



47 ANDERSON STREET

PORT MACQUARIE, NSW, 2444

S96 + CONSTRUCTION CERTIFICATE ISSUE

ALTERATIONS & ADDITIONS TO EXISTING DWELLING

FOR DANIEL SCARLET

LOT 222, D.P. 208479 47 ANDERSON STREET
PORT MACQUARIE, NSW, 2444

Alterations and Additions

Certificate number: A221853

Project address	
Project name	42 Anderson Street
Street address	42 Anderson Street Port Macquarie 2444
Local Government Area	Port Macquarie-Hastings Council
Plan type and number	Deposited Plan 208479
Lot number	222
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

ARCHITECTURAL DRAWING INDEX:

Layout No:	Layout Name	Rev
CC-00	COVER PAGE	B
CC-01	DRAWING INDEX + GENERAL NOTES	B
CC-02	SURVEY EXISTING	A
CC-03	SITE PLAN	B
CC-04	GROUND FLOOR - DEMOLITION PLAN	B
CC-05	FIRST FLOOR DEMOLITION PLAN	B
CC-06	GROUND FLOOR PLAN	B
CC-07	FIRST FLOOR PLAN	B
CC-08	ROOF PLAN	B
CC-09	NORTH EAST + SOUTH EAST ELEVATIONS	B
CC-10	NORTH WEST + SOUTH WEST ELEVATIONS	B
CC-11	STORAGE SHED ELEVATIONS	B
CC-12	SECTIONS A - A + B - B	B
CC-13	SECTIONS C - C + D - D	B
CC-14	SECTIONS E - E + F - F	B
CC-15	SECTIONS G - G + H - H	B
CC-16	DOOR SCHEDULE	A
CC-17	WINDOW SCHEDULE	A

NOTES:

GENERAL NOTES:

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC, AUSTRALIAN STANDARDS, LOCAL AUTHORITY REQUIREMENTS AND ALL RELEVANT STATUTORY CONTROLS.

ALL DRAWINGS TO BE ACKNOWLEDGED IN CONJUNCTION WITH SPECIFICATIONS AND CONSULTANT DOCUMENTATION. ANY DISCREPANCIES SHOULD BE NOTIFIED AND BROUGHT TO THE ATTENTION OF THE ARCHITECT.

CONTRACTOR IS RESPONSIBLE FOR ACKNOWLEDGEMENT OF ALL EXISTING SERVICES ON SITE AND IS TO SATISFY THEMSELVES THAT RELEVANT SERVICES HAVE BEEN DECOMMISSIONED PRIOR TO COMMENCING WORKS.

CONTRACTOR TO OBTAIN ALL REQUIRED CERTIFICATES OF COMPLIANCE, INCLUDING, BUT NOT LIMITED TO: STRUCTURAL, ELECTRICAL, PLUMBING, WATERPROOFING, TERMITE PROTECTION, GLAZING, ETC, FOR ISSUE AND ACKNOWLEDGEMENT OF THE OWNER PRIOR TO COMPLETION.

DEMOLITION:

DEMOLITION TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001 - THE DEMOLITION OF STRUCTURES.

TERMITE CONTROL MANAGEMENT:

CONTRACTOR TO CHECK, VERIFY AND PROVIDE AN APPROPRIATE TERMITE MANAGEMENT SYSTEM, TO ALL AREAS OF DEMOLITION AND NEW WORKS IN ACCORDANCE WITH NCC REGULATIONS AND AS3660.

DAMP-PROOFING, FLASHING, WATERPROOFING:

INSTALL FLASHINGS, DRIPS, WEATHER SEALS, CAULKING, POINTING OR THE LIKE SO THAT WATER IS PREVENTED FROM ENTERING THE BUILDING. ALL WATERPROOFING TO BE IN ACCORDANCE WITH AS3740. ALL WET AREAS TO BE CERTIFIED BY AN ACCREDITED CERTIFIER.

CONCRETE, SLABS AND FOOTINGS:

ALL SLABS AND FOOTINGS TO BE IN ACCORDANCE WITH AS2870. CONCRETE AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE NCC AND AS3600 - CONCRETE STRUCTURES. FORMWORK AND SCAFFOLDING IS THE RESPONSIBILITY OF THE CONTRACTOR, WHICH SHALL COMPLY WITH THE REQUIREMENTS OF AS3610 AND AS1576 RESPECTIVELY.

PLUMBING:

PLUMBING WORK TO BE CARRIED OUT BY A LICENSED CONTRACTOR IN ACCORDANCE WITH THE AUTHORITIES HAVING JURISDICTION OVER THE WORKS. DEVELOPMENT WORKS ARE NOT TO PROCEED PAST THE NOTIFIABLE HOLD POINTS WITHOUT APPROVAL BY COUNCIL. PROVIDE TO COUNCIL CERTIFICATE OF COMPLIANCE AND SEWER SERVICE DIAGRAM. ALL NEW HOT WATER SERVICE PIPES TO NCC AND AS3500.

SEWER

CONTRACTOR TO LOCATE EXISTING SEWER LINE PRIOR TO UNDERTAKING ANY WORKS. NEW SEWER WORKS / LINES TO CONNECT TO EXISTING.

STORMWATER

CONTRACTOR TO LOCATE EXISTING STORMWATER LINE AND KERB OUTLET PRIOR TO UNDERTAKING ANY WORKS. NEW STORMWATER TO CONNECT TO EXISTING KERB OUTLET.

CARPENTRY:

TIMBERS SHALL BE BEST QUALITY OF THEIR RESPECTIVE SELECTION AND GRADE CONFORMING WITH AS1684 - RESIDENTIAL TIMBER-FRAMED CONSTRUCTION.

