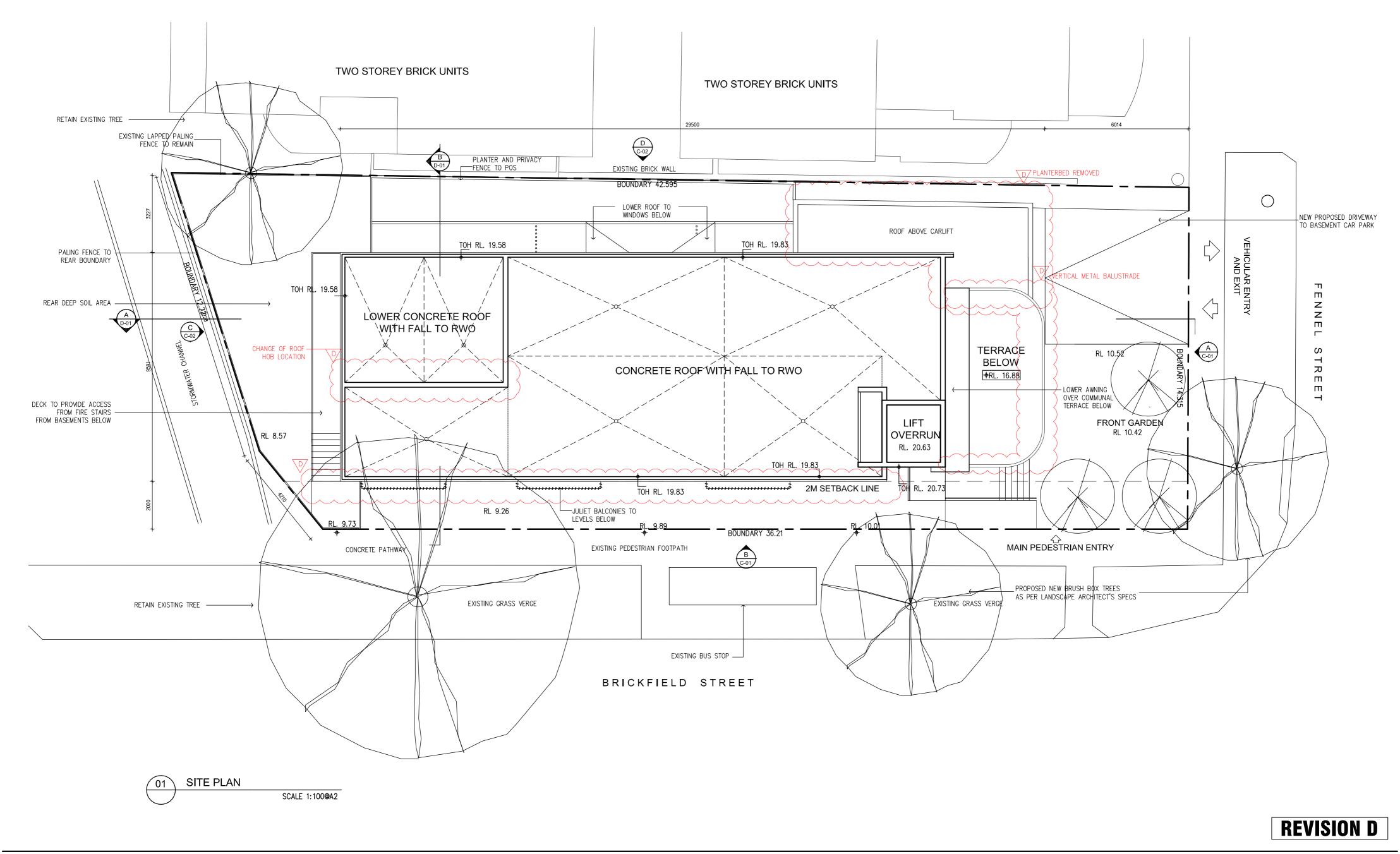
APRIL 2021 DEVELOPMENT APPLICATION- REVISION D

NEW GENERATION BOARDING HOUSE & STUDENT ACCOMMODATION 61 FENNELL ST, NORTH PARRAMATTA

CLIENT: - WARINGA NO. 1 PTY LTD, GLEXIBAN NOMINEES PTY LTD, F CAGNONI, E M A CAGNONI & M J CAGNONI

INDEX	SITE PLAN	A-01/D
	BASEMENT FLOOR PLAN	B-01/D
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Architecture Interior Design Project Management

PO BOX 3032, I ELD/PA, NSW. 2117
TELEPHONE (02) 9280 2700

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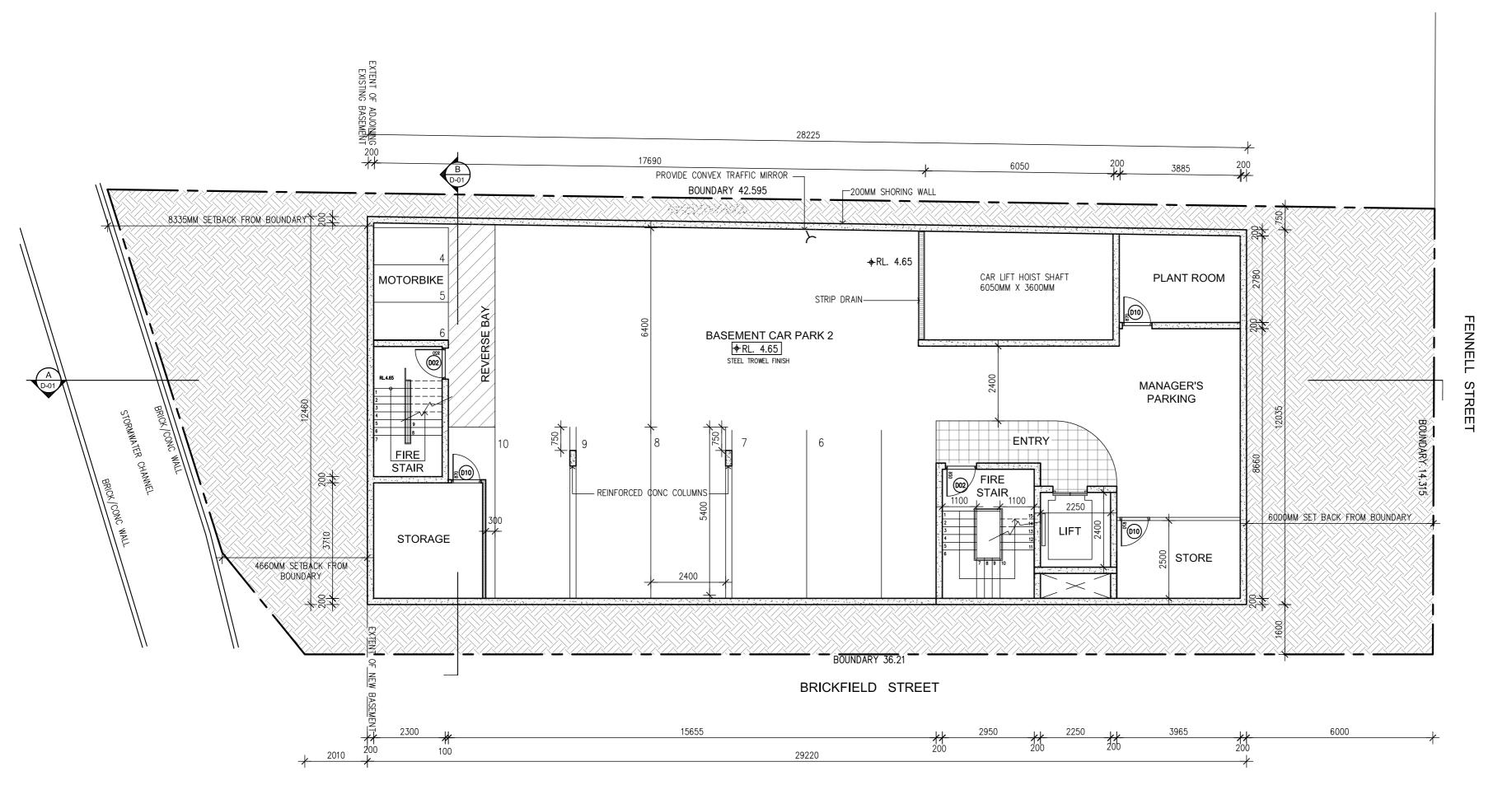
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PROJECT
61 FENNELL ST,
NORTH PARRAMATTA
NSW. 2151
CLIENT
WARINGA NO 1 PTY LTD
GLEXBIAN NOMINEES PTY LTD
F CAGNONI, E M A CAGNONI & M J CAGNONI
PROJECT NO
2017-125

