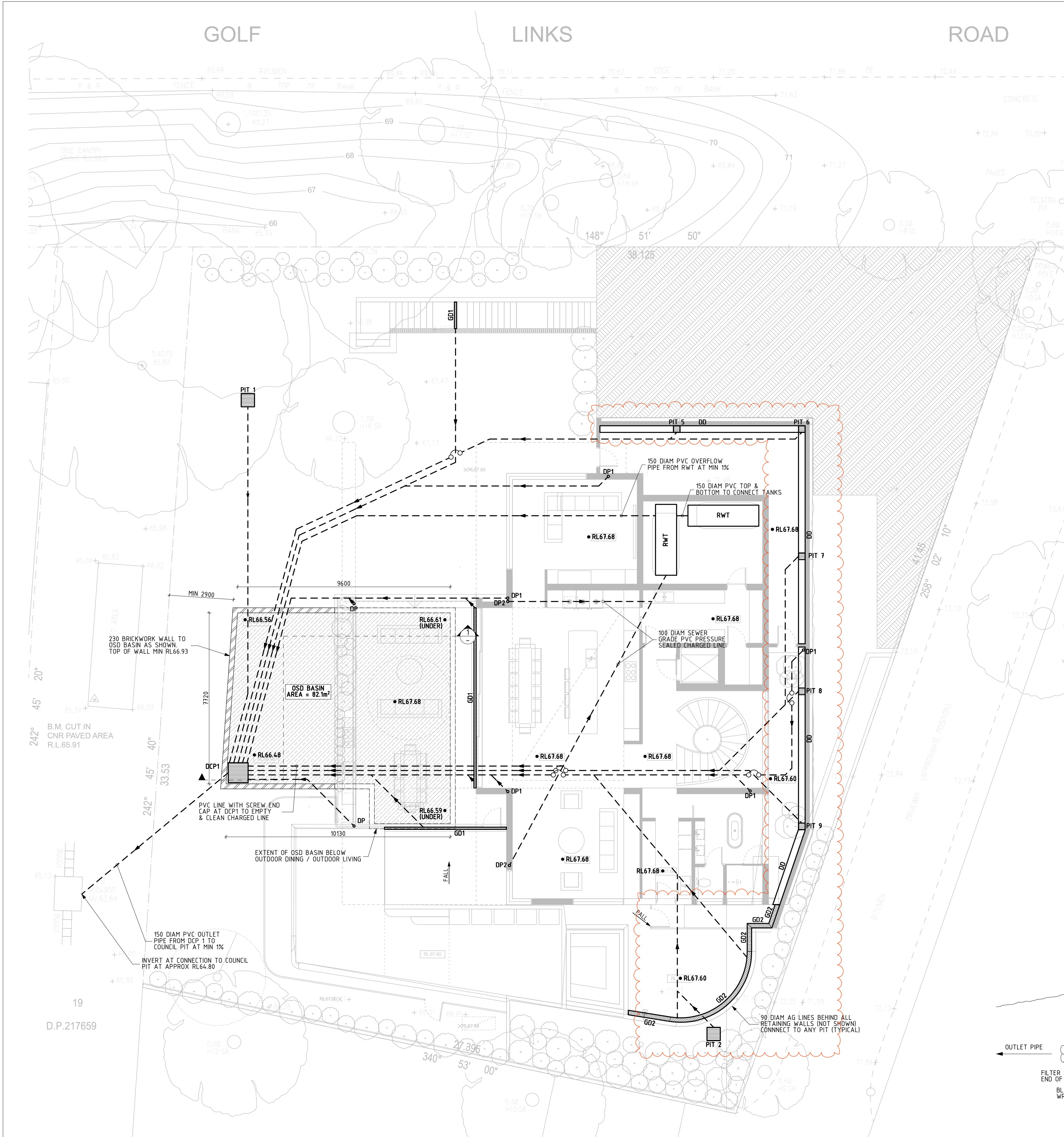
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14-16 Golf Links Rd Killara

