

APRIL 2021 DEVELOPMENT APPLICATION- REVISION D

# NEW GENERATION BOARDING HOUSE & STUDENT ACCOMMODATION 61 FENNELL ST, NORTH PARRAMATTA

CLIENT : - WARINGA NO. 1 PTY LTD, GLEXIBAN NOMINEES PTY LTD, F CAGNONI, E M A CAGNONI & M J CAGNONI

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1. CONCESSION SOUGHT TO GROUND FLOOR COMMUNAL KITCHEN AREA BY PROVIDING ATLEAST 2.0SQM OF KITCHENETTE IN EACH RESIDENT'S ROOM
2. EACH RESIDENT PROVIDED WITH MINIMUM 1M<sup>3</sup> OF LOCKABLE STORAGE SPACE IN THEIR UNITS
3. FLOOR FINISHES TO BE IMPERVIOUS, WASHABLE AND FLAME RESISTANT.
4. HARD WIRED SMOKE DETECTORS TO ALL BEDROOMS AND COMMUNAL AREAS.
5. PORTABLE FIRE EXTINGUISHERS & FIRE BLANKETS TO KITCHENETTES & COMMUNAL KITCHENS.
6. ALL FURNITURE & FITTINGS TO BE PROVIDED
7. FLY SCREENS TO ALL OPENABLE WINDOWS & DOORS
8. LIQUID SOAP DISPENSERS TO ALL HANDBASINS, SHOWERS, BATHS AND LAUNDRY TTUBS.
9. PHONE POINT TO COMMUNAL AREAS FOR EMERGENCY.
10. SAFETY SWITCHES TO ELECTRICAL METER BOXES
11. ONE TV ANTENA PROVIDED TO DEVELOPMENT
12. MIRROR, TABLE, 1 PHONE CONNECTION, 2 TWIN ELECTRICAL POWER POINTS, 1 TV OUTLET TO BE PROVIDED PER UNIT.
13. 1 CHAIR AND 1 LAMP TO BE PROVIDED PER RESIDENT IN EACH UNIT.
14. SEPARATE WASTE AND RECYCLING CONTAINERS PER UNIT
15. WINDOW COVERINGS
16. HOT & COLD WATER TO KITCHENETTES, ENSUITES, COMMUNAL KITCHENS & LAUNDRY, SHOWERS, HANDBASINS, SINKS & TUBS.
17. EACH UNIT TO BE KEY LOCKABLE
18. ALL WINDOWS TO BE KEY LOCKABLE
19. 2.5M OF CLOTHESLINE PER RESIDENT

1. REFRIGERATOR STORAGE SPACE AT 0.13M<sup>3</sup> PER RESIDENT
2. FREEZER STORAGE AT 0.05M<sup>3</sup> PER RESIDENT
3. STORAGE FOR DRY GOODS 0.3M<sup>3</sup> PER RESIDENT
4. ALL WHITEGOODS INCLUDING LAUNDRY TO BE 3.5 STAR RATED OR BETTER.
5. TO BE PROVIDED WITH MICROWAVE OVEN, TOASTER, KETTLE, WASTE AND RECYCLING STORAGE BINS
6. KITCHEN TO HAVE EXHAUST VENTILATION.
7. LOCKABLE DRAWER OR CUPBOARD PER RESIDENT

	EXTERNAL WALL 200MM THICK- CONCRETE
	EXTERNAL WALL- BRICK VENEER WALL
	EXTERNAL WALL- LIGHT WEIGHT WITH METAL CLADDING
	INTERNAL WALLS BETWEEN UNITS- MASONRY ACOUSTIC/ FIRE RATED 200MM THICK
	INTERNAL STEEL STUD WALLS WITH CAVITY SLIDERS FOR ENSUITE-100MM THICK
	100MM MASONRY WALL

BR-1 FEATURE BRICK CLADDING- BOWRAL BROWN

MC METAL CLADDING- SCYON AXON PAINTED  
DULUX 'DOMINO'

1. WASTE MANAGEMENT PROVISION:  
4 X 240 LITRE GENERAL WASTE BIN  
4 X 240 LITRE RECYCLABLE WASTE BIN  
1 X 240 LITRE ORGANIC WASTE BIN
2. COMMUNAL LAUNDRY PROVISION:  
2 X LAUNDRY TUBS  
2 X LAUNDRY MACHINES  
2 X DRYERS  
LIQUID SOAP DISPENSERS.
3. COMMUNAL LAUNDRY TO BE MECHANICALLY VENTILATED
4. REFER TO HYDRAULIC ENGINEER'S DRAWINGS FOR STORMWATER PIT DETAILS.

SCALE 1:100@A2

- 1) 2M SETBACK TO BUILDING FROM BRICKFIELD ST
- 2) OVERALL REDUCTION IN BUILDING HEIGHT BY 600MM-  
NEW FLOOR TO FLOOR HEIGHT = 2800MM
- 3) PLANTER BED ABOVE CAR LIFT ROOF REMOVED
- 4) FLOOD ENERGY DISSIPATOR WALL REMOVED
- 5) GROUND TO FIRST FLOOR- EXTERNAL WALL BRICK VENEER FINISH
- 6) SECOND FLOOR WALL CONSTRUCTION CHANGED TO LIGHT WEIGHT TYPE WITH METAL  
CLADDING TO EXTERNAL
- 7) VERTICAL METAL BALUSTRADE TO 2ND FLOOR COMMUNAL TERRACE



PROJECT  
61 FENNEL ST,  
NORTH PARRAMATTA  
NSW. 2151

CLIENT  
WARINGA NO 1 PTY LTD  
GLEXBIAN NOMINEES PTY LTD  
F CAGNONI, E M A CAGNONI & M J CAGNONI

PROJECT NO  
2017-125

**REVISION D**

**BASEMENT 2 FLOOR  
PLAN  
RL 4.65**

**B. 01/D**



NOTE GENERAL:

1. CONCESSION SOUGHT TO GROUND FLOOR COMMUNAL KITCHEN AREA BY PROVIDING ATLEAST 2.0SQM OF KITCHENETTE IN EACH RESIDENT'S ROOM
2. EACH RESIDENT PROVIDED WITH MINIMUM 1M³ OF LOCKABLE STORAGE SPACE IN THEIR UNITS
3. FLOOR FINISHES TO BE IMPERVIOUS, WASHABLE AND FLAME RESISTANT.
4. HARD WIRED SMOKE DETECTORS TO ALL BEDROOMS AND COMMUNAL AREAS.
5. PORTABLE FIRE EXTINGUISHERS & FIRE BLANKETS TO KITCHENETTES & COMMUNAL KITCHENS.
6. ALL FURNITURE & FITTINGS TO BE PROVIDED
7. FLY SCREENS TO ALL OPENABLE WINDOWS & DOORS
8. LIQUID SOAP DISPENSERS TO ALL HANDBASINS, SHOWERS, BATHS AND LAUNDRY TTUBS.
9. PHONE POINT TO COMMUNAL AREAS FOR EMERGENCY.
- 10.SAFETY SWITCHES TO ELECTRICAL METER BOXES
- 11.ONE TV ANTENA PROVIDED TO DEVELOPMENT
- 12.MIRROR, TABLE, 1 PHONE CONNECTION, 2 TWIN ELECTRICAL POWER POINTS, 1 TV OUTLET TO BE PROVIDED PER UNIT.
- 13.1 CHAIR AND 1 LAMP TO BE PROVIDED PER RESIDENT IN EACH UNIT.
- 14.SEPARATE WASTE AND RECYCLING CONTAINERS PER UNIT
- 15.WINDOW COVERINGS
- 16.HOT & COLD WATER TO KITCHENETTES, ENSUITES, COMMUNAL KITCHENS & LAUNDRY, SHOWERS, HANDBASINS, SINKS & TUBS.
- 17.EACH UNIT TO BE KEY LOCKABLE
- 18.ALL WINDOWS TO BE KEY LOCKABLE
- 19.2.5M OF CLOTHESLINE PER RESIDENT