SITE PLAN

A_01/D



BASEMENT 2 FLOOR PLAN SCALE 1:100@A2

NOTE GENERAL:

- 1. CONCESSION SOUGHT TO GROUND FLOOR COMMUNAL KITCHEN AREA BY PROVIDING ATLEAST 2.0SQM OF KITCHENETTE IN EACH
- 2. EACH RESIDENT PROVIDED WITH MINIMUM 1M3 OF LOCKABLE STORAGE SPACE IN THEIR UNITS
- 3. FLOOR FINISHES TO BE IMPERVIOUS, WASHABLE AND FLAME RESISTANT.
- 4. HARD WIRED SMOKE DETECTORS TO ALL BEDROOMS AND COMMUNAL AREAS.
- 5. PORTABLE FIRE EXTINGUISHERS & FIRE BLANKETS TO KITCHENETTES & COMMUNAL KITCHENS.
- 6. ALL FURNITURE & FITTINGS TO BE PROVIDED 7. FLY SCREENS TO ALL OPENABLE WINDOWS &
- 8. LIQUID SOAP DISPENSERS TO ALL HANDBASINS, SHOWERS, BATHS AND LAUNDRY TTUBS.
 9. PHONE POINT TO COMMUNAL AREAS FOR
- EMERGENCY.
- 10.SAFETY SWITCHES TO ELECTRICAL METER BOXES 11. ONE TV ANTENA PROVIDED TO DEVELOPMENT 12. MIRROR, TABLE, 1 PHONE CONNECTION, 2 TWIN ELECTRICAL POWER POINTS, 1 TV OUTLET TO BE
- PROVIDED PER UNIT. 13.1 CHAIR AND 1 LAMP TO BE PROVIDED PER RESIDENT IN EACH UNIT.
- 14.SEPARATE WASTE AND RECYCLING CONTAINERS
- PER UNIT 15. WINDOW COVERINGS
- 16.HOT & COLD WATER TO KITCHENETTES, ENSUITES, COMMUNAL KITCHENS & LAUNDRY, SHOWERS, HANDBASINS, SINKS & TUBS.
- 17.EACH UNIT TO BE KEY LOCKABLE 18.ALL WINDOWS TO BE KEY LOCKABLE 19.2.5M OF CLOTHESLINE PER RESIDENT

NOTES FOR COMMUNAL KITCHEN:

- 1. REFRIGERATOR STORAGE SPACE AT 0.13M3 PER RESIDENT
- 2. FREEZER STORAGE AT 0.05M3 PER RESIDENT
- 3. STORAGE FOR DRY GOODS 0.3M3 PER RESIDENT 4. ALL WHITEGOODS INCLUDING LAUNDRY TO BE 3.5
- STAR RATED OR BETTER. 5. TO BE PROVIDED WITH MICROWAVE OVEN,
- TOASTER, KETTLE, WASTE AND RECYCLING STORAGE BINS
- 6. KITCHEN TO HAVE EXHAUST VENTILATION. 7. LOCKABLE DRAWER OR CUPBOARD PER RESIDENT

WALL LEGEND

EXTERNAL WALL 200MM THICK- CONCRETE



EXTERNAL WALL- LIGHT WEIGHT WITH METAL CLADDING

INTERNAL WALLS BETWEEN
UNITS- MASONRY ACOUSTIC/ FIRE RATED

INTERNAL STEEL STUD WALLS WITH CAVITY SLIDERS FOR

ENSUITE-100MM THICK

100MM MASONRY WALL

EXTERNAL WALL FINISHES

BR-1 FEATURE BRICK CLADDING- BOWRAL BROWN

METAL CLADDING- SCYON AXON PAINTED DULUX 'DOMINO'

- . WASTE MANAGEMENT PROVISION: 4 X 240 LITRE GENERAL WASTE BIN
- 4 X 240 LITRE RECYCLABLE WASTE BIN 1 X 240 LITRE ORGANIC WASTE BIN
- 2. COMMUNAL LAUNDRY PROVISION:
- 2 X LAUNDRY TUBS 2 X LAUNDRY MACHINES
- 2 X DRYERS
- LIQUID SOAP DISPENSERS.
- 3. COMMUNAL LAUNDRY TO BE MECHANICALLY VENTILATED
- 4. REFER TO HYDRAULIC ENGINEER'S DRAWINGS FOR STORMWATER PIT DETAILS.

REVISION D

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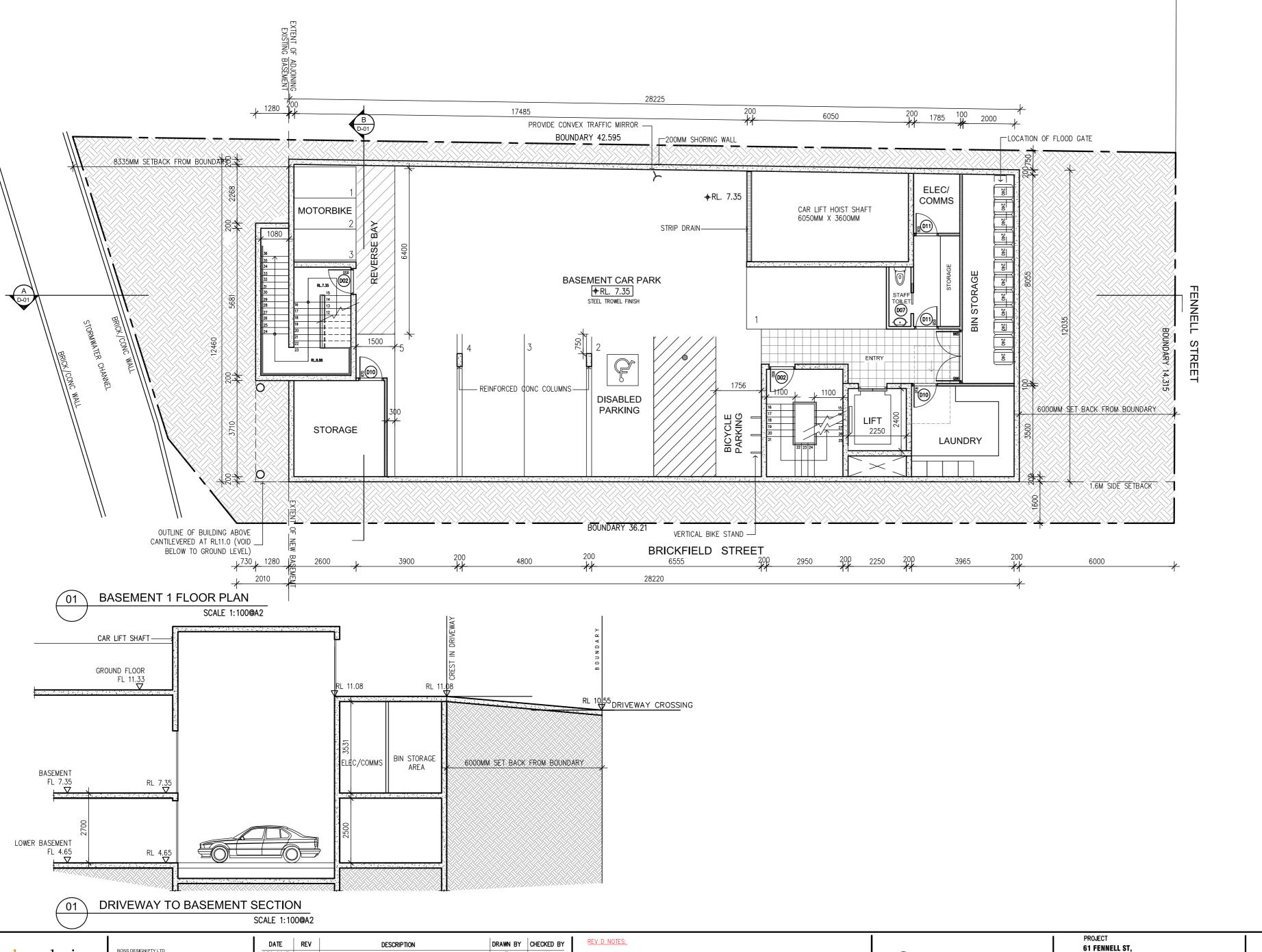
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61 FENNELL ST, NORTH PARRAMATTA NSW. 2151 CLIENT WARINGA NO 1 PTY LTD GLEXBIAN NOMINEES PTY LTD F CAGNONI, E M A CAGNONI & M J CAGNONI 2017-125