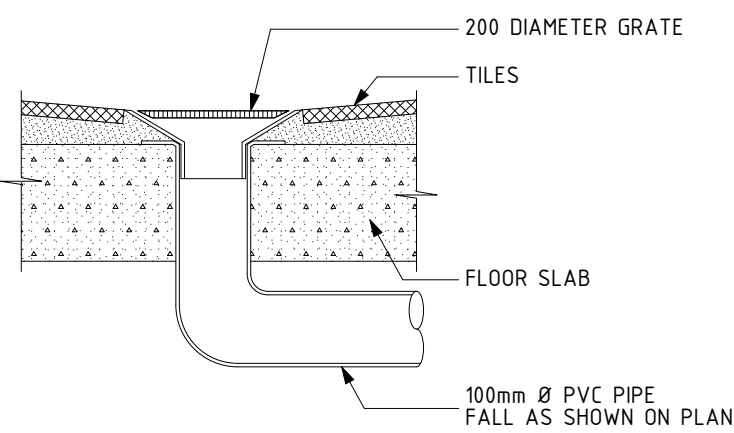
CLIENT

Landscape Concept Details

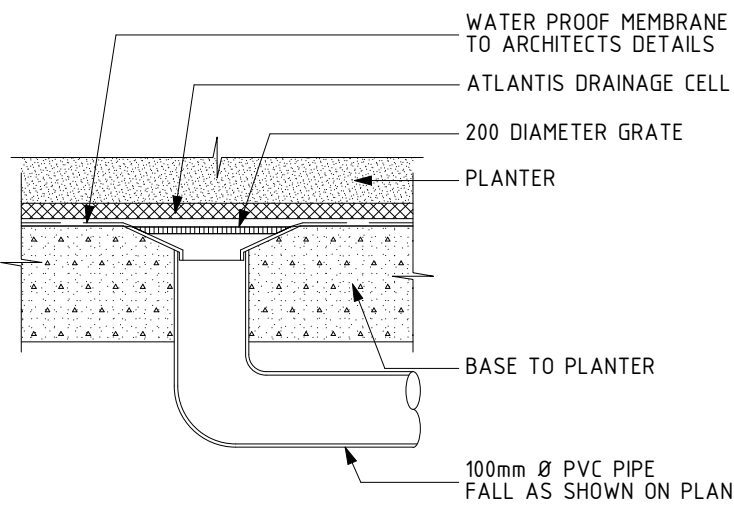
spirit level designs pty ltd
1st floor 722 Bourke Street Redfern NSW 201
tel: 02 8399 0660 **fax:** 02 8399 0554
email: inspired@spiritlevel.com.au



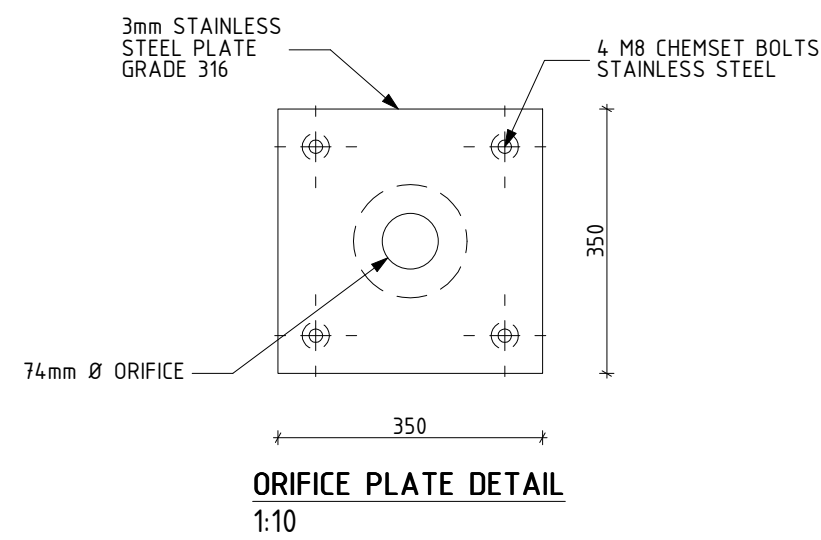
LOWER GROUND FLOOR DRAINAGE & PART SITE STORMWATER MANAGEMENT PLAN
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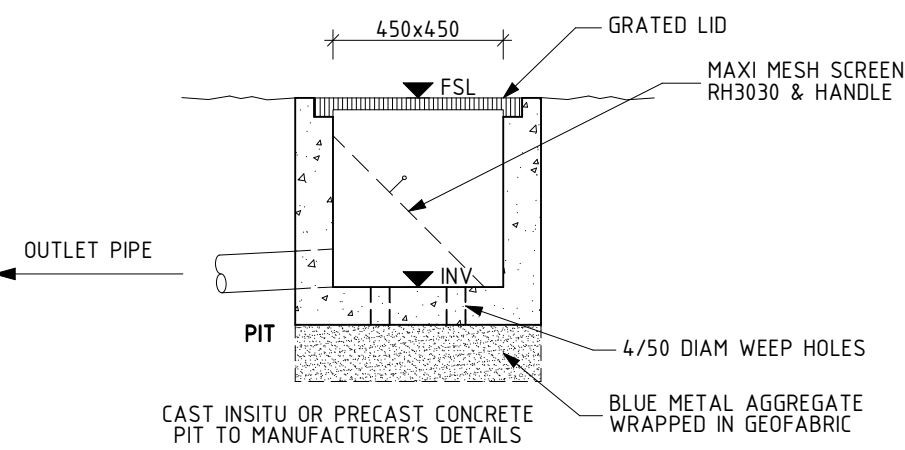
'FD' FLOOR DRAIN DETAIL
1:10