NOTES FOR COMMUNAL KITCHEN:

1. REFRIGERATOR STORAGE SPACE AT 0.13M³ PER RESIDENT
2. FREEZER STORAGE AT 0.05M³ PER RESIDENT
3. STORAGE FOR DRY GOODS 0.3M³ PER RESIDENT
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6. KITCHEN TO HAVE EXHAUST VENTILATION.
7. LOCKABLE DRAWER OR CUPBOARD PER RESIDENT

WALL LEGEND

- EXTERNAL WALL  
200MM THICK- CONCRETE
- EXTERNAL WALL-  
BRICK VENEER WALL
- EXTERNAL WALL- LIGHT WEIGHT WITH METAL  
CLADDING
- INTERNAL WALLS BETWEEN  
UNITS- MASONRY ACOUSTIC/ FIRE RATED  
200MM THICK
- INTERNAL STEEL STUD WALLS  
WITH CAVITY SLIDERS FOR  
ENSUITE-100MM THICK
- 100MM MASONRY WALL

EXTERNAL WALL FINISHES

- BR-1 FEATURE BRICK CLADDING- BOWRAL BROWN
- MC METAL CLADDING- SCYON AXON PAINTED DULUX 'DOMINO'

NOTE:

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2 X LAUNDRY TUBS  
2 X LAUNDRY MACHINES  
2 X DRYERS  
LIQUID SOAP DISPENSERS.
3. COMMUNAL LAUNDRY TO BE MECHANICALLY VENTILATED
4. REFER TO HYDRAULIC ENGINEER'S DRAWINGS FOR STORMWATER PIT DETAILS.

REVISION D

BASEMENT 1 FLOOR  
PLAN  
RL 7.35  
B\_02/D

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  - 7) VERTICAL METAL BALUSTRADE TO 2ND FLOOR COMMUNAL TERRACE

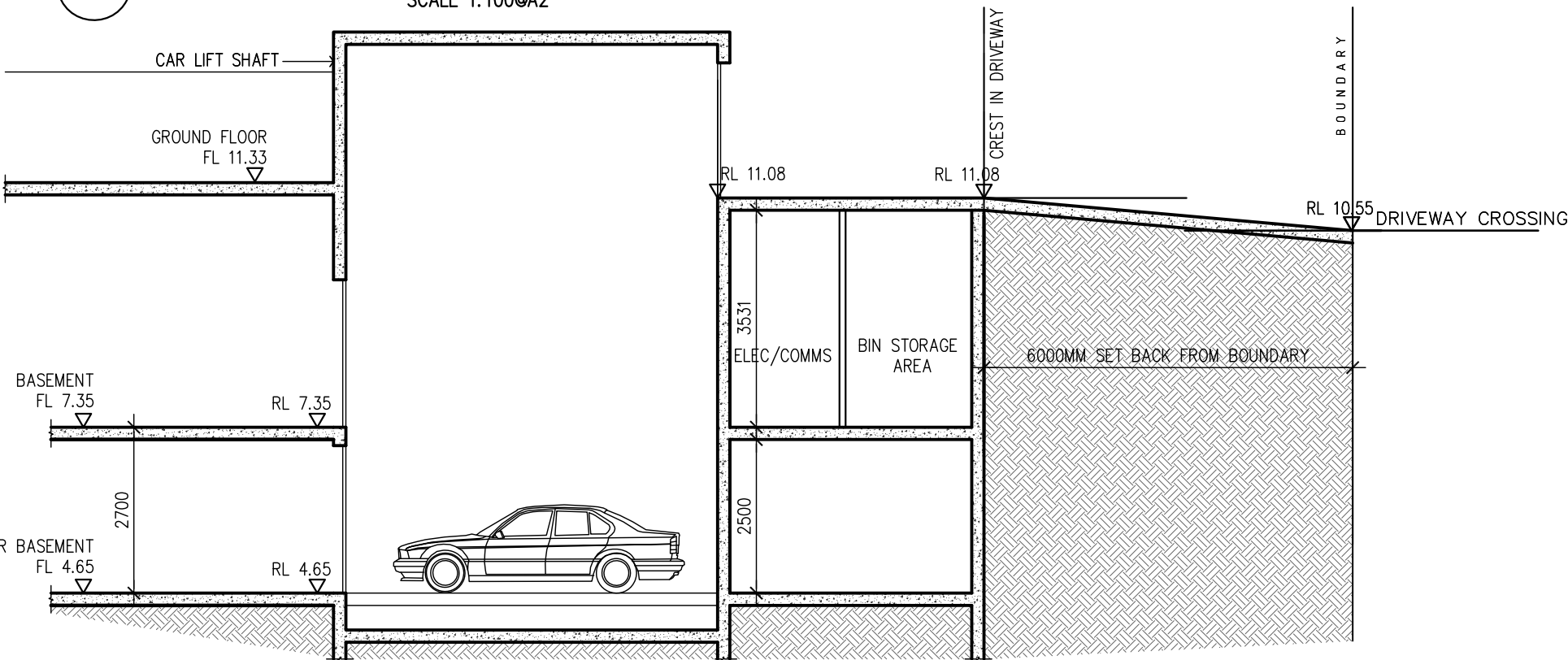
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APR 2021	D	REVISED SUBMISSION	ZK/JF/KQ	WK

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Architecture  
Interior Design  
Project Management

01 BASEMENT 1 FLOOR PLAN

SCALE 1:100@A2



01 DRIVEWAY TO BASEMENT SECTION

SCALE 1:100@A2

OUTLINE OF BUILDING ABOVE  
CANTILEVERED AT RL11.0 (VOID  
BELOW TO GROUND LEVEL)