STEELWORK:

ALL STRUCTURAL STEELWORK TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS DESIGN AND SPECIFICATION AND COMPLY WITH AS4100 - STEEL STRUCTURES.

BRICKWORK:

ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH AS3700, AS2699 AND THE NCC. BRICKWORK TO BE LEVEL, STRAIGHT AND PLUMB AND PERFECTLY BONDED. BUILD IN ALL DPC'S, ARCH BARS, WALL TIES, AND THE LIKE.

EROSION & SEDIMENT CONTROL NOTES:

ALL WORK SHALL GENERALLY BE CARRIED OUT AND MAINTAINED IN ACCORDANCE WITH:
- LOCAL AUTHORITY REQUIREMENTS
- EPA POLLUTION CONTROL FOR URBAN STORMWATER
- DEPARTMENT OF CONSERVATION & LAND MANAGEMENT MANUAL "URBAN EROSION & SEDIMENT CONTROL"

SITE WORKS ARE NOT TO START UNTIL EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED AND FUNCTIONAL. ALL SOIL AND WATER CONTROL MEASURES ARE TO BE PUT BACK IN PLACE AT THE END OF EACH WORKING DAY AND MODIFIED TO BEST SUIT CONDITIONS.

MINIMISE THE AREA OF SITE BEING DISTURBED AT ANY ONE TIME AND CONTROL WATER FROM UPSTREAM OF THE SITE SUCH THAT IT DOES NOT ENTER THE DISTURBED SITE.

PROTECT ALL STOCKPILES OF MATERIAL FROM SCOUR AND EROSION. DO NOT STOCKPILE LOOSE MATERIAL IN ROADWAYS, NEAR DRAINAGE PITS OR IN WATERCOURSES. STOCKPILES TO BE RETAINED ON-SITE WITH PROTECTIVE COVERING OR TO BE SURROUNDED BY AN APPROPRIATELY LOCATED FILTER FENCE TO CHECK EROSION.

SPOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINE AND AREAS WHERE WATER MAY CONCENTRATE.

FOLLOWING CONSTRUCTION, TOPSOIL SHALL BE RE-SPREAD AND ALL DISTURBED AREAS STABILISED AND REVEGETATED WITHIN 20 DAYS OF COMPLETION OF WORKS

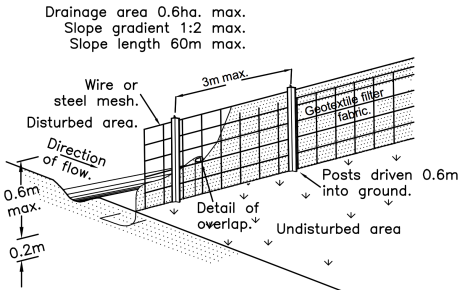
GUTTERING TO CONNECT TO THE STORMWATER SYSTEM OR RAINWATER HARVESTING SYSTEM AS SOON AS PRACTICABLE AND BEFORE ROOFING MATERIAL IS INSTALLED. MAINTAIN ALL STORMWATER PIPES AND PITS CLEAR OF DEBRIS AND SEDIMENT, INSPECT STORMWATER SYSTEM AND CLEAN OUT AFTER EACH STORM EVENT.

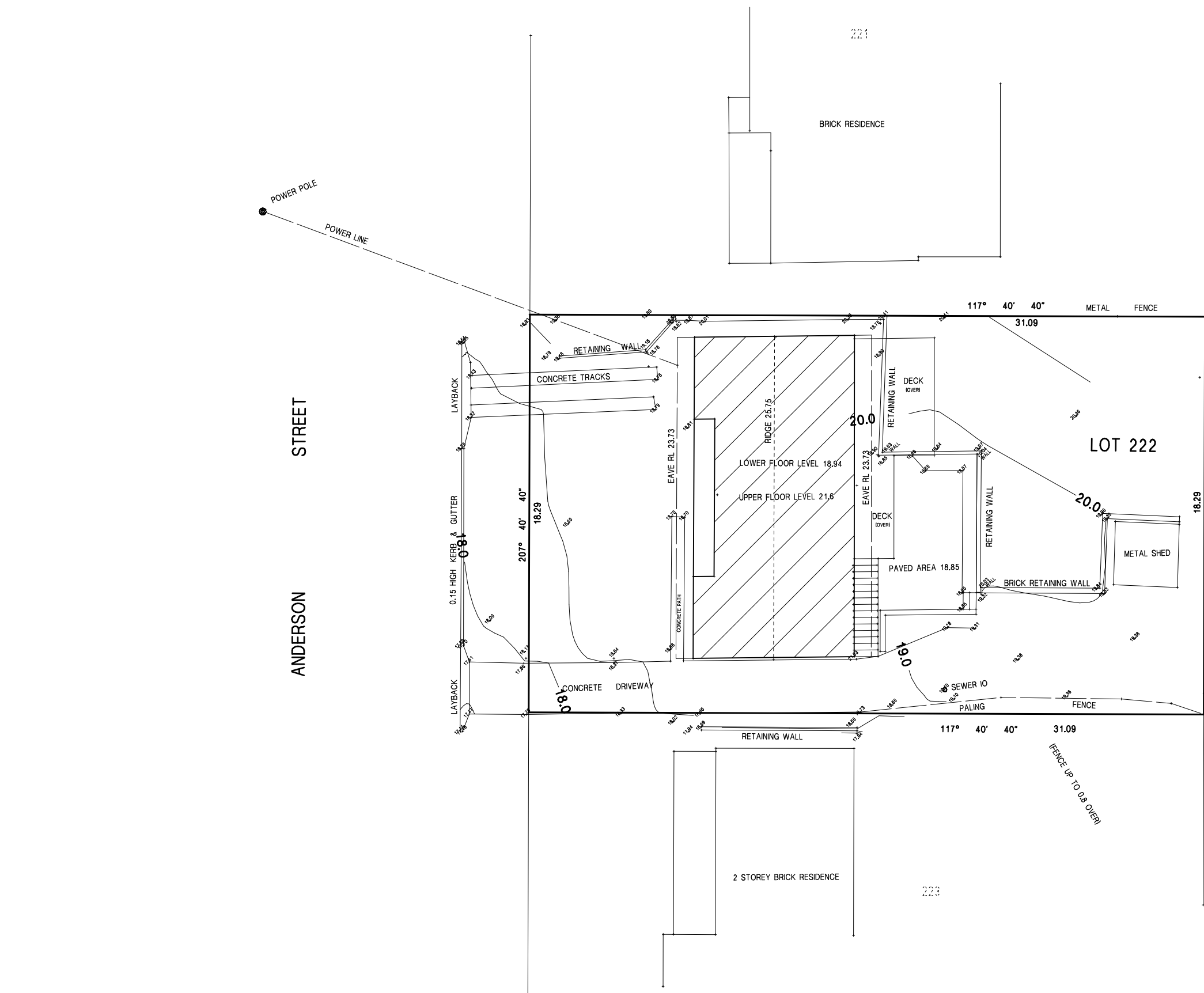
WASTE MANAGEMENT NOTES:

CONSTRUCTION WASTE SHALL BE STORED AND STOCKPILED SEPARATELY. APPROVED BINS FOR BUILDING, CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS AND LITTER TO BE PROVIDED AND ARRANGEMENTS MADE FOR REGULAR COLLECTION AND DISPOSAL. REDUCE WASTE, REUSE AND RECYCLE MATERIALS WHERE APPROPRIATE.

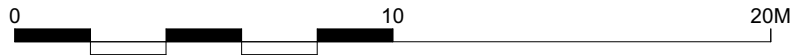
OCCUPATION WASTE SHALL BE STORED IN ACCORDANCE WITH PORT MACQUARIE-HASTINGS COUNCIL'S POLICY FOR WASTE MINIMISATION. GENERAL WASTE, GREEN WASTE AND COMBINED RECYCLABLES SHALL BE STORED IN SEPARATE MOBILE GARBAGE BINS AND SHALL BE PLACED KERBSIDE WEEKLY FOR COLLECTION IN ACCORDANCE WITH COUNCIL'S STANDARD RESIDENTIAL COLLECTION SERVICES

SILT FENCE DETAIL:





FRANK O'ROURKE, REGISTERED SURVEYOR
CONSULTING SURVEYORS
37 GRANDVIEW PARADE, PORT MACQUARIE. P.O. BOX 1387, PORT MACQUARIE. 2444.
Telephone: 02 65 822861 Facsimile: 02 65 826241
E-mail: surveyor@midcoast.com.au



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A	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE
REV	DATE	DESCRIPTION

Project
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
LOT 222, D.P. 208479, ANDERSON STREET
PORT MACQUARIE, NSW, 2444
Client
DANIEL SCARLET

Drawing Title			
SURVEY EXISTING			
Drawn	JJR	Scale AS SHOWN @ A3	Date 29/5/19
Checked		Project Number	
1403			Dwg No.
			CC-02
			Revision A

KEY:

- WM

PP

EP

TP

HYD
- WATER METRE

POWER POLE

ELECTRICAL PILLAR

TELSTRA PIT

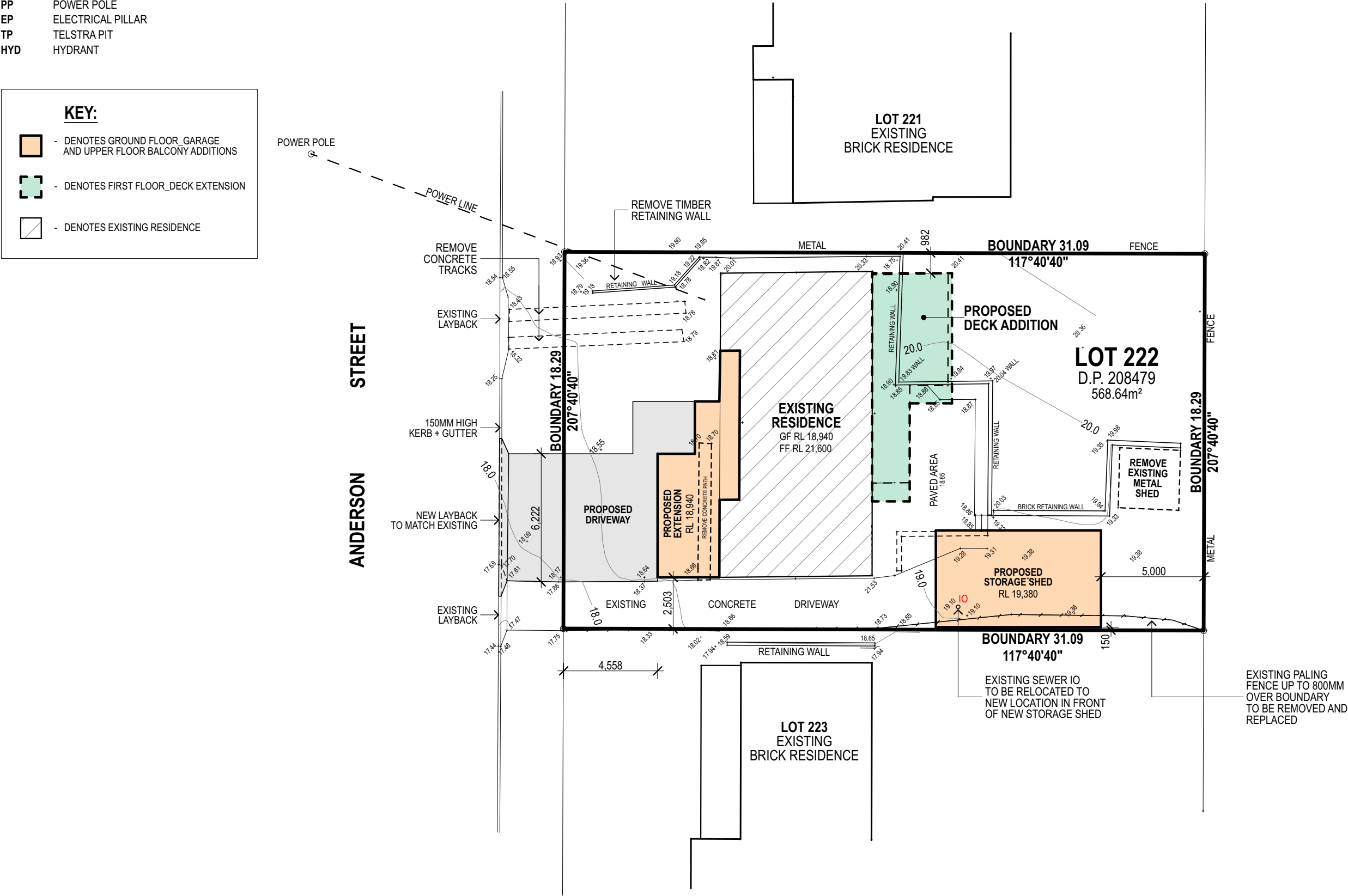
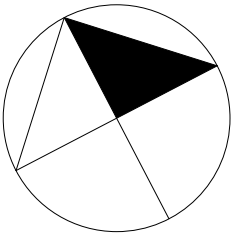
HYDRANT

KEY:

- DENOTES GROUND FLOOR GARAGE AND UPPER FLOOR BALCONY ADDITIONS

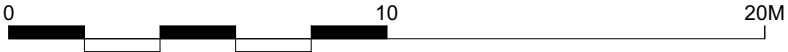
- DENOTES FIRST FLOOR DECK EXTENSION

- DENOTES EXISTING RESIDENCE



AREAS:	
SITE:	568.64 M²
GROUND FLOOR EXISTING:	102.65 M²
GROUND FLOOR PROPOSED:	130.62 M²
FIRST FLOOR EXISTING:	109.59 M²
FIRST FLOOR PROPOSED:	112.72 M²
FIRST FLOOR DECK:	33.17 M²
FIRST FLOOR BALCONY:	17.89 M²
STORAGE SHED:	37.69 M²

SITE PLAN
Scale 1:200



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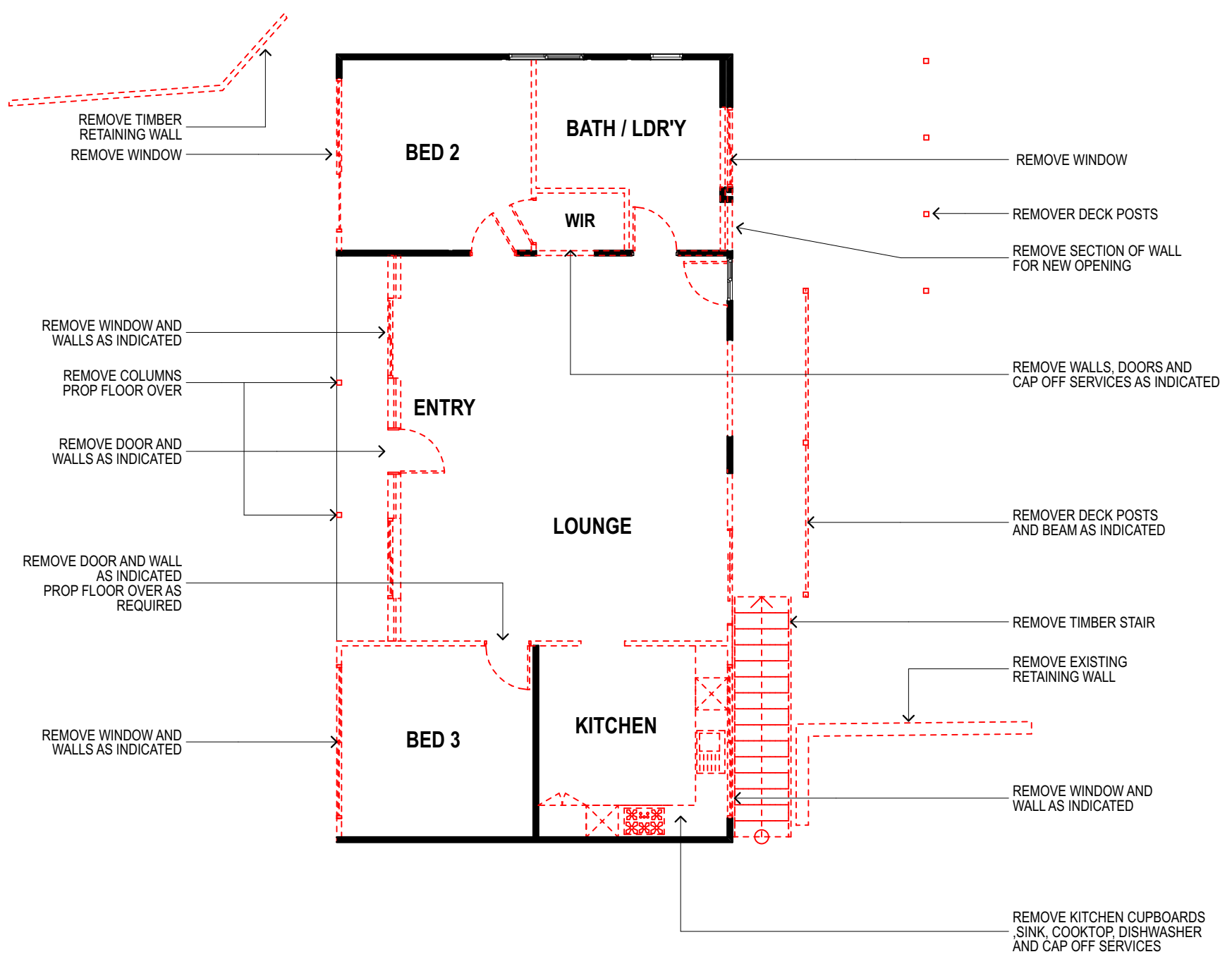
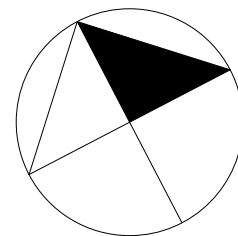
REV	DATE	DESCRIPTION
B	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE
A	28.12.14	TENDER ISSUE