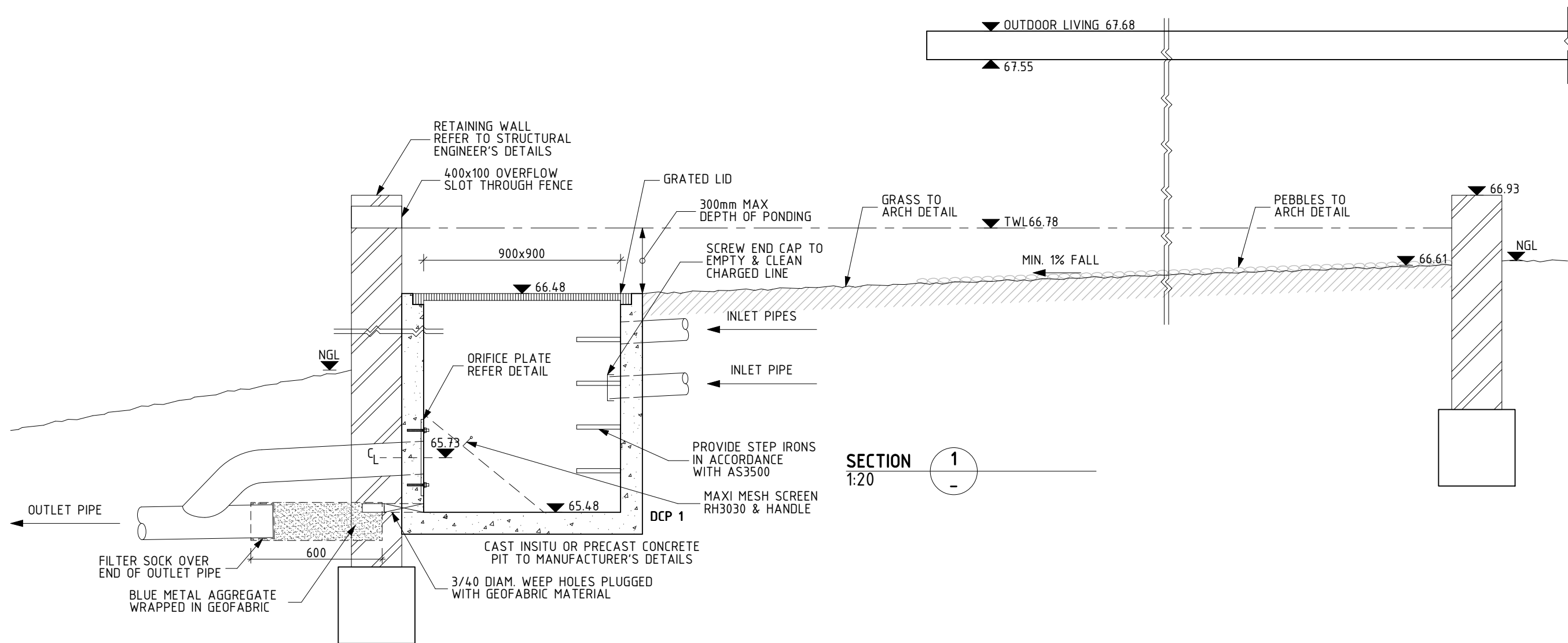
'FD1' FLOOR DRAIN DETAIL
1:10



ORIFICE PLATE DETAIL
1:10



TYPICAL PIT DETAIL
1:20



SECTION 1
1:20

MARK	SIZE/TYPE	FSL	INV
PIT 1	600x600 PIT WITH GRATED LID	66.98 COS	66.48 COS
PIT 2	600x600 PIT WITH GRATED LID	71.50 COS	71.00 COS
PIT 5	300x300 PIT WITH GRATED LID	67.38	67.08
PIT 6	300x300 PIT WITH GRATED LID	67.38	67.08
PIT 7	300x300 PIT WITH GRATED LID	67.38	67.08
PIT 8	300x300 PIT WITH GRATED LID	67.30	67.00
PIT 9	300x300 PIT WITH GRATED LID	67.30	67.00
DCP1	900x900 DISCHARGE CONTROL PIT WITH GRATED LID	66.48	65.48
DD	MIN 300 WIDE MASS CONCRETE DSH DRAIN MIN 1% FALL TO PITS	-	-
GD1	100 WIDE x 100 DEEP GRATED DRAIN	COS	COS
GD2	200 WIDE x 100 DEEP GRATED DRAIN	67.60	67.50
FD	200 DIAMETER FLOOR DRAIN	-	-
DP	100 DIAMETER PVC DOWNPIPE	-	-
DP1	100 DIAMETER PVC DOWNPIPE TO COLLECT WATER FROM BALCONY & TERRACE ONLY	-	-
DP2	100 DIAMETER SEWER GRADE PVC PRESSURE SEALED CHARGED DOWNPIPE	-	-
RWT	5522 LITRE ABOVE GROUND RAINWATER RE-USE TANK (3200Lx950Wx1940H) AVAILABLE FROM KINGSFAN. TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 210m² OF ROOF AREA AS SHOWN & BE CONNECTED TO ALL TOILETS, THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER, AT LEAST ONE OUTDOOR TAP, A TAP WITHIN 10m OF THE SWIMMING POOL, A TAP WITHIN 10m OF THE OUTDOOR SPA & BE RE-USED FOR GARDEN IRRIGATION IN ACCORDANCE WITH KU-RING-GAI COUNCIL POLICY. TANK TO BE FITTED WITH FIRST FLUSH DEVICE & WATER FILTRATION DEVICES & INSTALLED IN ACCORDANCE WITH AS3500, BASIX & SYDNEY WATER REQUIREMENTS. ALL CONNECTIONS TO RWT & OUTLETS TO BE FULLY SEALED.	-	-
OSD	MIN 18900 LITRE ON-SITE DETENTION BASIN (82.3m²x2300 (AVERAGE))	-	-