EXTERNAL WALL-  
BRICK VENEER WALL

INTERNAL WALLS BETWEEN  
UNITS- MASONRY ACOUSTIC/ FIRE RATED  
200MM THICK

INTERNAL STEEL STUD WALLS  
WITH CAVITY SLIDERS FOR  
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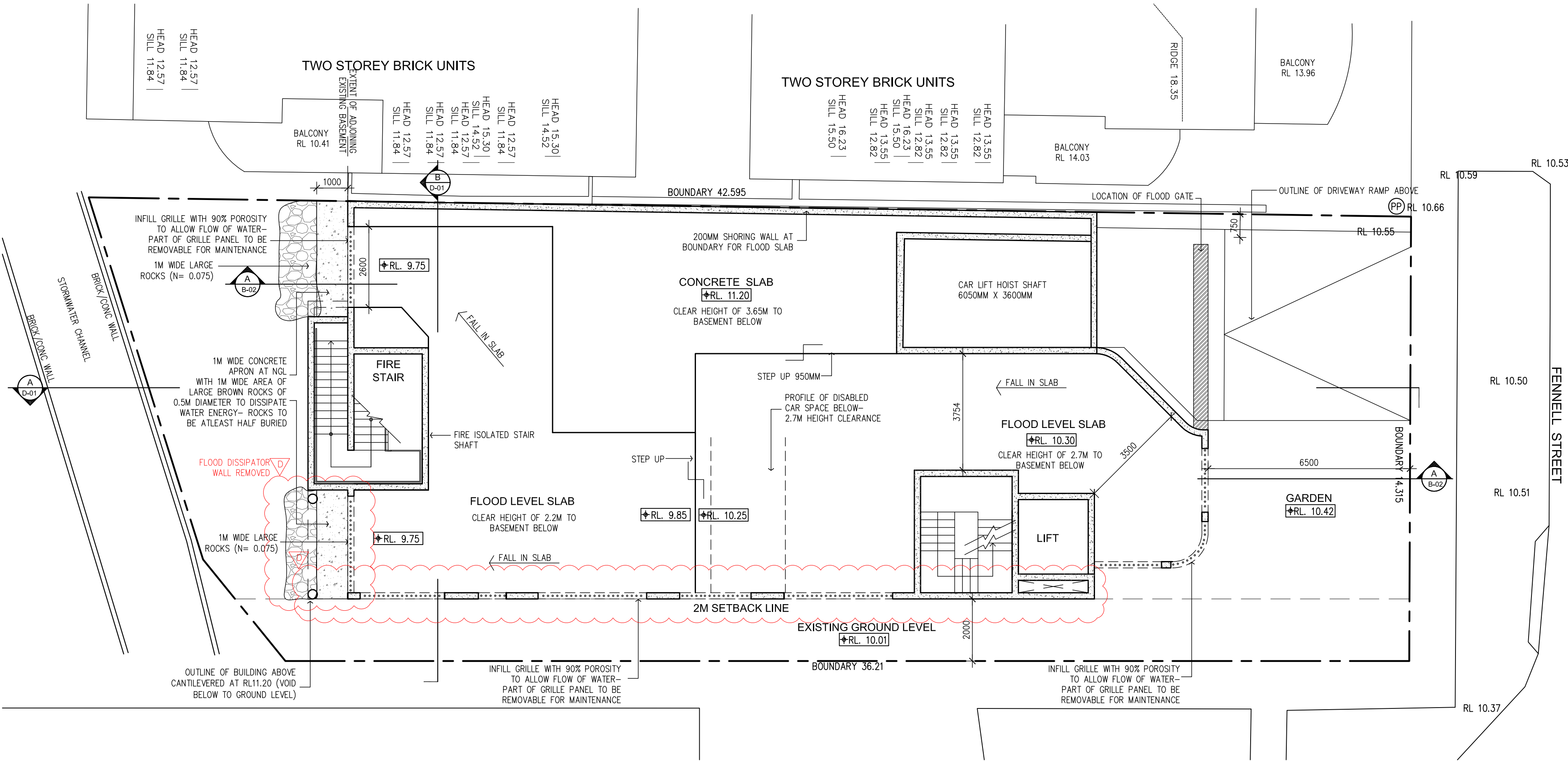
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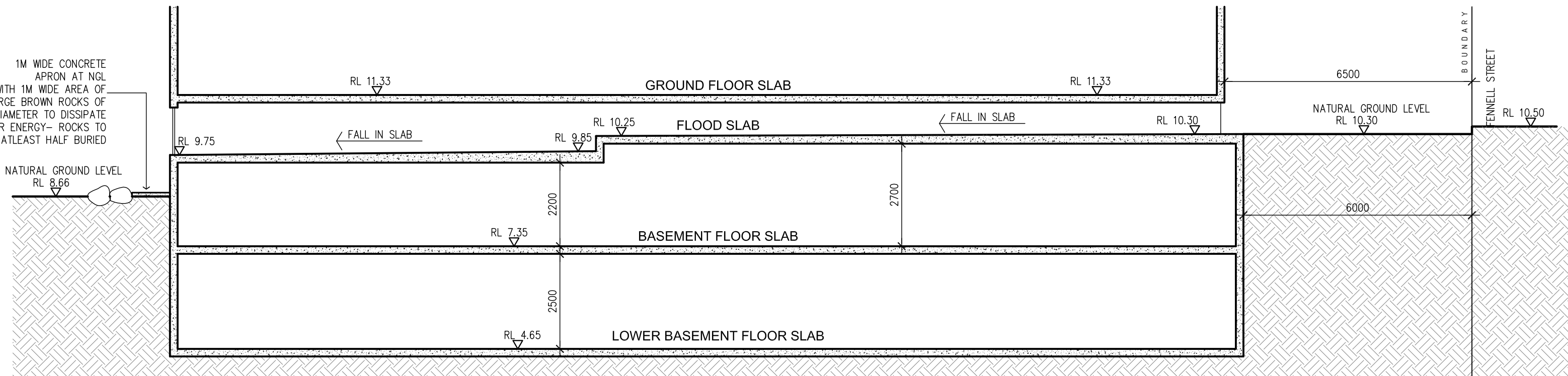
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01 FLOOD VOID FLOOR PLAN  
SCALE 1:100@A2