PROJECT

BASEMENT 2 FLOOR PLAN **RL 4.65** B_01/D



NOTE GENERAL:

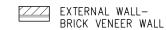
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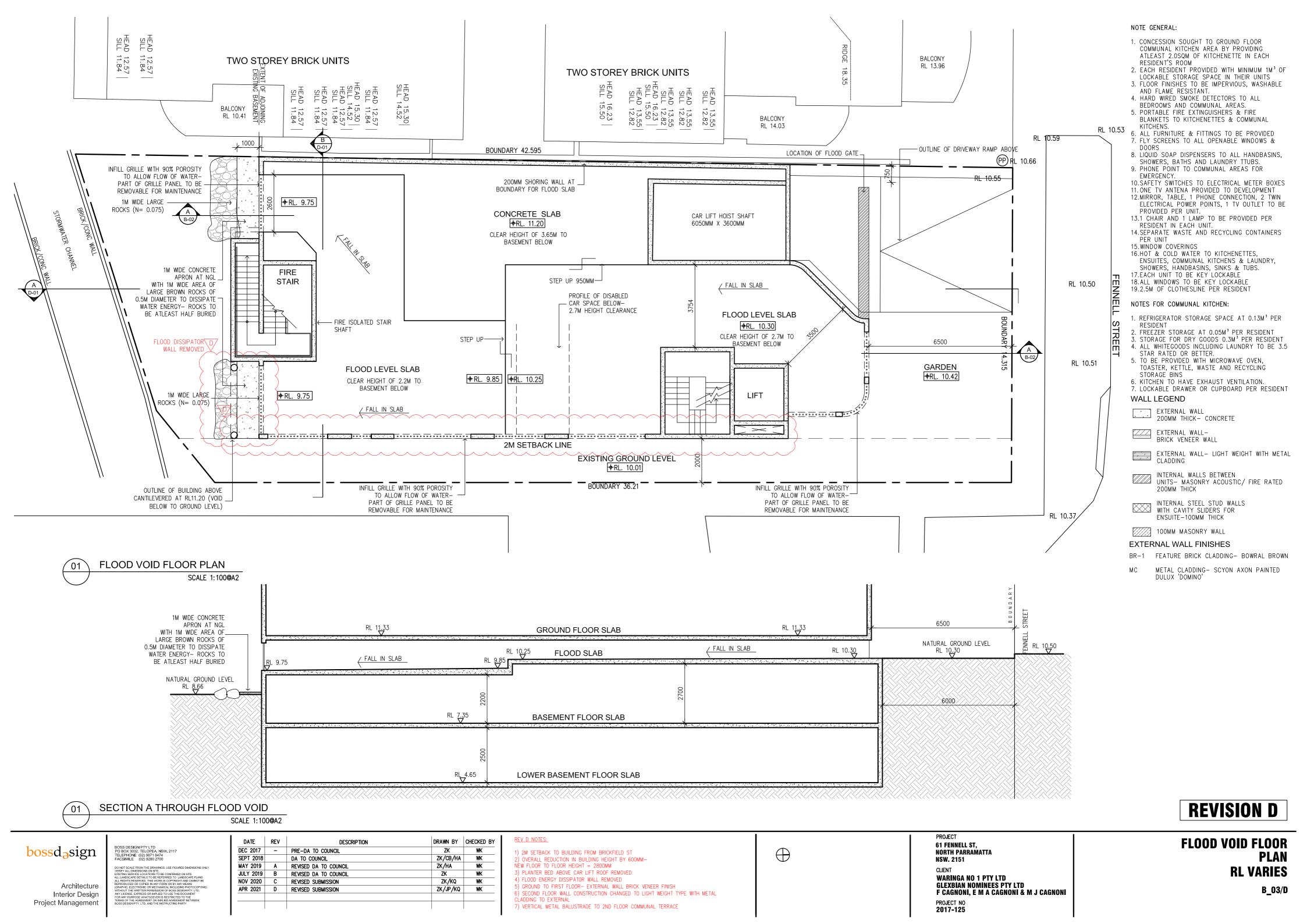
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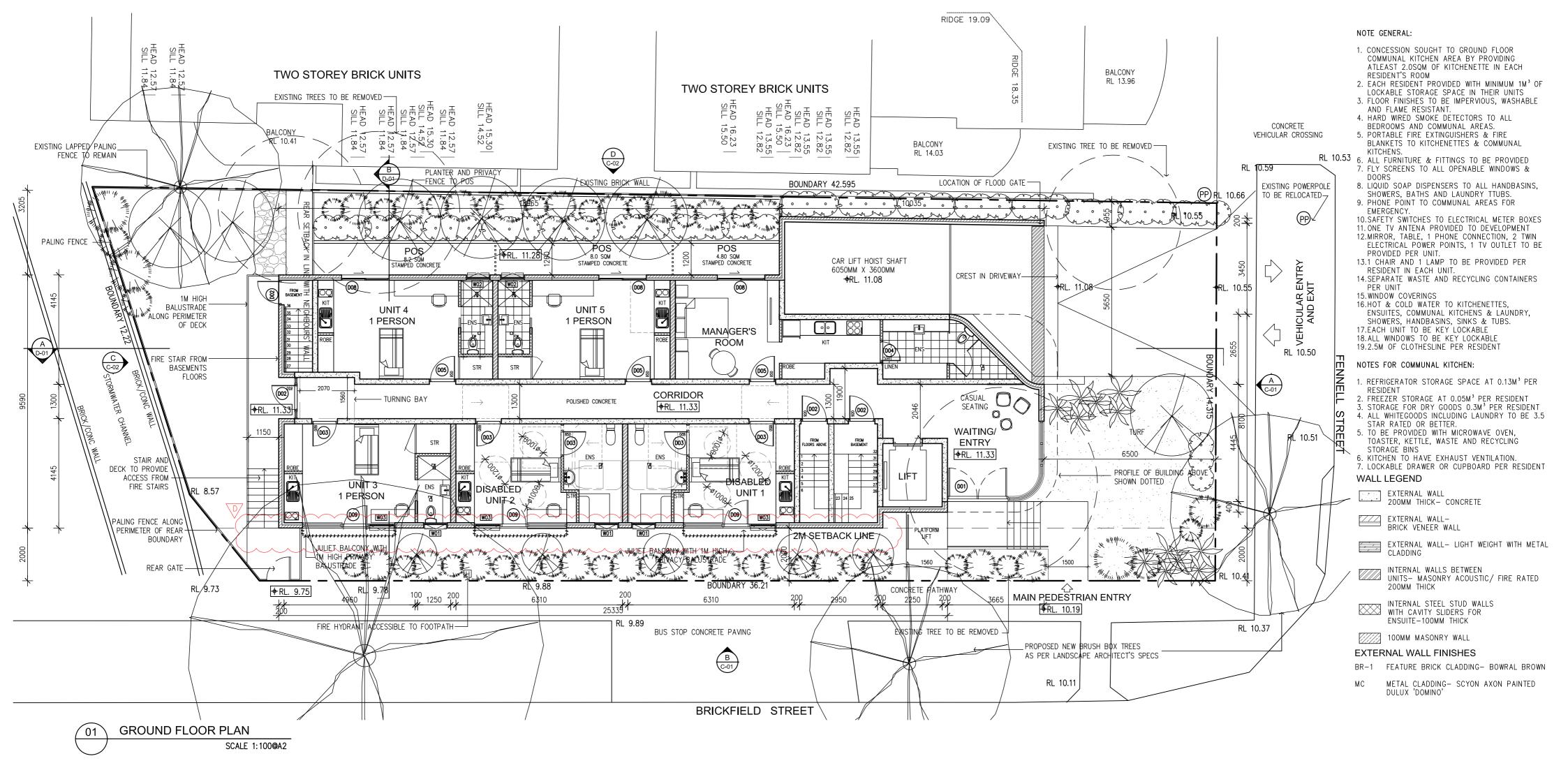
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NORTH PARRAMATTA NSW. 2151 CLIENT WARINGA NO 1 PTY LTD GLEXBIAN NOMINEES PTY LTD F CAGNONI, E M A CAGNONI & M J CAGNONI