Project
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
LOT 222, D.P. 208479, ANDERSON STREET
PORT MACQUARIE, NSW, 2444

Client
DANIEL SCARLET

Drawing Title
SITE PLAN

Drawn	JJR	Scale	AS SHOWN @ A3	Date	29/5/19	Dwg No.	CC-03
Checked		Project Number				1403	Revision B



- KEY:**
- WALLS + FLOOR EXISTING (TO BE RETAINED)
 - WALLS, WINDOWS, DOORS AND ELEMENTS (TO BE DEMOLISHED)

GROUND FLOOR - DEMOLITION PLAN
Scale 1:100

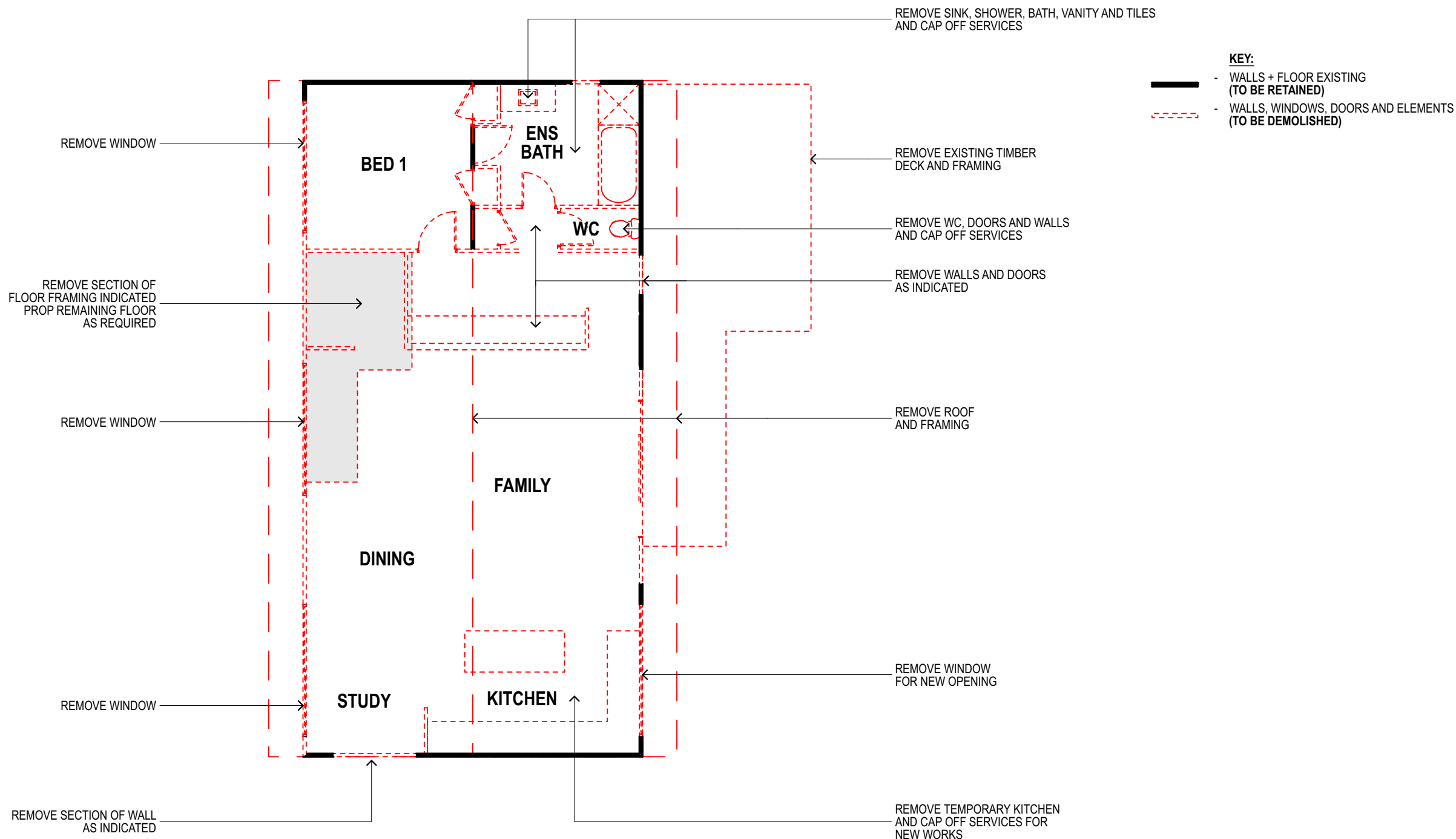
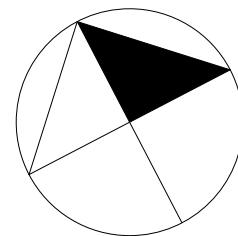