01 SECTION A THROUGH FLOOD VOID  
SCALE 1:100@A2

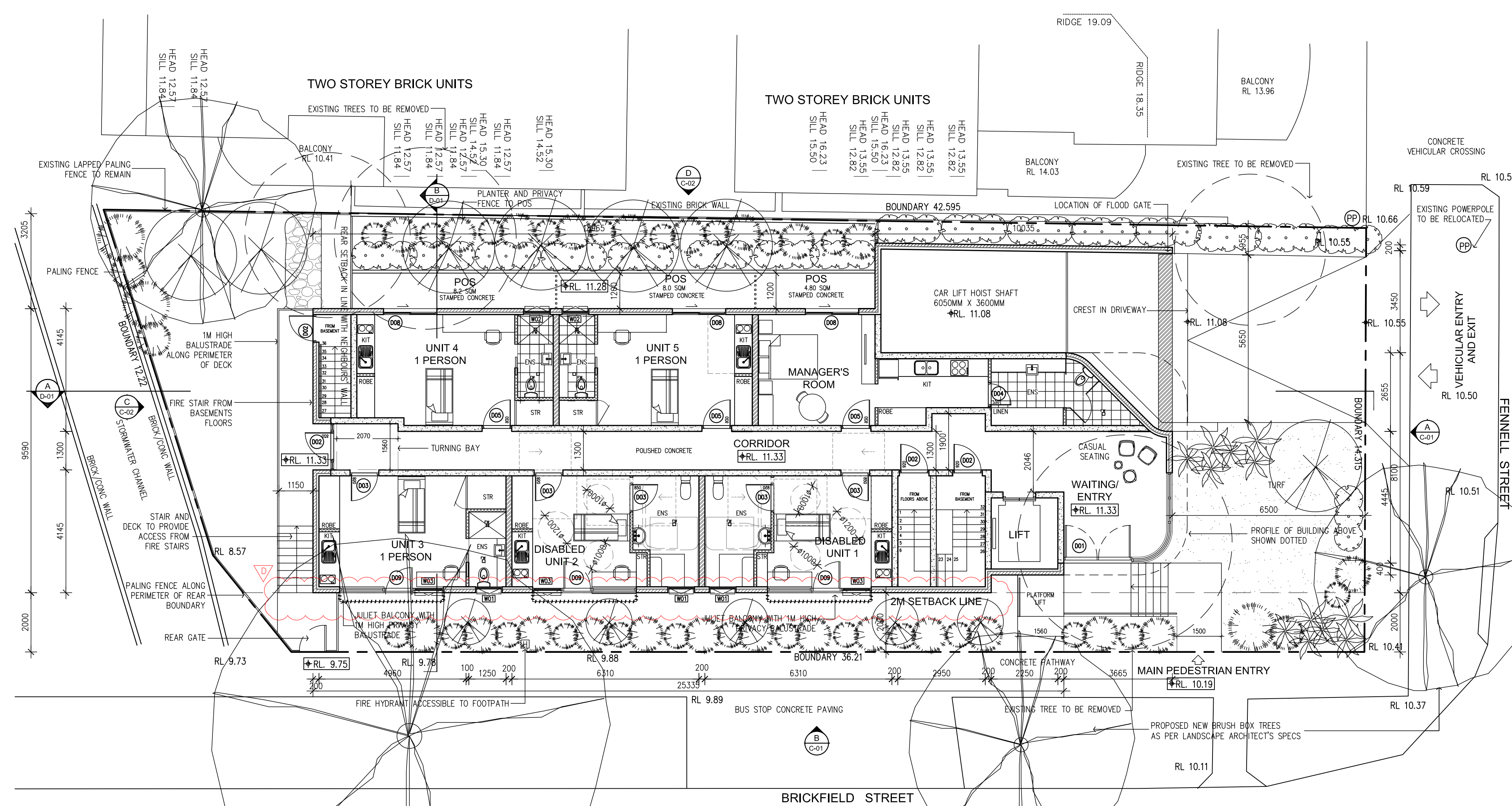
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  - SECOND FLOOR WALL CONSTRUCTION CHANGED TO LIGHT WEIGHT TYPE WITH METAL CLADDING TO EXTERNAL
  - VERTICAL METAL BALUSTRADE TO 2ND FLOOR COMMUNAL TERRACE







01 GROUND FLOOR PLAN  
SCALE 1:100@A2

NOTE GENERAL:

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WALL LEGEND

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REVISION D

GROUND FLOOR PLAN  
RL 11.33  
B\_04/D

bossdesign

Architecture  
Interior Design  
Project Management

BOSS DESIGN PTY LTD  
PO BOX 3032, TELEPEA, NSW, 2117  
TELEPHONE: (02) 9071 9474  
FACSIMILE: (02) 9080 2700  
  
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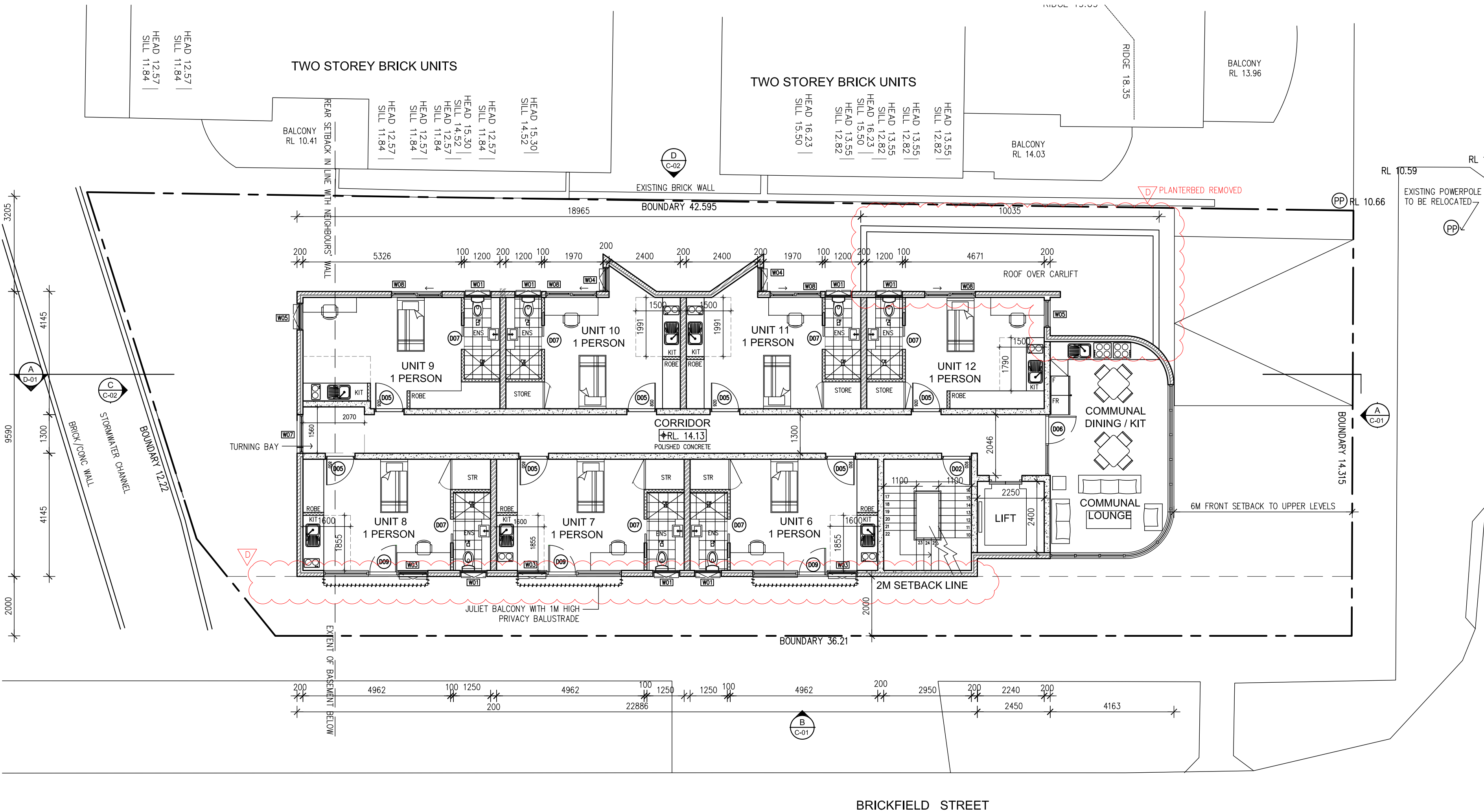
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01 FIRST FLOOR PLAN  
SCALE 1:100@A2

REVISION D

Architecture  
Interior Design  
Project Management

BOSS DESIGN PTY LTD  
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TELEPHONE: (02) 9071 9474  
FACSIMILE: (02) 9080 2700

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NOV 2020	C	REVISED SUBMISSION	ZK/KQ	WK
APR 2021	D	REVISED SUBMISSION	ZK/JF/KQ	WK

REV D NOTES:

- 2M SETBACK TO BUILDING FROM BRICKFIELD ST
- OVERALL REDUCTION IN BUILDING HEIGHT BY 600MM- NEW FLOOR TO FLOOR HEIGHT = 2800MM
- PLANTER BED ABOVE CAR LIFT ROOF REMOVED
- FLOOD ENERGY DISSIPATOR WALL REMOVED
- GROUND TO FIRST FLOOR- EXTERNAL WALL BRICK VENEER FINISH
- SECOND FLOOR WALL CONSTRUCTION CHANGED TO LIGHT WEIGHT TYPE WITH METAL CLADDING TO EXTERNAL
- VERTICAL METAL BALUSTRADE TO 2ND FLOOR COMMUNAL TERRACE

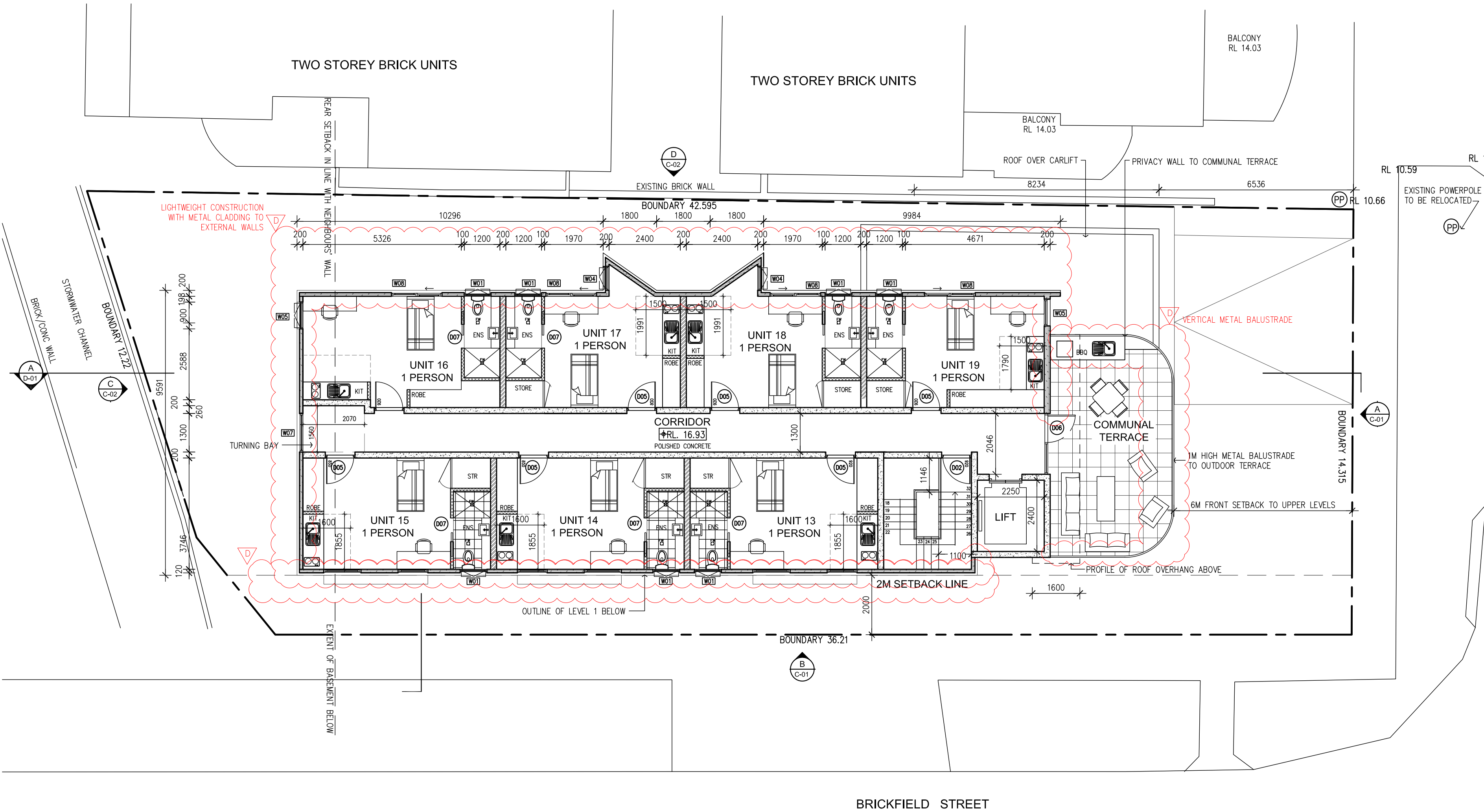
PROJECT  
61 FENNELL ST.  
NORTH PARRAMATTA  
NSW. 2151

CLIENT  
WARINGA NO 1 PTY LTD  
GLEXBIAN NOMINEES PTY LTD  
F CAGNONI, E M A CAGNONI & M J CAGNONI

PROJECT NO  
2017-125

FIRST FLOOR  
PLAN  
RL 14.13  
B\_05/D





01 SECOND FLOOR PLAN  
SCALE 1:100@A2

NOTE GENERAL:

- CONCESSION SOUGHT TO GROUND FLOOR COMMUNAL KITCHEN AREA BY PROVIDING ATLEAST 2.0SQM OF KITCHENETTE IN EACH RESIDENT'S ROOM
- EACH RESIDENT PROVIDED WITH MINIMUM 1M<sup>3</sup> OF LOCKABLE STORAGE SPACE IN THEIR UNITS
- FLOOR FINISHES TO BE IMPERVIOUS, WASHABLE AND FLAME RESISTANT.
- HARD WIRED SMOKE DETECTORS TO ALL BEDROOMS AND COMMUNAL AREAS.
- PORTABLE FIRE EXTINGUISHERS & FIRE BLANKETS TO KITCHENETTES & COMMUNAL KITCHENS.
- ALL FURNITURE & FITTINGS TO BE PROVIDED
- FLY SCREENS TO ALL OPENABLE WINDOWS & DOORS
- LIQUID SOAP DISPENSERS TO ALL HANDBASINS, SHOWERS, BATHS AND LAUNDRY TTUBS.
- PHONE POINT TO COMMUNAL AREAS FOR EMERGENCY.
- SAFETY SWITCHES TO ELECTRICAL METER BOXES
- ONE TV ANTENA PROVIDED TO DEVELOPMENT
- MIRROR, TABLE, 1 PHONE CONNECTION, 2 TWIN ELECTRICAL POWER POINTS, 1 TV OUTLET TO BE PROVIDED PER UNIT.
- 1 CHAIR AND 1 LAMP TO BE PROVIDED PER RESIDENT IN EACH UNIT.
- SEPARATE WASTE AND RECYCLING CONTAINERS PER UNIT
- WINDOW COVERINGS
- HOT & COLD WATER TO KITCHENETTES, ENSUITES, COMMUNAL KITCHENS & LAUNDRY, SHOWERS, HANDBASINS, SINKS & TUBS.
- EACH UNIT TO BE KEY LOCKABLE
- ALL WINDOWS TO BE KEY LOCKABLE
- 2.5M OF CLOTHESLINE PER RESIDENT

NOTES FOR COMMUNAL KITCHEN:

- REFRIGERATOR STORAGE SPACE AT 0.13M<sup>3</sup> PER RESIDENT
- FREEZER STORAGE AT 0.05M<sup>3</sup> PER RESIDENT
- STORAGE FOR DRY GOODS 0.3M<sup>3</sup> PER RESIDENT
- ALL WHITEGOODS INCLUDING LAUNDRY TO BE 3.5 STAR RATED OR BETTER.
- TO BE PROVIDED WITH MICROWAVE OVEN, TOASTER, KETTLE, WASTE AND RECYCLING STORAGE BINS
- KITCHEN TO HAVE EXHAUST VENTILATION.
- LOCKABLE DRAWER OR CUPBOARD PER RESIDENT

WALL LEGEND

- EXTERNAL WALL 200MM THICK- CONCRETE
- EXTERNAL WALL- BRICK VENEER WALL
- EXTERNAL WALL- LIGHT WEIGHT WITH METAL CLADDING
- INTERNAL WALLS BETWEEN UNITS- MASONRY ACOUSTIC/ FIRE RATED 200MM THICK
- INTERNAL STEEL STUD WALLS WITH CAVITY SLIDERS FOR ENSUITE-100MM THICK
- 100MM MASONRY WALL

EXTERNAL WALL FINISHES

- BR-1 FEATURE BRICK CLADDING- BOWRAL BROWN
- MC METAL CLADDING- SCYON AXON PAINTED DULUX 'DOMINO'

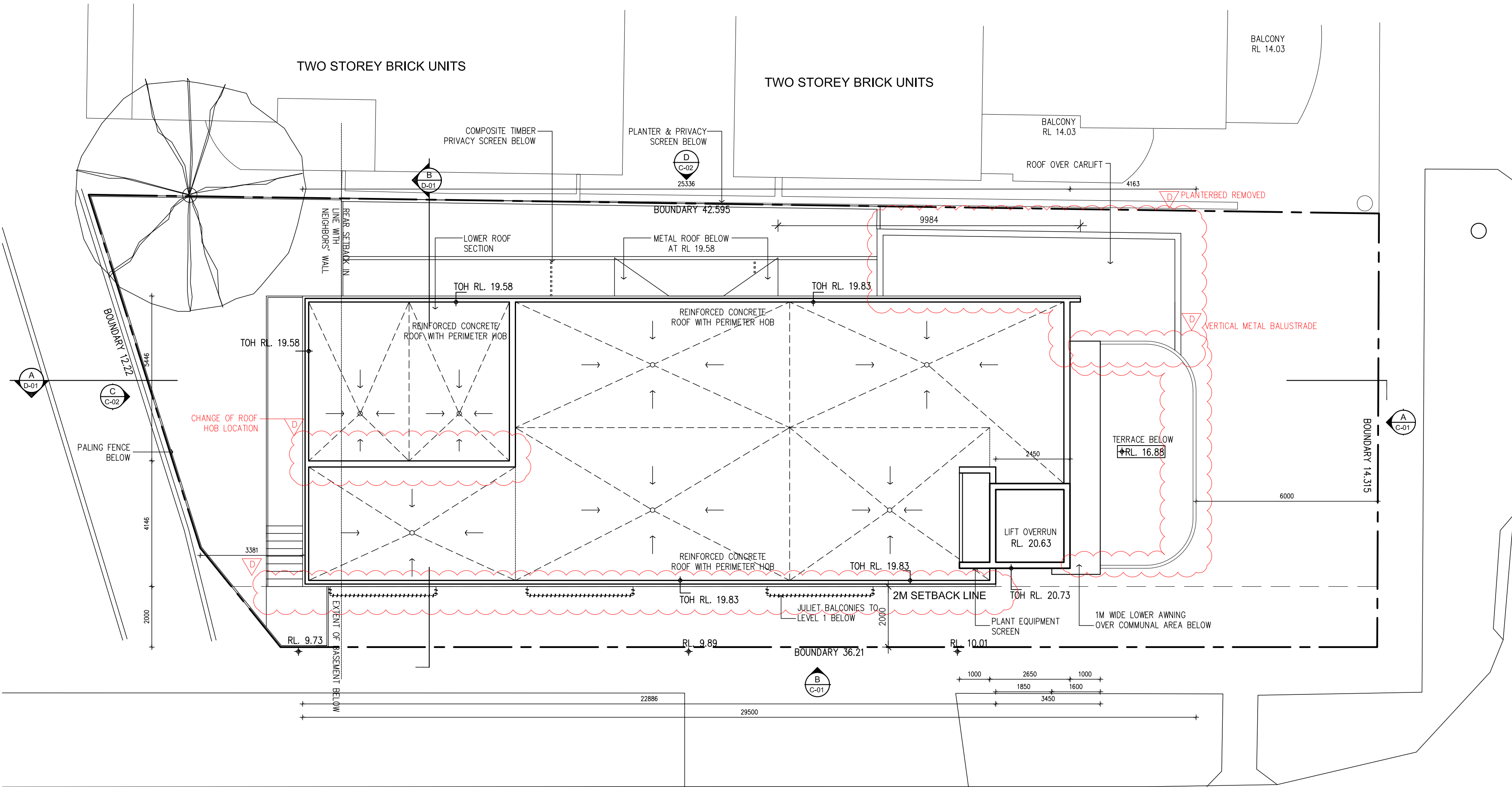
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19. 2.5M OF CLOTHESLINE PER RESIDENT

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- INTERNAL STEEL STUD WALLS WITH CAVITY SLIDERS FOR ENSUITE-100MM THICK
- 100MM MASONRY WALL

EXTERNAL WALL FINISHES

- BR-1 FEATURE BRICK CLADDING- BOWRAL BROWN
- MC METAL CLADDING- SCYON AXON PAINTED DULUX 'DOMINO'