STORMWATER NOTES:
1. ALL PIPES TO BE 100mm Ø UNLESS NOTED OTHERWISE.
2. ALL PIPES TO BE UPVC UNLESS NOTED OTHERWISE.
3. ALL PIPES TO BE LAID AT 1 % MINIMUM GRADE UNLESS NOTED OTHERWISE.
4. ALL PIPES SHALL BE LAID ON A 75mm SAND BED, COMPACTED TO 100% S.M.D.D. BELOW PAVEMENTS. (NO COMPACTION REQUIRED BELOW LANDSCAPING) COVER TO SURFACE FROM TOP OF PIPE TO BE 300mm MINIMUM. BACKFILL TO BE ADEQUATELY CONSOLIDATED AROUND PIPES BY METHOD OF RAMMING AND WATERING IN TRENCHES TO BE FILLED WITH GRANULAR MATERIAL, AS SPECIFIED.
5. ALL PIPES SHOWN ON PLAN ARE SHOWN INDICATIVELY ONLY & MINIMUM CLEARANCES FROM THE EXTERNAL WALLS OF BUILDINGS, FOR THE EXCAVATION OF TRENCHES, ARE TO BE PROVIDED IN ACCORDANCE WITH AS3500.
6. ALL DOWN PIPES TO BE 90mm Ø UNLESS NOTED OTHERWISE.
7. DOWN PIPE LOCATIONS ARE INDICATIVE ONLY. LOCATIONS TO BE CONFIRMED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
8. PROVIDE CLEANING EYES AT ALL DOWNPIPES UNO.
9. ALL PITS GREATER THAN 1000mm DEEP SHALL HAVE STEP IRONS AS PER COUNCIL STANDARDS.
10. ALL WORK TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS AND SPECIFICATIONS.
11. ALL LEVELS SHOWN ARE TO AHD.
12. ENSURE THAT ALL PITS AND STORMWATER PIPES ARE LOCATED CLEAR FROM TREE ROOT SYSTEMS.
13. EXCAVATION OF TRENCHES ADJACENT TO TREES TO BE CARRIED OUT USING HAND TOOLS ONLY.
14. ALL EXISTING EARTHENWARE PIPES TO BE UPGRADED TO UPVC.
15. ALL WORKS TO BE IN ACCORDANCE WITH AS 3500.
16. THE FOLLOWING ABBREVIATIONS DENOTE:
FSL - FINISHED SURFACE LEVEL
INV - INVERT
17. PROVIDE FALLS IN SURFACES TO ALL PITS, GRATED DRAINS & FLOOR DRAINS IN ACCORDANCE WITH AS3500 & ARCHITECT'S DETAILS.

RL66.15	DENOTES EXISTING LEVELS
RL65.15	DENOTES PROPOSED LEVELS

AREA CALCULATIONS

DEVELOPMENT TYPE:	3
DEVELOPMENT LOCATION:	A

CATCHMENT DETAIL

CATCHMENT NAME:	BLACKBUTT CREEK (BB2)
CATCHMENT DISCHARGE RATE:	0.0166 l/sec/m² (A)
CATCHMENT STORAGE RATE:	0.0241 m³/m² (B)

SITE DETAILS

SITE AREA:	12010 m²
60% OF SITE AREA:	7206 m² (C)
AREA(S) NOT DRAINING TO THE DETENTION SYSTEM:	59.9 m²
TOTAL IMPERVIOUS AREA:	888.7 m² (D)
IMPERVIOUS AREA BYPASSING DETENTION SYSTEM:	0 m² (E)

PERMITTED SITE DISCHARGE

(C) x (A):	12.0 l/sec (FLOW 1)
ADJUSTMENT FOR ANY UNCONTROLLED IMPERVIOUS	
FLOW (E) / (D):	0 (F)
(FLOW 1) x (F):	0 l/sec (FLOW 2)
(FLOW 1) - (FLOW 2):	12.0 l/sec (PSD)

SITE STORAGE REQUIREMENT

(C) x (B):	17.4 m³ (SSR1)
IF THE STORAGE IS IN A LANDSCAPED BASIN, (SSR1) x 1.2:	20.9 m³ (SSR2)

OUTLET CONTROL

HEIGHT DIFFERENCE BETWEEN TOP WATER SURFACE LEVEL AND THE CENTRE OF THE ORIFICE:	105 m (G)
ORIFICE DIAMETER:	218 x $\sqrt{\frac{PSD}{V(G)}}$ mm (OD)

RAINWATER RE-USE VOLUME PROVIDED:	11 m³
RAINWATER TANK OFFSET:	2.09 m³
OSD VOLUME REQUIRED:	20.9m³ - 2.09m³ = 18.81m³
OSD TYPE:	ABOVE GROUND OSD BASIN
DIMENSION OF OSD:	82.1m² x 0.23m (AVERAGE DEPTH)
OSD VOLUME PROVIDED:	18.88 m³