2017-125

BASEMENT 1 FLOOR PLAN **RL 7.35** B_02/D





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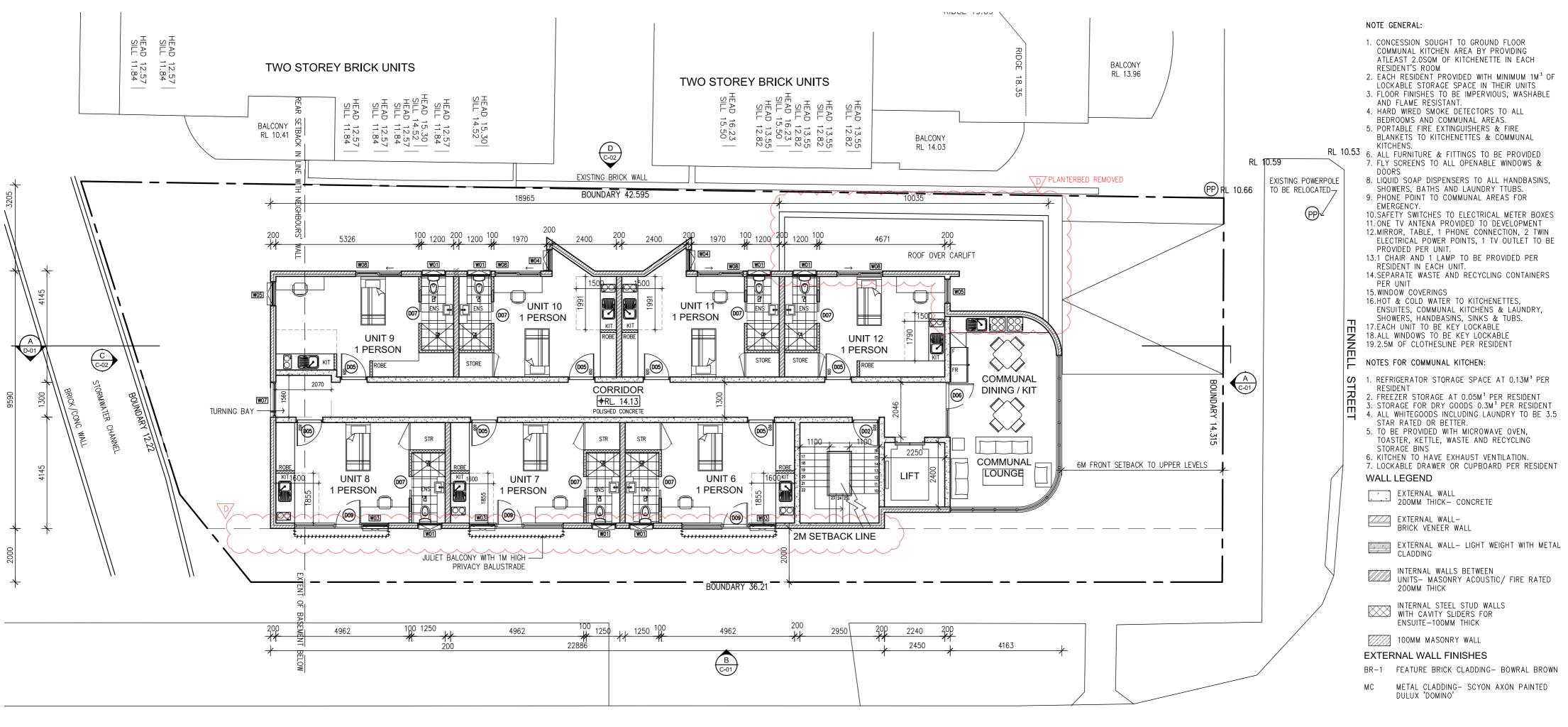
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PROJECT 61 FENNELL ST, NORTH PARRAMATTA NSW. 2151 CLIENT WARINGA NO 1 PTY LTD GLEXBIAN NOMINEES PTY LTD F CAGNONI, E M A CAGNONI & M J CAGNONI

2017-125

GROUND FLOOR PLAN **RL 11.33** B_04/D



BRICKFIELD STREET



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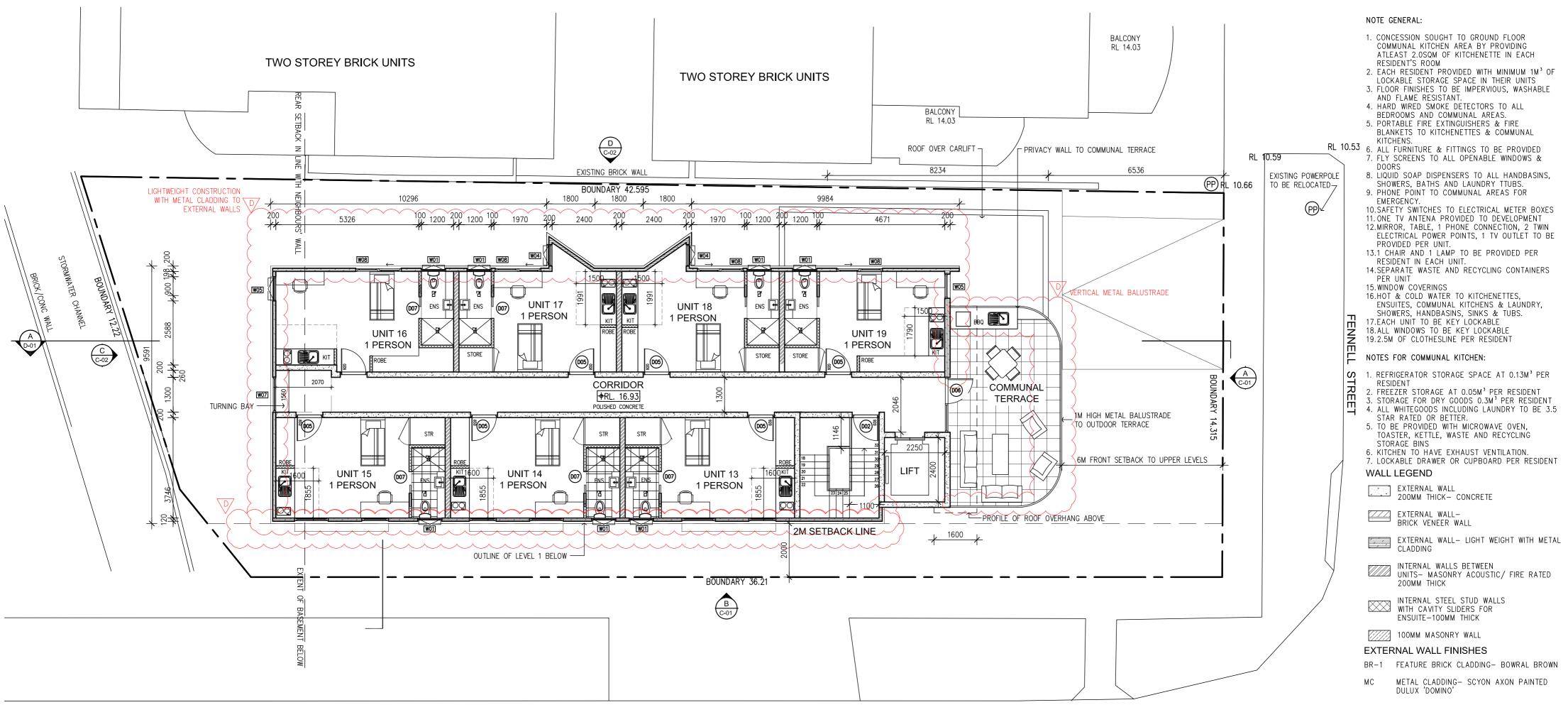
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PROJECT