01 ROOF PLAN

SCALE 1:100@A2

REVISION D

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


ROOF PLAN





- ## NOTES FOR COMMUNAL KITCHEN:
1. REFRIGERATOR STORAGE SPACE AT  $0.13\text{m}^3$  PER RESIDENT
  2. FREEZER STORAGE AT  $0.05\text{m}^3$  PER RESIDENT
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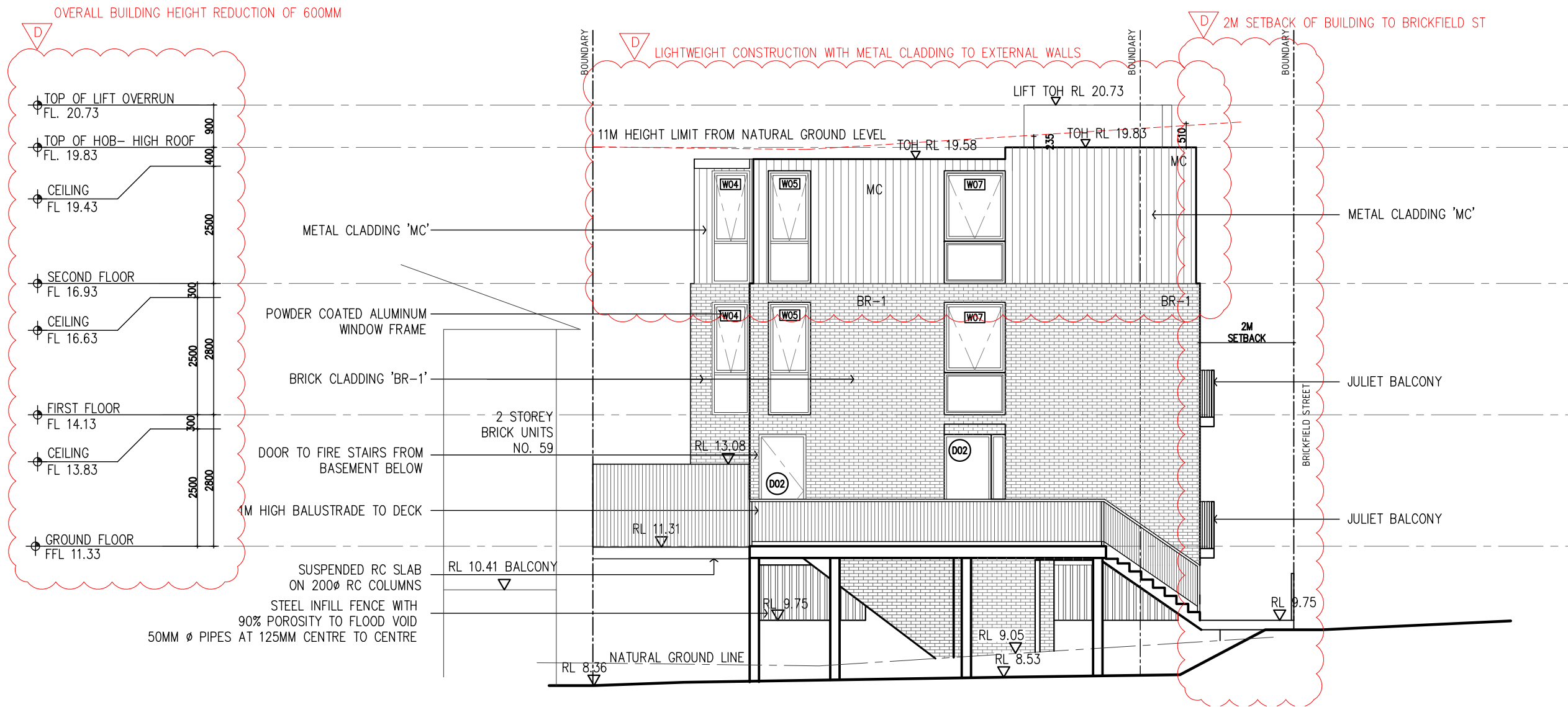
**EXTERNAL WALL FINISHES**

BR-1	FEATURE BRICK CLADDING— BOWRAL BROWN
MC	METAL CLADDING— SCYON AXON PAINTED DUIUX 'DOMINO'

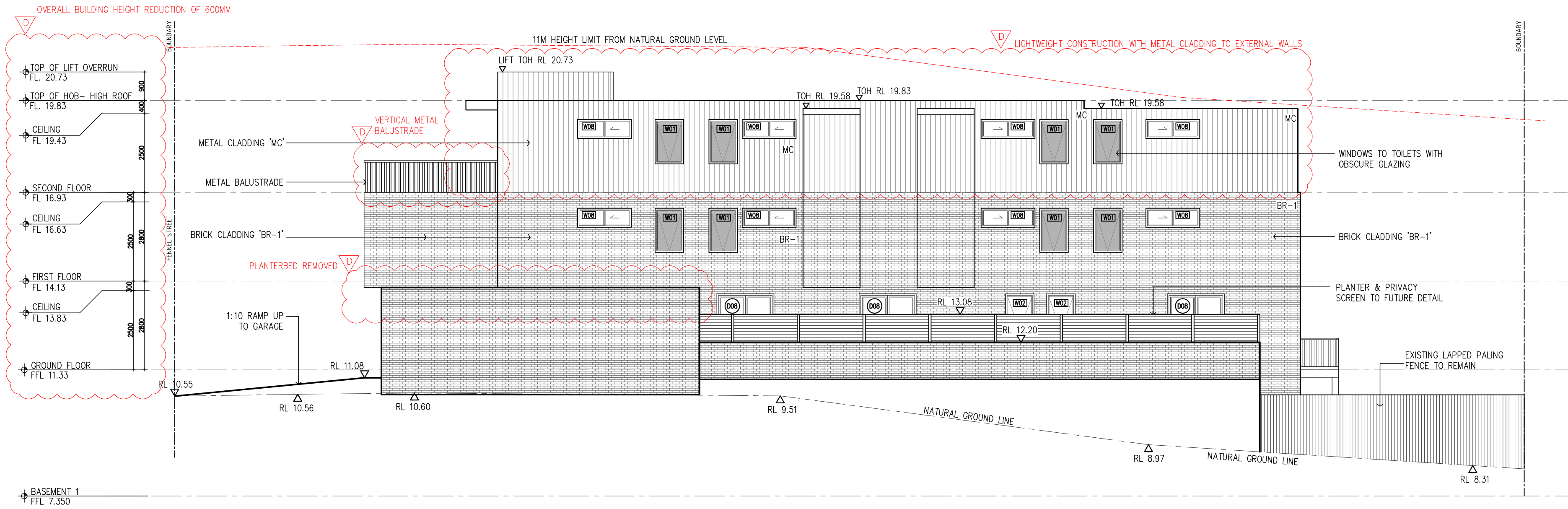
## ELEVATIONS

C\_01/D





03 ELEVATION C- SOUTH ELEVATION  
SCALE 1:100@A2



04 ELEVATION D- WEST ELEVATION  
SCALE 1:100@A2

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- BR-1 FEATURE BRICK CLADDING- BOWRAL BROWN
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REVISION D

ELEVATIONS

bossd<sub>esign</sub>

Architecture  
Interior Design  
Project Management

BOSS DESIGN PTY LTD  
PO BOX 3032, TEOLEPA, NSW, 2117  
TELEPHONE: (02) 9071 9474  
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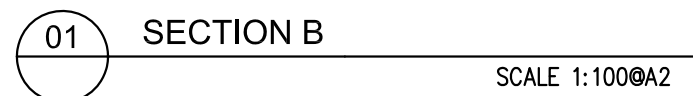
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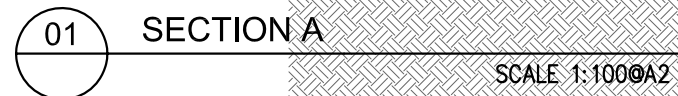
PROJECT  
61 FENNELL ST,  
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2017-125