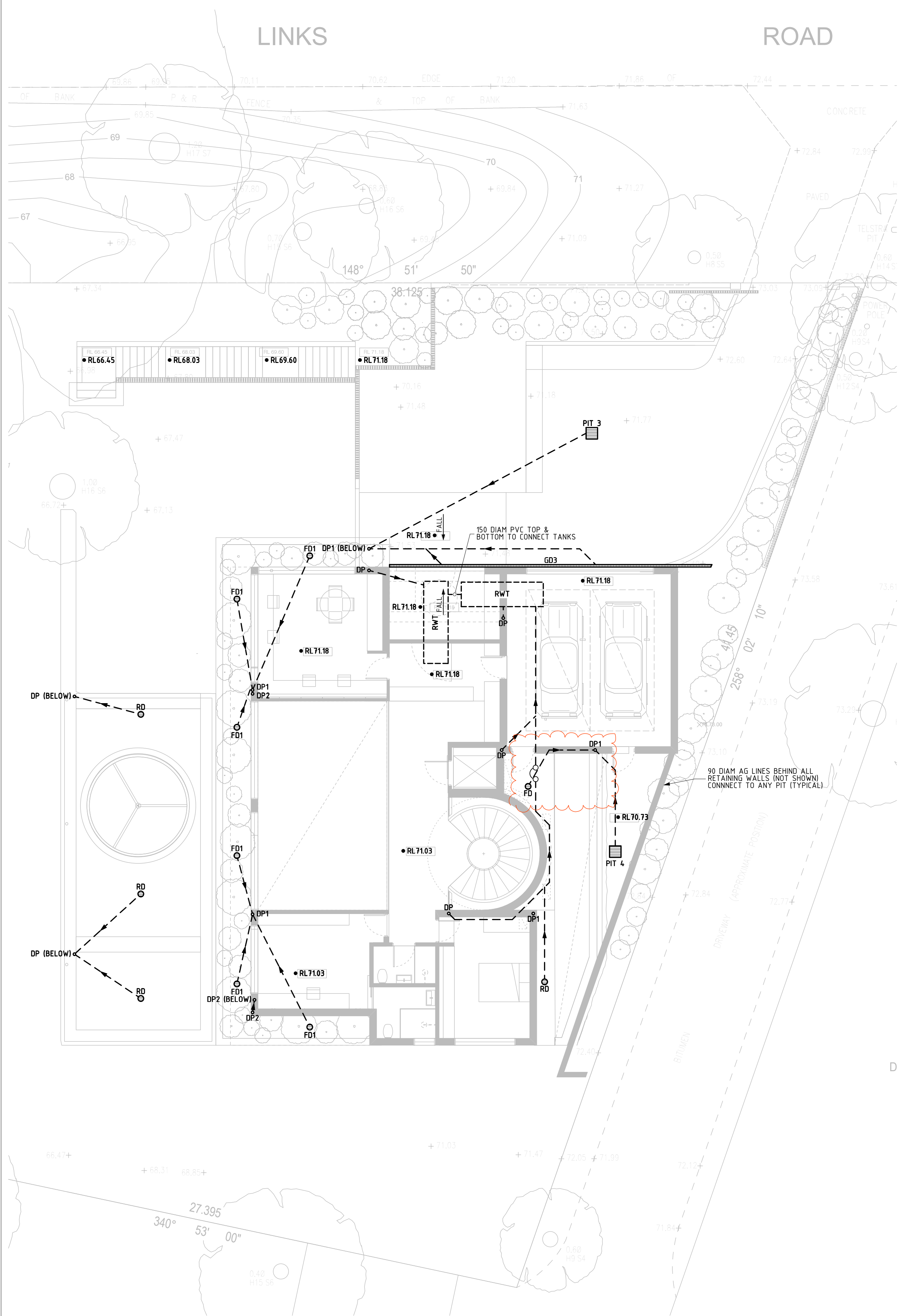
TANK TO BE RE-USED FOR GARDEN IRRIGATION, TOILET FLUSHING & LAUNDRIES IN ACCORDANCE WITH KU-RING-GAI COUNCIL POLICY. SYDNEY WATER REQUIREMENTS & AS3500. TANK TO BE FITTED WITH FIRST FLUSH DEVICE & WATER FILTRATION DEVICES & INSTALLED IN ACCORDANCE WITH AS3500, BASIX & SYDNEY WATER REQUIREMENTS.

D	12.10.21	ISSUE FOR COURT SUBMISSION
I	12.10.21	AMENDED AS PER ARCH REQUEST. ISSUE FOR REVIEW ONLY
C	30.09.21	AMENDED AS PER ARCH REQUEST. ISSUE FOR COURT SUBMISSION
B	29.09.21	ISSUE FOR COURT SUBMISSION
A	05.03.21	ISSUE FOR S4.55 SUBMISSION ONLY
REV.	DATE	REVISION DESCRIPTION

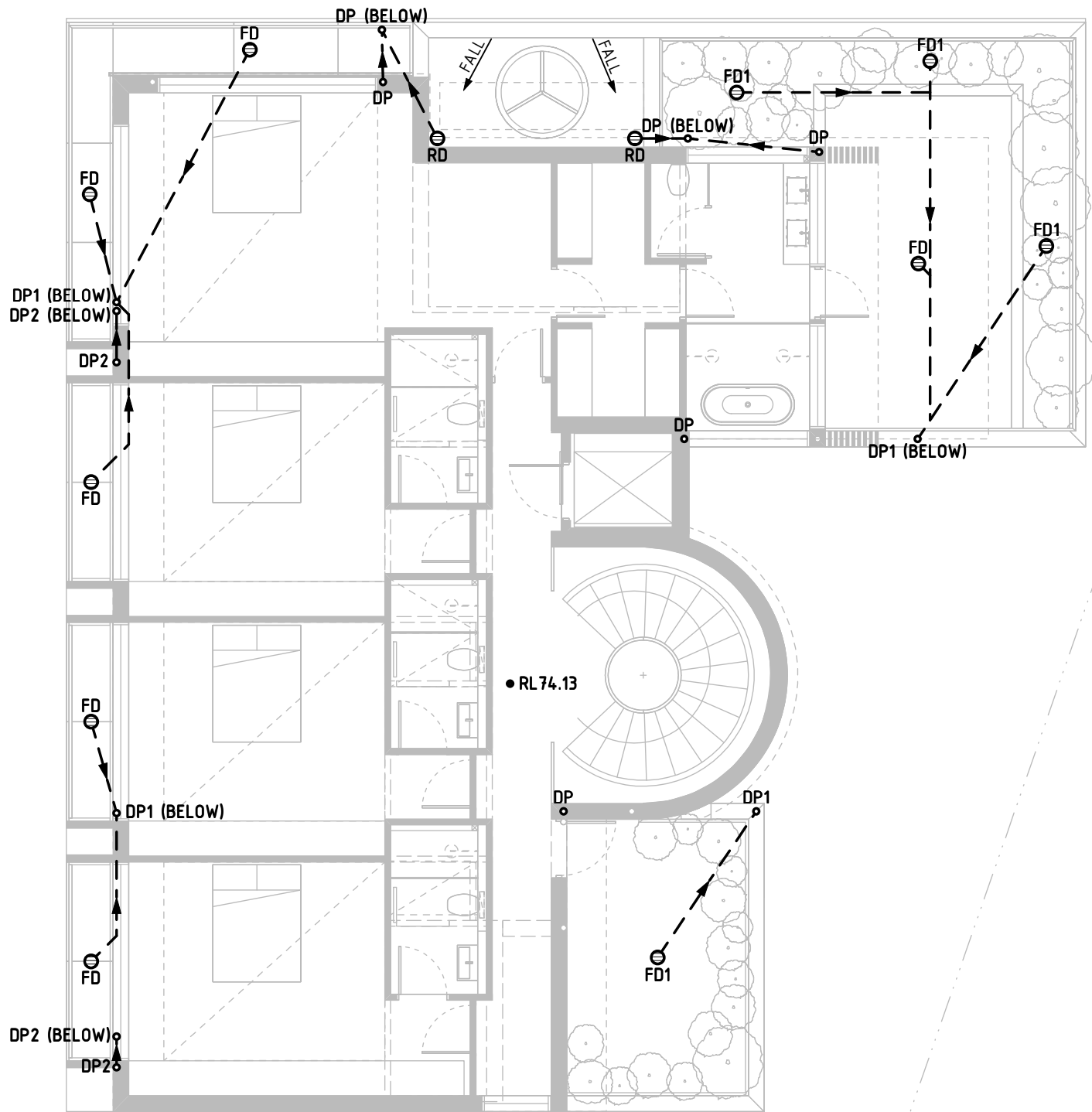
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ARCHITECT
STUDIO JLA
CLIENT
CHRIS MA