2017-125

FIRST FLOOR PLAN **RL 14.13** B_05/D



BRICKFIELD STREET



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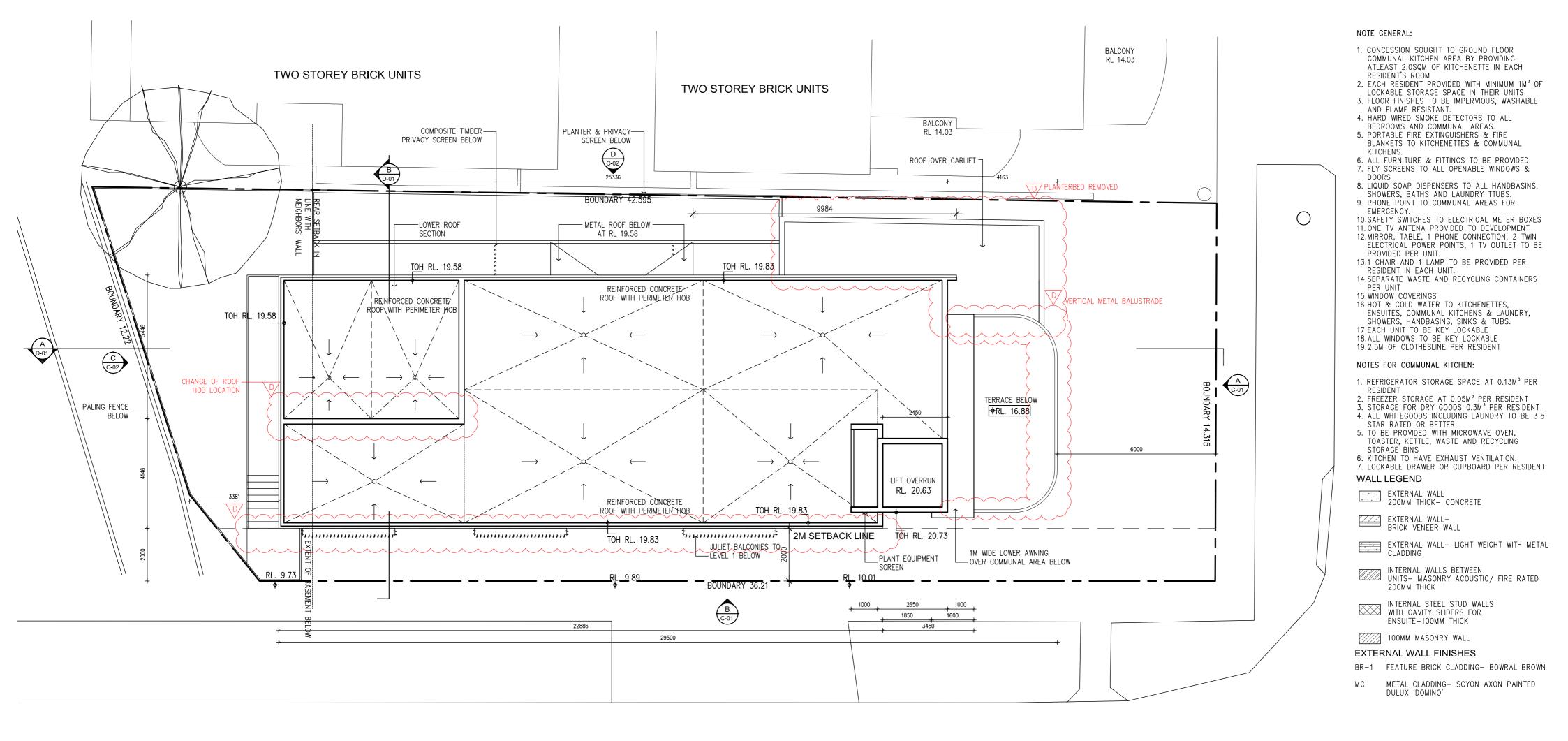
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PROJECT
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2017-125

SECOND FLOOR PLAN RL 16.93 B_06/D





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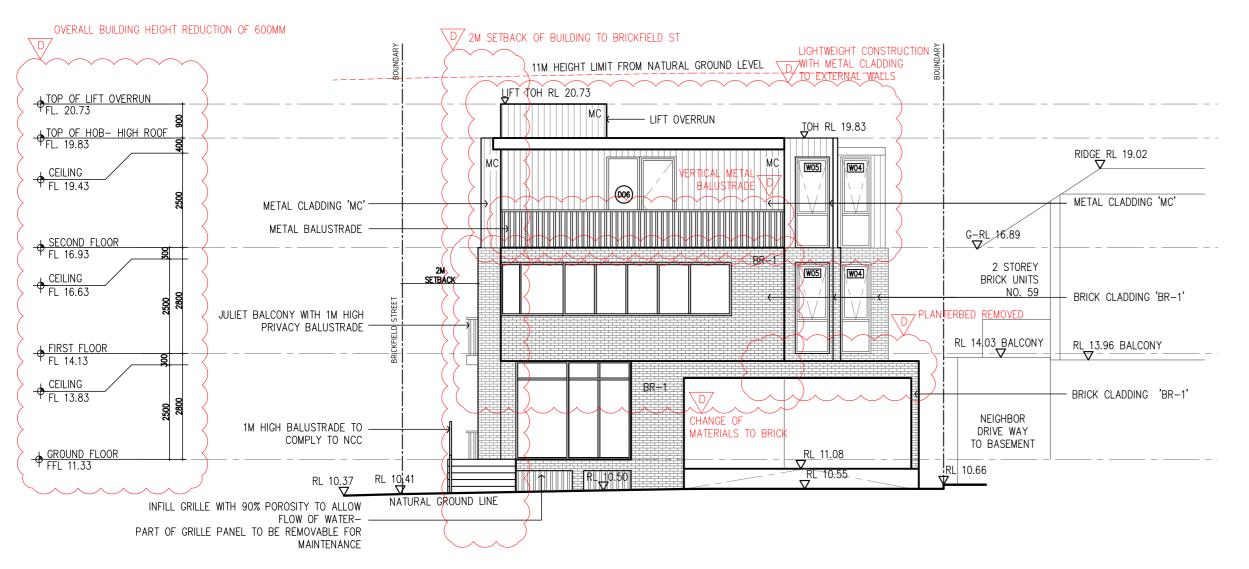
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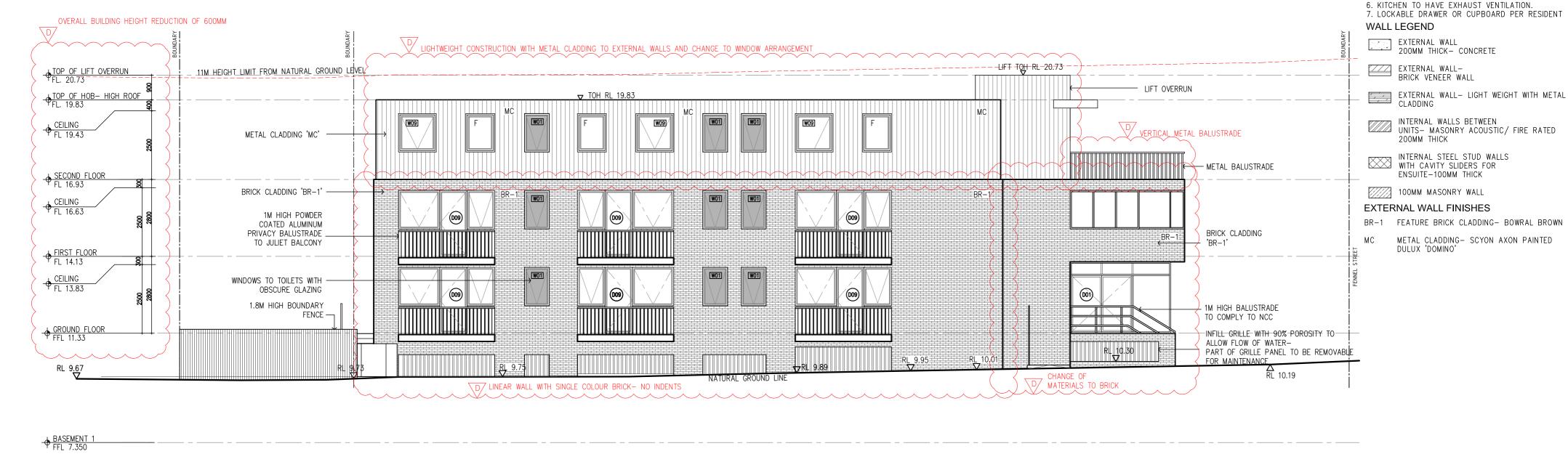
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ROOF PLAN

B_07/D



ELEVATION A- FENNELL ST- NORTH ELEVATION SCALE 1:100@A2



ELEVATION B- BRICKFIELD ST- EAST ELEVATION SCALE 1:100@A2

REVISION D

NOTE GENERAL:

KITCHENS.

EMERGENCY.

PER UNIT

RESIDENT

STORAGE BINS

15. WINDOW COVERINGS

PROVIDED PER UNIT.

RESIDENT IN EACH UNIT.

RESIDENT'S ROOM

AND FLAME RESISTANT.

1. CONCESSION SOUGHT TO GROUND FLOOR

4. HARD WIRED SMOKE DETECTORS TO ALL

BEDROOMS AND COMMUNAL AREAS.