C\_02/D



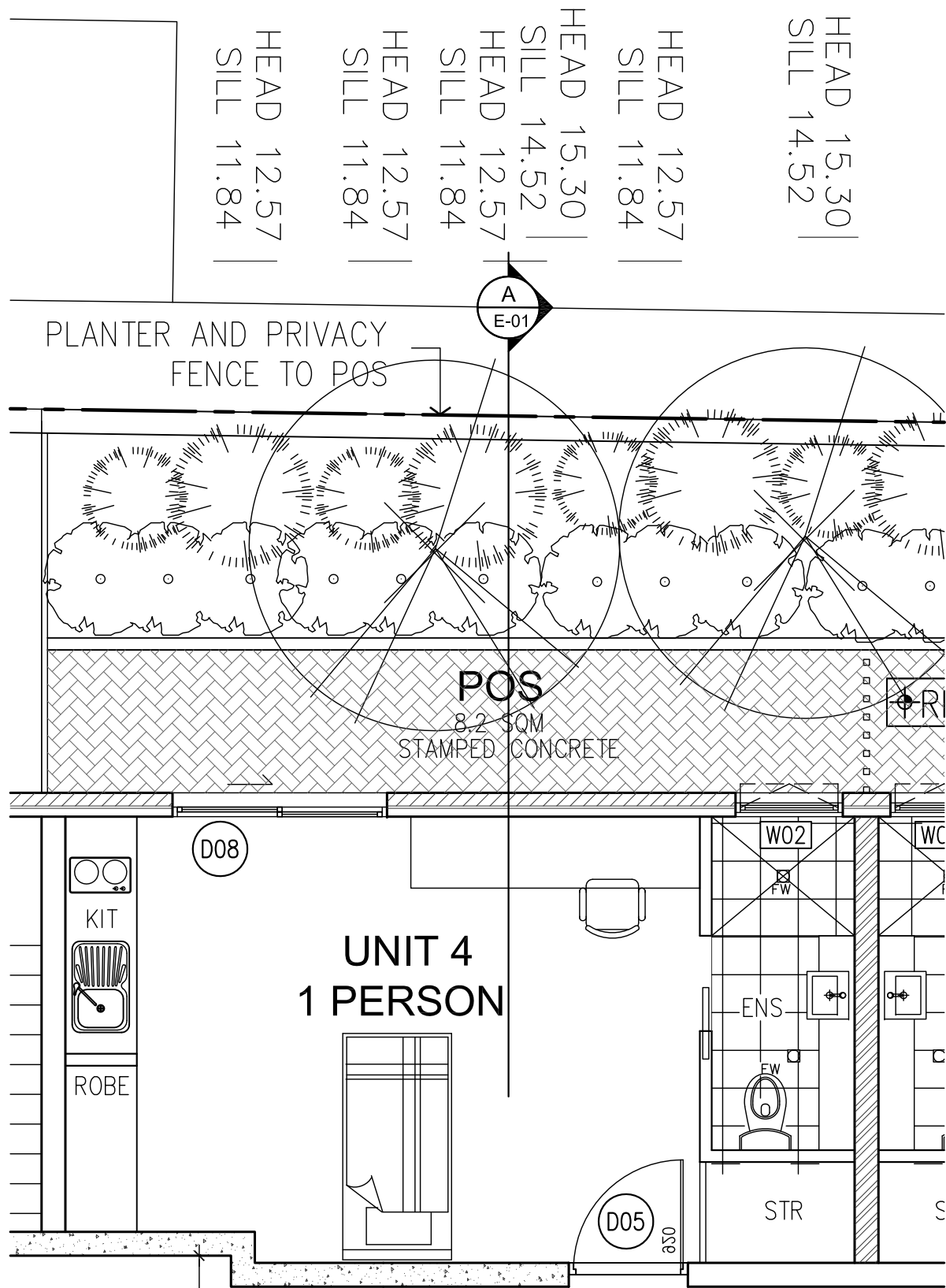


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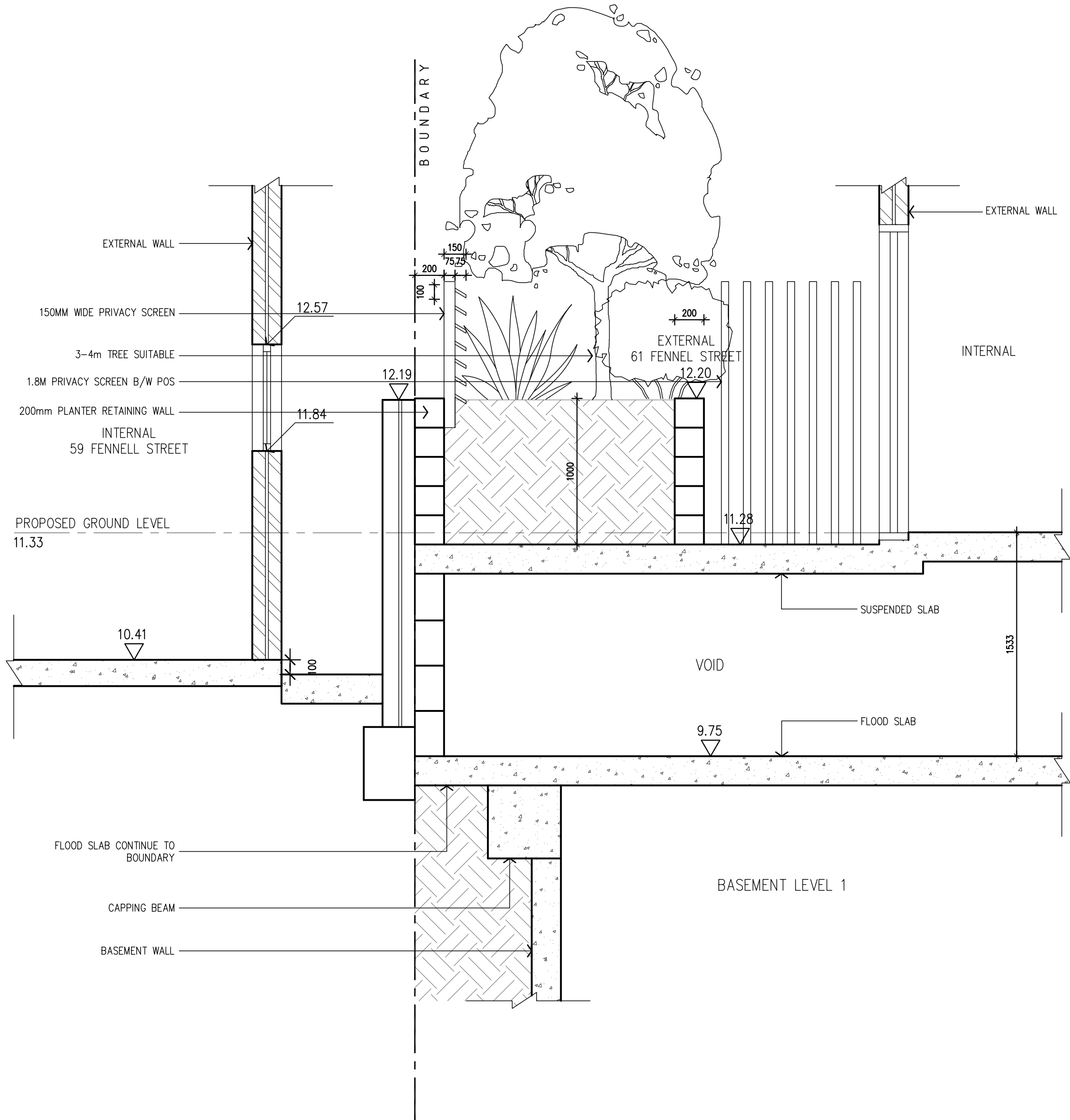


**D\_01/D**





01 OUTDOOR AREA DETAIL- PLAN  
SCALE 1:50@A2



A OUTDOOR AREA SECTION DETAIL  
SCALE 1:25@A2

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REVISION D

OUTDOOR AREA  
DETAIL

E\_01/D

bossdesign

Architecture  
Interior Design  
Project Management

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