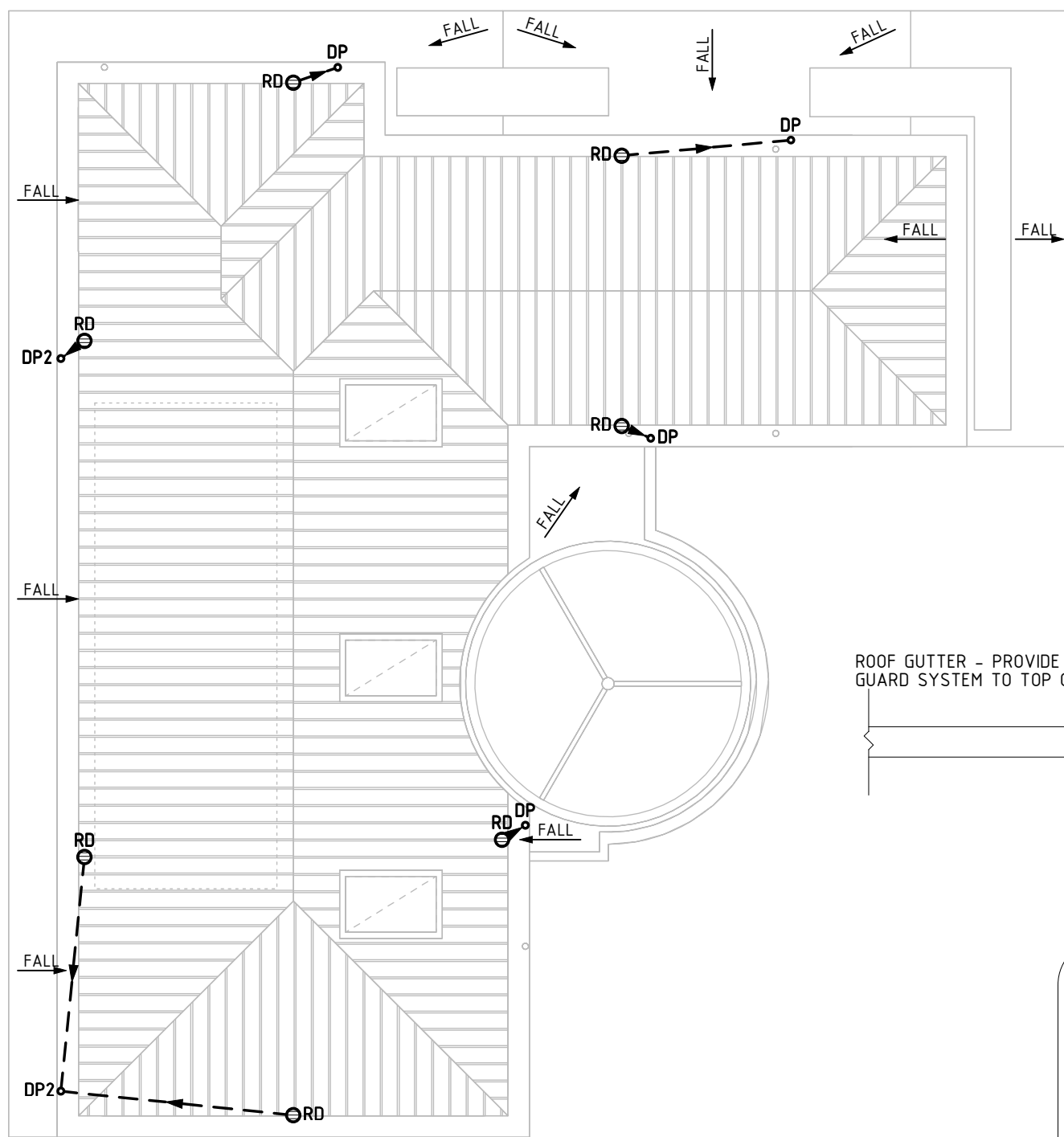
STATUS	ISSUE FOR COURT SUBMISSION	DATE	OCT 2018
PROJECT	14 GOLF LINKS ROAD, KILLARA	DESIGNED	DM
DRAWING	STORMWATER MANAGEMENT PLAN 1 - OPTION 1	SCALE	REFER DWG
		PAGE SIZE	A1
		CHECKED	DI
		REVISION	D
		PROJECT NUMBER	180816
		DRAWING NUMBER	D03