5. PORTABLE FIRE EXTINGUISHERS & FIRE

COMMUNAL KITCHEN AREA BY PROVIDING ATLEAST 2.0SQM OF KITCHENETTE IN EACH

2. EACH RESIDENT PROVIDED WITH MINIMUM 1M3 OF LOCKABLE STORAGE SPACE IN THEIR UNITS

3. FLOOR FINISHES TO BE IMPERVIOUS, WASHABLE

BLANKETS TO KITCHENETTES & COMMUNAL

6. ALL FURNITURE & FITTINGS TO BE PROVIDED 7. FLY SCREENS TO ALL OPENABLE WINDOWS &

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10.SAFETY SWITCHES TO ELECTRICAL METER BOXES

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13.1 CHAIR AND 1 LAMP TO BE PROVIDED PER

16.HOT & COLD WATER TO KITCHENETTES,

17.EACH UNIT TO BE KEY LOCKABLE 18.ALL WINDOWS TO BE KEY LOCKABLE

NOTES FOR COMMUNAL KITCHEN:

STAR RATED OR BETTER.

19.2.5M OF CLOTHESLINE PER RESIDENT

SHOWERS, HANDBASINS, SINKS & TUBS.

14.SEPARATE WASTE AND RECYCLING CONTAINERS

ENSUITES, COMMUNAL KITCHENS & LAUNDRY,

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ELECTRICAL POWER POINTS, 1 TV OUTLET TO BE

9. PHONE POINT TO COMMUNAL AREAS FOR

PROJECT REV D NOTES: DATE REV DRAWN BY CHECKED BY DESCRIPTION 61 FENNELL ST, bossd_əsign DEC 2017 - PRE-DA TO COUNCIL ZK WK 1) 2M SETBACK TO BUILDING FROM BRICKFIELD ST ZK/CB/HA WK 2) OVERALL REDUCTION IN BUILDING HEIGHT BY 600MM-SEPT 2018 DA TO COUNCIL NSW. 2151 DO NOT SCALE FROM THE DRAWINGS, USE FIGURED DIMENSIONS ONLY. VERIET ALL DIMENSIONS ON STITE.

SENSITIMS SERVICE LOCATIONS TO BE COMFIRMED ON SITE.

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FOR ANY PURPOSE WHATSCOPE KER IS RESTINCTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN BOSS DESIGN BY LTD. MAY 2019 A REVISED DA TO COUNCIL ZK/HA NÉW FLOOR TO FLOOR HEIGHT = 2800MM CLIENT JULY 2019 B REVISED DA TO COUNCIL 3) PLANTER BED ABOVE CAR LIFT ROOF REMOVED ZK 4) FLOOD ENERGY DISSIPATOR WALL REMOVED ZK/KQ NOV 2020 C REVISED SUBMISSION WK Architecture 5) GROUND TO FIRST FLOOR- EXTERNAL WALL BRICK VENEER FINISH APR 2021 D REVISED SUBMISSION ZK/JP/KQ Interior Design 6) SECOND FLOOR WALL CONSTRUCTION CHANGED TO LIGHT WEIGHT TYPE WITH METAL

NORTH PARRAMATTA WARINGA NO 1 PTY LTD GLEXBIAN NOMINEES PTY LTD F CAGNONI, E M A CAGNONI & M J CAGNONI PROJECT NO

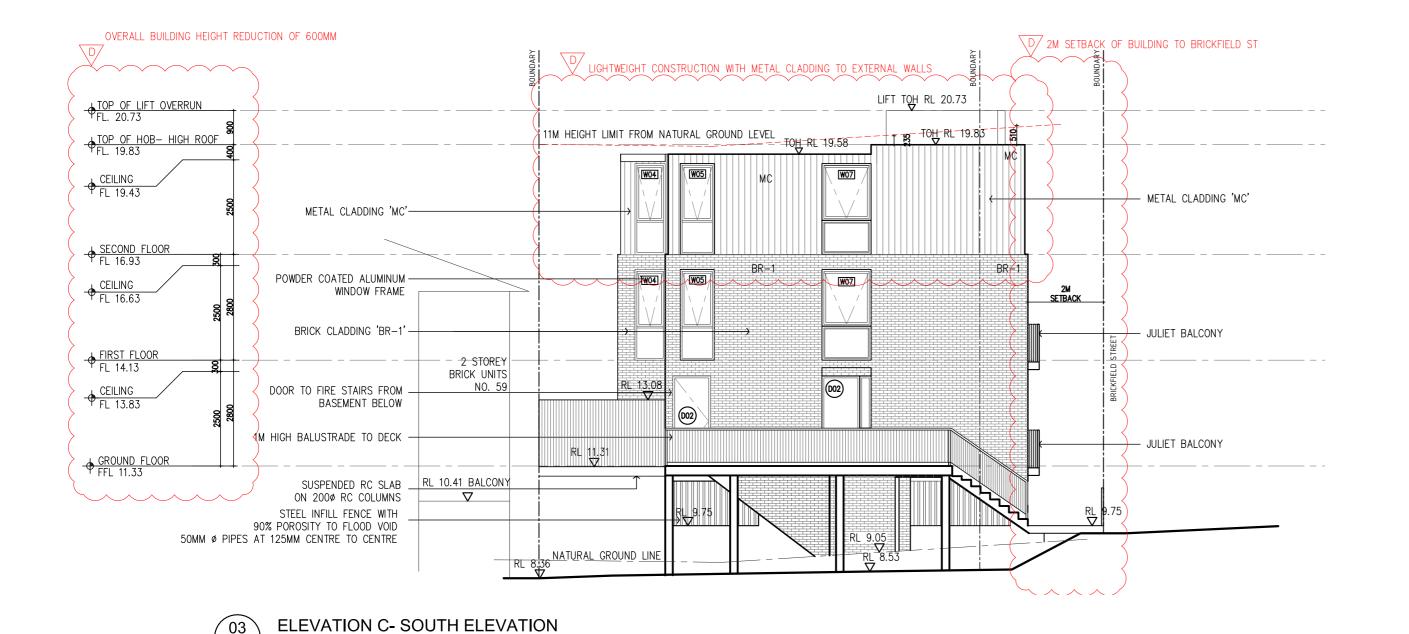
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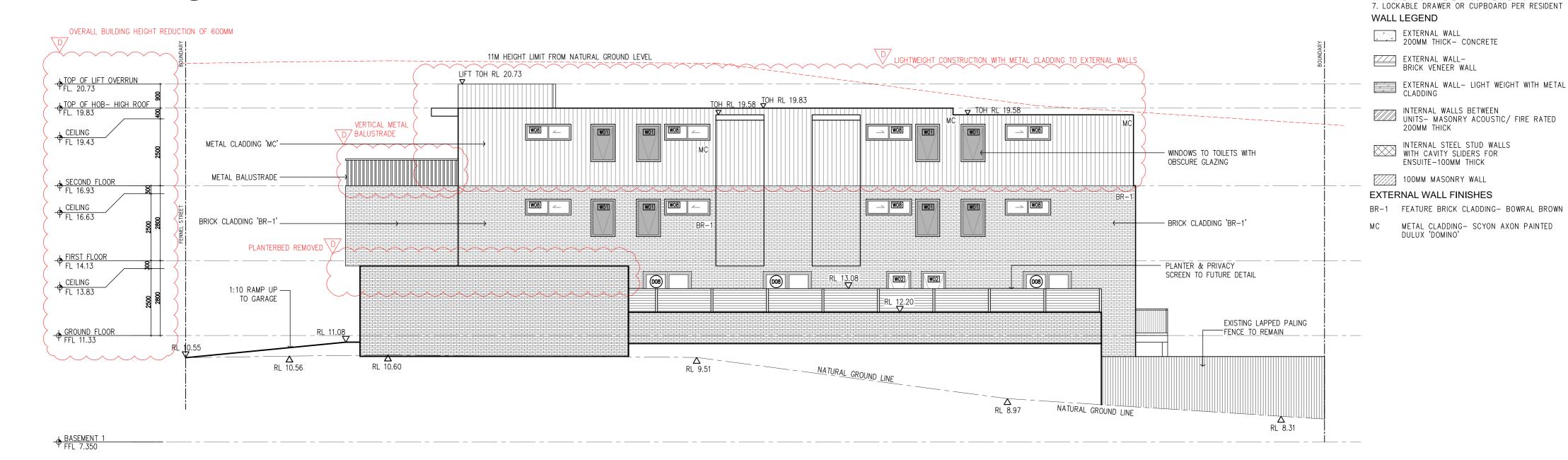
ELEVATIONS

Project Management

CLADDING TO EXTERNAL 7) VERTICAL METAL BALUSTRADE TO 2ND FLOOR COMMUNAL TERRACE

C_01/D





REVISION D

NOTE GENERAL:

KITCHENS.

EMERGENCY.

PER UNIT

RESIDENT

STORAGE BINS

15. WINDOW COVERINGS

PROVIDED PER UNIT.

RESIDENT IN EACH UNIT.

RESIDENT'S ROOM

AND FLAME RESISTANT.

1. CONCESSION SOUGHT TO GROUND FLOOR COMMUNAL KITCHEN AREA BY PROVIDING ATLEAST 2.0SQM OF KITCHENETTE IN EACH

4. HARD WIRED SMOKE DETECTORS TO ALL

BEDROOMS AND COMMUNAL AREAS.

5. PORTABLE FIRE EXTINGUISHERS & FIRE

2. EACH RESIDENT PROVIDED WITH MINIMUM 1M3 OF

LOCKABLE STORAGE SPACE IN THEIR UNITS

3. FLOOR FINISHES TO BE IMPERVIOUS, WASHABLE

BLANKETS TO KITCHENETTES & COMMUNAL

6. ALL FURNITURE & FITTINGS TO BE PROVIDED 7. FLY SCREENS TO ALL OPENABLE WINDOWS &

8. LIQUID SOAP DISPENSERS TO ALL HANDBASINS, SHOWERS, BATHS AND LAUNDRY TTUBS.
9. PHONE POINT TO COMMUNAL AREAS FOR

10.SAFETY SWITCHES TO ELECTRICAL METER BOXES 11. ONE TV ANTENA PROVIDED TO DEVELOPMENT

12.MIRROR, TABLE, 1 PHONE CONNECTION, 2 TWIN ELECTRICAL POWER POINTS, 1 TV OUTLET TO BE

14.SEPARATE WASTE AND RECYCLING CONTAINERS

ENSUITES, COMMUNAL KITCHENS & LAUNDRY,

1. REFRIGERATOR STORAGE SPACE AT 0.13M3 PER

2. FREEZER STORAGE AT 0.05M3 PER RESIDENT 3. STORAGE FOR DRY GOODS 0.3M3 PER RESIDENT 4. ALL WHITEGOODS INCLUDING LAUNDRY TO BE 3.5

TOASTER, KETTLE, WASTE AND RECYCLING

5. TO BE PROVIDED WITH MICROWAVE OVEN,

6. KITCHEN TO HAVE EXHAUST VENTILATION.

13.1 CHAIR AND 1 LAMP TO BE PROVIDED PER

16.HOT & COLD WATER TO KITCHENETTES,

18.ALL WINDOWS TO BE KEY LOCKABLE 19.2.5M OF CLOTHESLINE PER RESIDENT

NOTES FOR COMMUNAL KITCHEN:

STAR RATED OR BETTER.

SHOWERS, HANDBASINS, SINKS & TUBS. 17.EACH UNIT TO BE KEY LOCKABLE

DATE REV DESCRIPTION bossd_əsign DEC 2017 - PRE-DA TO COUNCIL SEPT 2018 DA TO COUNCIL DO NOT SCALE FROM THE DRAWINGS, USE FIGURED DIMENSIONS ONLY. VERIFY ALL DIMENSIONS ON STE.

EUSINIOS SERVICE LOCATIONS TO BE CONFRIMED ON SITE.

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BOSS DESIGNETY, LTD. AND THE INSTRUCTION PARTY. MAY 2019 A REVISED DA TO COUNCIL JULY 2019 B REVISED DA TO COUNCIL NOV 2020 C REVISED SUBMISSION Architecture APR 2021 D REVISED SUBMISSION Interior Design

Project Management

ELEVATION D- WEST ELEVATION

DRAWN BY CHECKED BY ZK WK ZK/CB/HA WK ZK/HA ZK ZK/KQ WK ZK/JP/KQ

SCALE 1:100@A2

SCALE 1:100@A2

1) 2M SETBACK TO BUILDING FROM BRICKFIELD ST 2) OVERALL REDUCTION IN BUILDING HEIGHT BY 600MM-NÉW FLOOR TO FLOOR HEIGHT = 2800MM 3) PLANTER BED ABOVE CAR LIFT ROOF REMOVED 4) FLOOD ENERGY DISSIPATOR WALL REMOVED 5) GROUND TO FIRST FLOOR- EXTERNAL WALL BRICK VENEER FINISH 6) SECOND FLOOR WALL CONSTRUCTION CHANGED TO LIGHT WEIGHT TYPE WITH METAL 7) VERTICAL METAL BALUSTRADE TO 2ND FLOOR COMMUNAL TERRACE

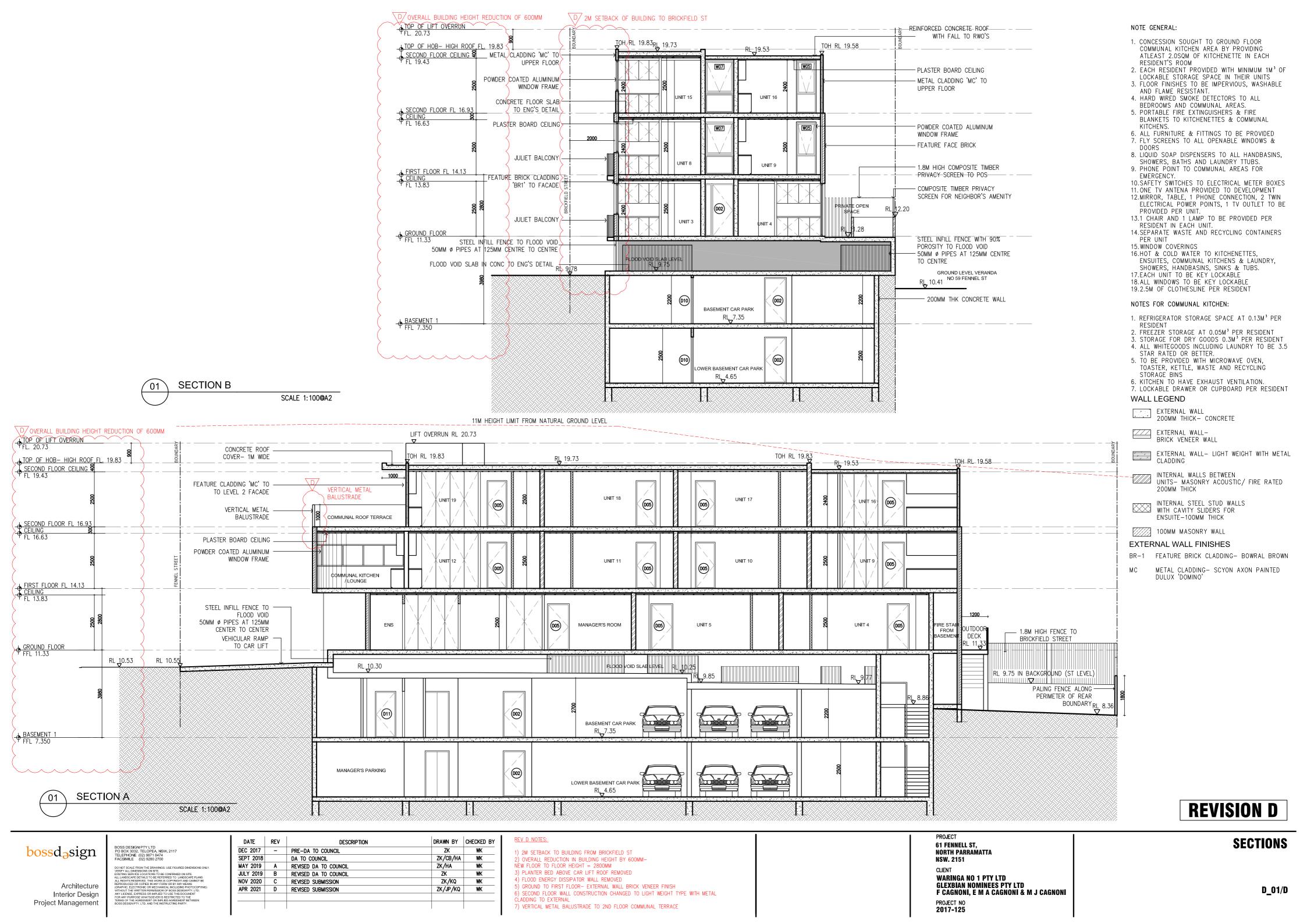
REV D NOTES:

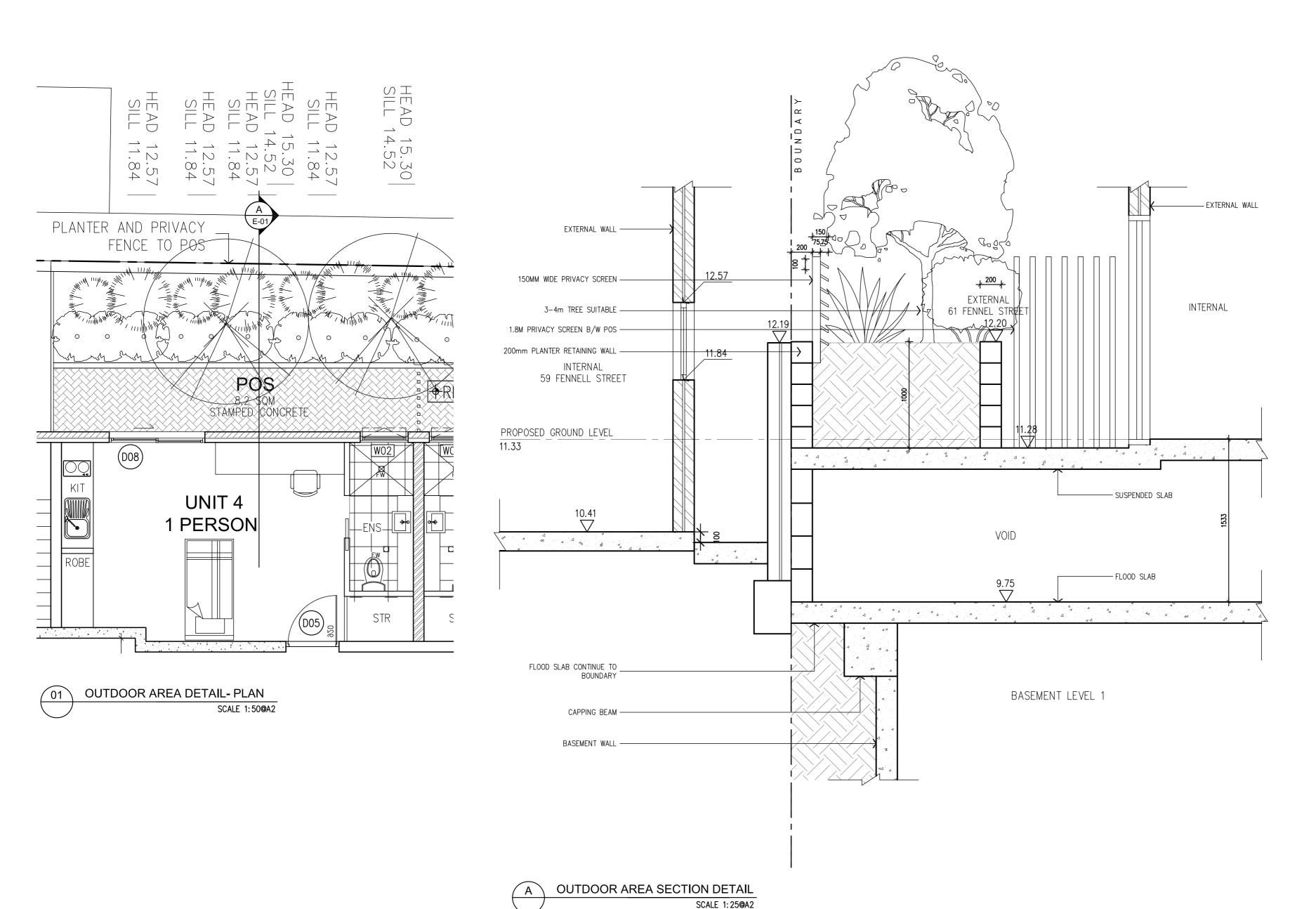
PROJECT 61 FENNELL ST, NORTH PARRAMATTA NSW. 2151 CLIENT WARINGA NO 1 PTY LTD GLEXBIAN NOMINEES PTY LTD F CAGNONI, E M A CAGNONI & M J CAGNONI PROJECT NO

2017-125

ELEVATIONS

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1. CONCESSION SOUGHT TO GROUND FLOOR COMMUNAL KITCHEN AREA BY PROVIDING ATLEAST 2.0SQM OF KITCHENETTE IN EACH RESIDENT'S ROOM

NOTE GENERAL:

- 2. EACH RESIDENT PROVIDED WITH MINIMUM 1M3 OF LOCKABLE STORAGE SPACE IN THEIR UNITS
- 3. FLOOR FINISHES TO BE IMPERVIOUS, WASHABLE AND FLAME RESISTANT.
- 4. HARD WIRED SMOKE DETECTORS TO ALL BEDROOMS AND COMMUNAL AREAS. 5. PORTABLE FIRE EXTINGUISHERS & FIRE
- BLANKETS TO KITCHENETTES & COMMUNAL KITCHENS. 6. ALL FURNITURE & FITTINGS TO BE PROVIDED
- 7. FLY SCREENS TO ALL OPENABLE WINDOWS &
- 8. LIQUID SOAP DISPENSERS TO ALL HANDBASINS, SHOWERS, BATHS AND LAUNDRY TTUBS.
 9. PHONE POINT TO COMMUNAL AREAS FOR
- EMERGENCY.
- 10. SAFETY SWITCHES TO ELECTRICAL METER BOXES 11. ONE TV ANTENA PROVIDED TO DEVELOPMENT 12. MIRROR, TABLE, 1 PHONE CONNECTION, 2 TWIN ELECTRICAL POWER POINTS, 1 TV OUTLET TO BE
- PROVIDED PER UNIT. 13.1 CHAIR AND 1 LAMP TO BE PROVIDED PER RESIDENT IN EACH UNIT.
- 14.SEPARATE WASTE AND RECYCLING CONTAINERS
- PER UNIT 15. WINDOW COVERINGS
- 16.HOT & COLD WATER TO KITCHENETTES, ENSUITES, COMMUNAL KITCHENS & LAUNDRY, SHOWERS, HANDBASINS, SINKS & TUBS.
- 17.EACH UNIT TO BE KEY LOCKABLE 18.ALL WINDOWS TO BE KEY LOCKABLE 19.2.5M OF CLOTHESLINE PER RESIDENT

NOTES FOR COMMUNAL KITCHEN:

- 1. REFRIGERATOR STORAGE SPACE AT 0.13M3 PER RESIDENT
- 2. FREEZER STORAGE AT 0.05M3 PER RESIDENT
- 3. STORAGE FOR DRY GOODS 0.3M3 PER RESIDENT 4. ALL WHITEGOODS INCLUDING LAUNDRY TO BE 3.5
- STAR RATED OR BETTER. 5. TO BE PROVIDED WITH MICROWAVE OVEN, TOASTER, KETTLE, WASTE AND RECYCLING
- STORAGE BINS 6. KITCHEN TO HAVE EXHAUST VENTILATION.
- 7. LOCKABLE DRAWER OR CUPBOARD PER RESIDENT

WALL LEGEND

EXTERNAL WALL 200MM THICK- CONCRETE

EXTERNAL WALL-BRICK VENEER WALL

EXTERNAL WALL- LIGHT WEIGHT WITH METAL CLADDING

INTERNAL WALLS BETWEEN
UNITS- MASONRY ACOUSTIC/ FIRE RATED

INTERNAL STEEL STUD WALLS WITH CAVITY SLIDERS FOR ENSUITE-100MM THICK

100MM MASONRY WALL

EXTERNAL WALL FINISHES

BR-1 FEATURE BRICK CLADDING- BOWRAL BROWN

METAL CLADDING- SCYON AXON PAINTED DULUX 'DOMINO'

REVISION D

bossd_əsign

REV D NOTES:

- 1) 2M SETBACK TO BUILDING FROM BRICKFIELD ST 2) OVERALL REDUCTION IN BUILDING HEIGHT BY 600MM-
- NEW FLOOR TO FLOOR HEIGHT = 2800MM 3) PLANTER BED ABOVE CAR LIFT ROOF REMOVED
- 4) FLOOD ENERGY DISSIPATOR WALL REMOVED 5) GROUND TO FIRST FLOOR- EXTERNAL WALL BRICK VENEER FINISH 6) SECOND FLOOR WALL CONSTRUCTION CHANGED TO LIGHT WEIGHT TYPE WITH METAL CLADDING TO EXTERNAL 7) VERTICAL METAL BALUSTRADE TO 2ND FLOOR COMMUNAL TERRACE

PROJECT

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OUTDOOR AREA DETAIL

E_01/D