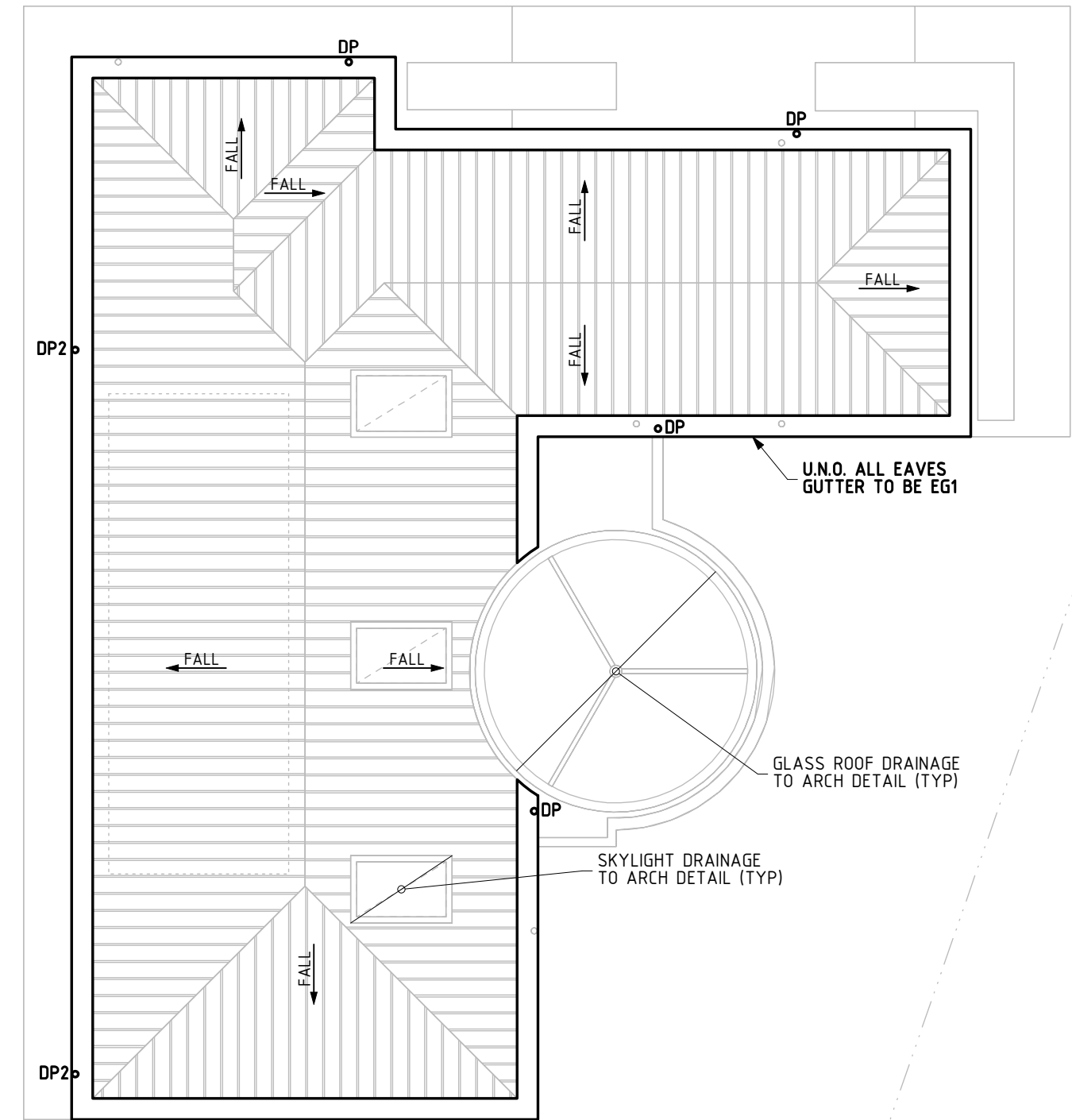
GROUND FLOOR DRAINAGE & PART SITE STORMWATER MANAGEMENT PLAN
1:100



LEVEL 1 FLOOR DRAINAGE PLAN
1:100



LOWER ROOF DRAINAGE PLAN
1:100

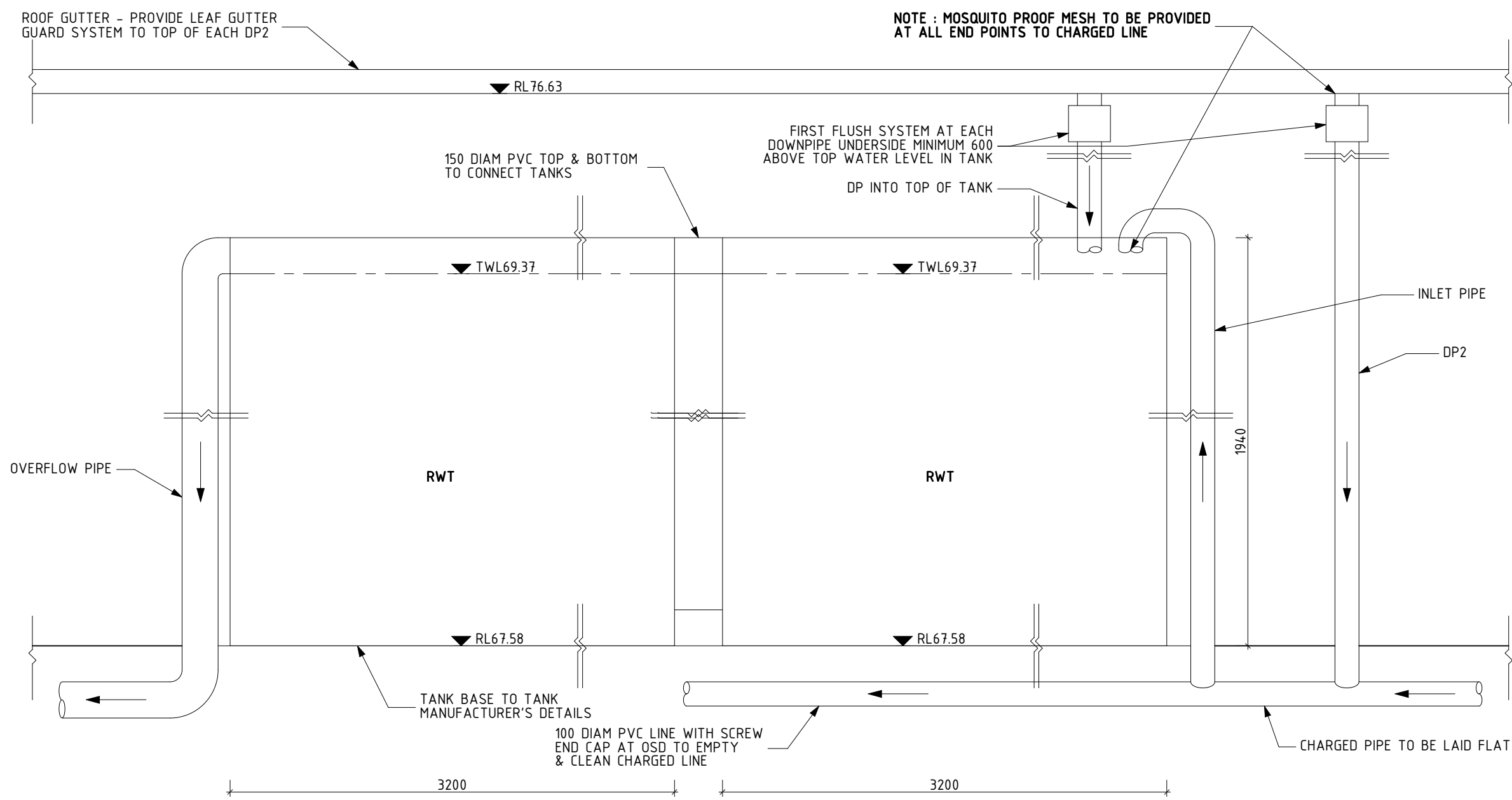


UPPER ROOF DRAINAGE PLAN

1:100

MARK	SIZE/TYPE	FSL	INV
PIT 3	450x450 PIT WITH GRATED LID	71.18	70.68
PIT 4	450x450 PIT WITH GRATED LID	70.03	69.53
GD3	100 WIDE x 100 DEEP GRATED DRAIN	71.16	71.06
FD	200 DIAMETER FLOOR DRAIN	-	-
FD1	200 DIAMETER FLOOR DRAIN (PLANTER)	-	-
DP	100 DIAMETER PVC DOWNPIPE	-	-
DP1	100 DIAMETER PVC DOWNPIPE TO COLLECT WATER FROM BALCONY & TERRACE ONLY	-	-
DP2	100 DIAMETER SEWER GRADE PVC PRESSURE SEALED CHARGED DOWNPIPE	-	-
EG1	CUSTOM EAVES GUTTER TO ARCH DETAILS. MIN CROSS SECTIONAL AREA 6000mm ²	-	-
RD	200 DIAMETER ROOF DRAIN	-	-

NOTE:
- ALL PIPES UNDER SUSPENDED FLOOR TO BE STRAPPED TO UNDERSIDE OF FLOOR STRUCTURE AT MIN 1%



TYPICAL SECTION RAINWATER RE-USE TANK RWT
NOT TO SCALE

REV.	DATE	REVISION DESCRIPTION	BY	REV.	DATE	REVISION DESCRIPTION	BY
D	12.10.21	ISSUE FOR COURT SUBMISSION	DI				
1	12.10.21	AMENDED AS PER ARCH REQUEST. ISSUE FOR REVIEW ONLY	DI				
C	30.09.21	AMENDED AS PER ARCH REQUEST. ISSUE FOR COURT SUBMISSION	DI				
B	29.09.21	ISSUE FOR COURT SUBMISSION	DI				
A	05.03.21	ISSUE FOR S4.55 SUBMISSION ONLY	DI				

ARCHITECT	STUDIO JLA
CLIENT	CHRIS MA

STATUS	ISSUE FOR COURT SUBMISSION	DATE	OCT 2018
PROJECT	14 GOLF LINKS ROAD, KILLARA	PROJECT NUMBER	180816
DRAWING	STORMWATER MANAGEMENT PLAN 2 - OPTION 1	DRAWING NUMBER	D04