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REV	DATE	DESCRIPTION
B	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE
A	28.12.14	TENDER ISSUE

Project ALTERATIONS & ADDITIONS TO EXISTING DWELLING LOT 222, D.P. 208479, ANDERSON STREET PORT MACQUARIE, NSW, 2444	Client DANIEL SCARLET
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Drawing Title GROUND FLOOR - DEMOLITION PLAN			
Drawn JJR	Scale AS SHOWN @ A3	Date 29/5/19	Dwg No.
Checked	Project Number 1403	Revision CC-04 (B)	



○ UPPER FLOOR - DEMOLITION PLAN
Scale 1:100



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A	28.12.14	TENDER ISSUE
REV	DATE	DESCRIPTION

Project	ALTERATIONS & ADDITIONS TO EXISTING DWELLING LOT 222, D.P. 208479, ANDERSON STREET PORT MACQUARIE, NSW, 2444
Client	DANIEL SCARLET

Drawing Title FIRST FLOOR DEMOLITION PLAN			
Drawn	JJR	Scale	AS SHOWN @ A3
Checked		Date	29/5/19
		Project Number	1403
		Dwg No.	CC-05
		Revision	B

EDB	ELECTRICAL DISTRIBUTION BOARD
DP	DOWNPIPE
D	DOOR LABEL
W	WINDOW LABEL
EFL	EXISTING FLOOR LEVEL
T&G	TONGUE & GROOVE TIMBER
CONC	CONCRETE
COL	COLUMN
CT	CERAMIC TILES
ERW	EXISTING RETAINING WALL

STAIR NOTE:
STAIR SLIP RESISTANCE TO BE IN ACCORDANCE
WITH PART 3.9.1.4 OF THE BCA/NCC.

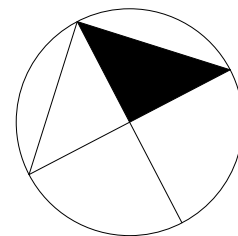
WINDOW NOTE:
UPPER FLOOR OPERABLE BEDROOM WINDOWS TO
BE PROTECTED IN ACCORDANCE WITH PART 3.9.2.5
OF THE BCA/NCC.

AREAS:

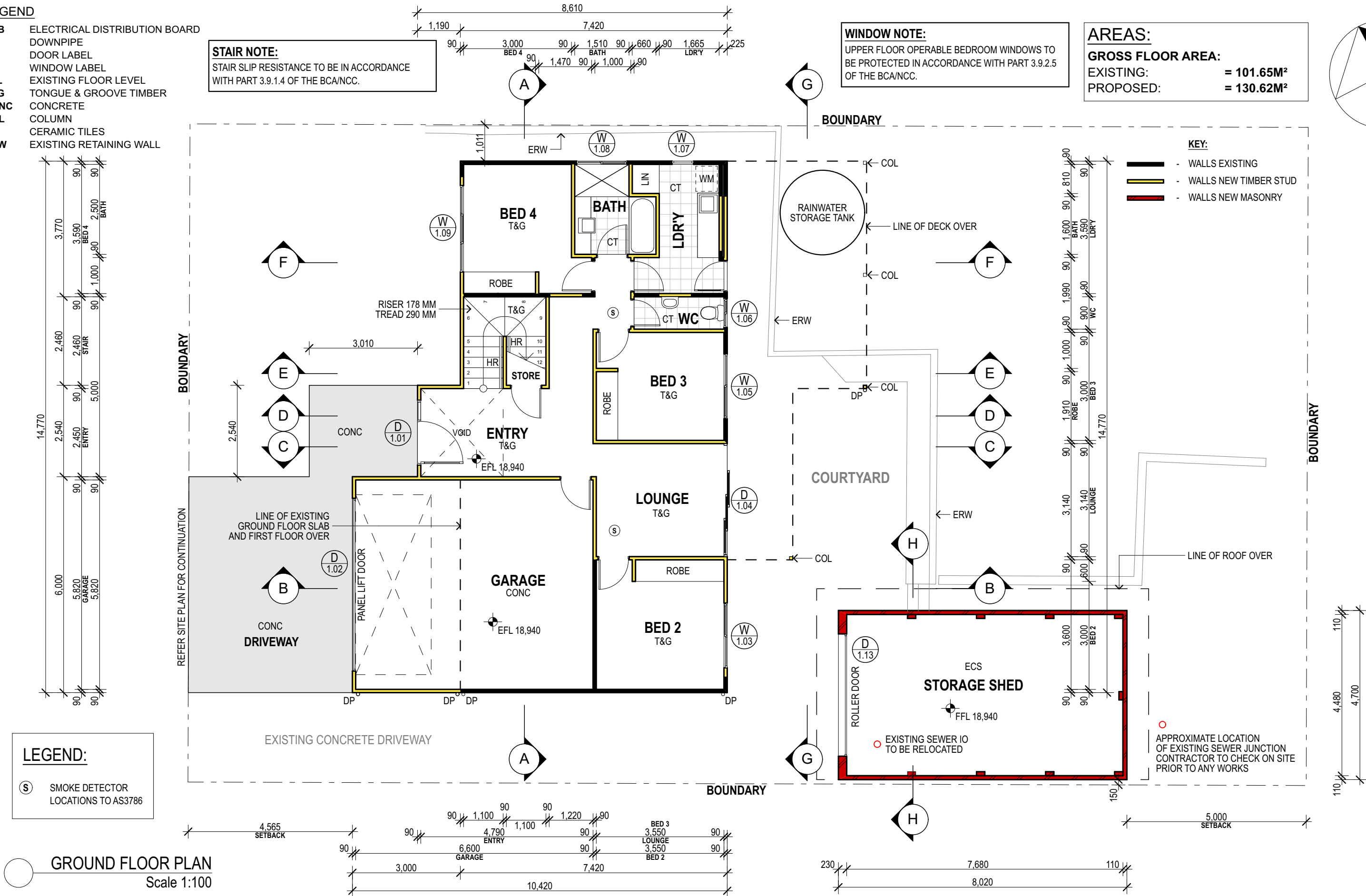
GROSS FLOOR AREA:

EXISTING: = 101.65M²

PROPOSED: = 130.62M²

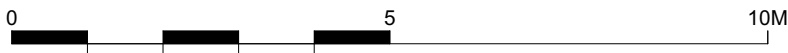


KEY:
WALLS EXISTING
WALLS NEW TIMBER STUD
WALLS NEW MASONRY



GROUND FLOOR PLAN

Scale 1:100



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B	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE SHED MOVED & UPPER FLOOR REMOVED
A	28.12.14	TENDER ISSUE
REV	DATE	DESCRIPTION

Project
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
LOT 222, D.P. 208479, ANDERSON STREET
PORT MACQUARIE, NSW, 2444

Client
DANIEL SCARLET

Drawing Title

GROUND FLOOR PLAN

Drawn	JJR	Scale	AS SHOWN @ A3	Date	29/5/19
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Checked	Project Number
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Dwg No.

CC-06
Revision (E)

1403

LEGEND:	
DP	DOWNPIPE
D	DOOR LABEL
W	WINDOW LABEL
EFL	EXISTING FLOOR LEVEL
ECS	EXISTING CONCRETE SLAB
T&G	TONGUE & GROOVE TIMBER
CONC	CONCRETE
COL	COLUMN
CT	CERAMIC TILES
ERW	EXISTING RETAINING WALL

STAIR NOTE:

STAIR SLIP RESISTANCE TO BE IN ACCORDANCE WITH PART 3.9.1.4 OF THE BCA/NCC.

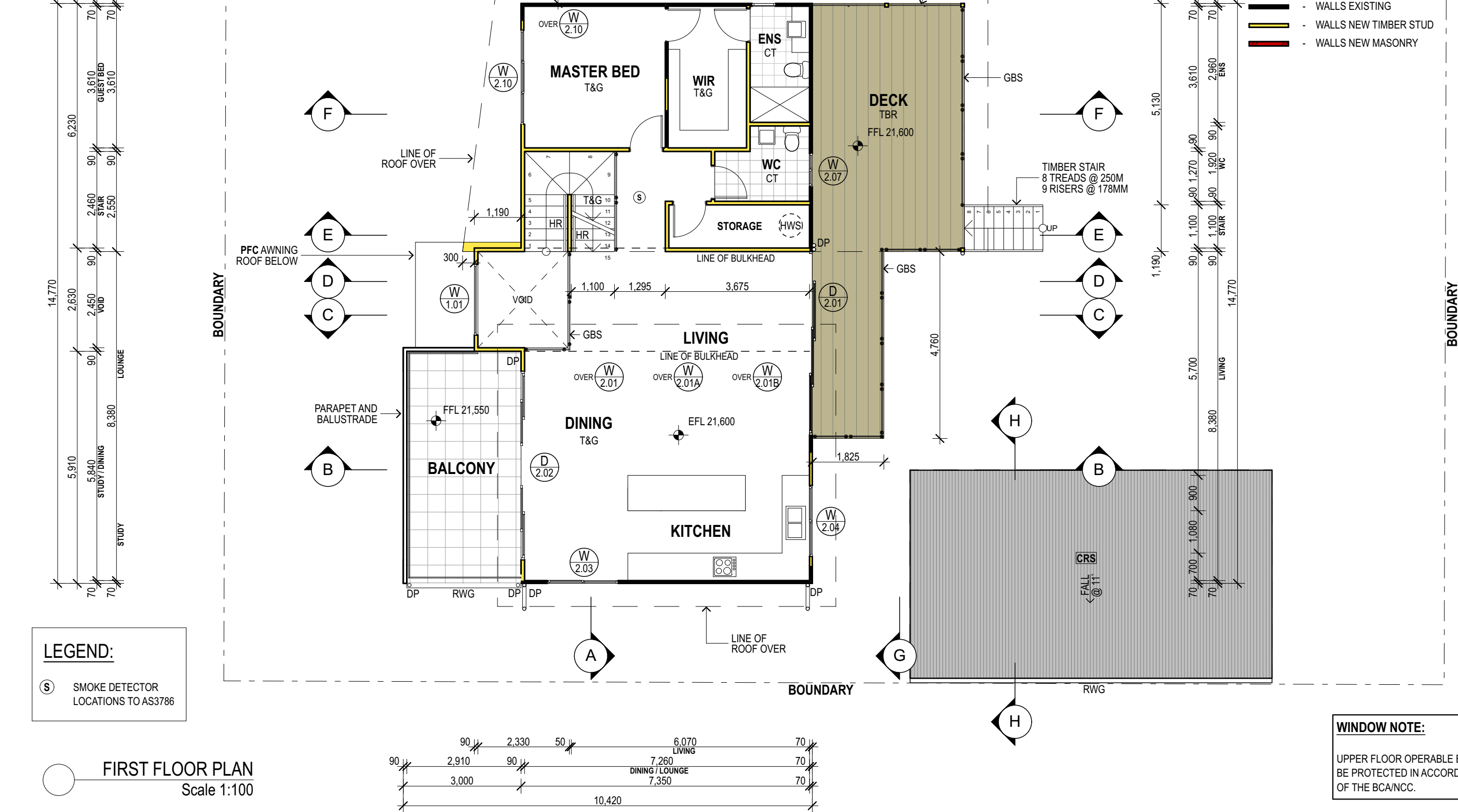
AREAS:

GROSS FLOOR AREA:

EXISTING:	= 109.59M ²
PROPOSED:	= 112.72M ²
DECK:	= 33.17M ²
BALCONY:	= 17.89M ²

KEY:

- WALLS EXISTING
- WALLS NEW TIMBER STUD
- WALLS NEW MASONRY



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REV	DATE	DESCRIPTION
B	29.5.19	SHED MOVED & UPPER FLOOR LEVEL DELETED WEST BALCONY ADDED OVER GARAGE
A	28.12.14	TENDER ISSUE

Project
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
LOT 222, D.P. 208479, ANDERSON STREET
PORT MACQUARIE, NSW, 2444

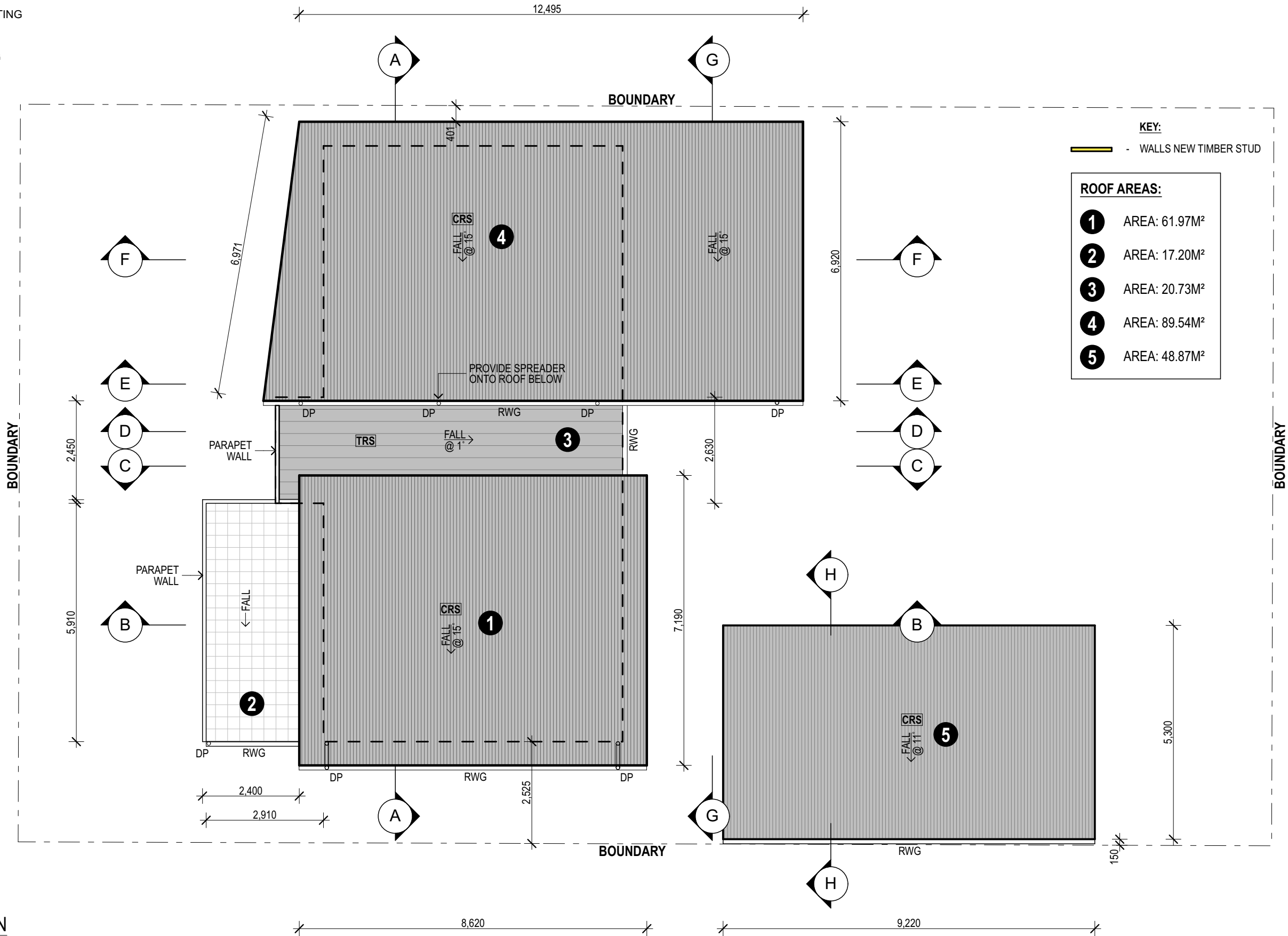
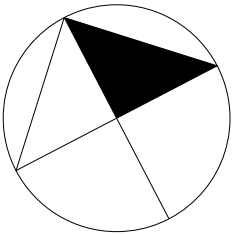
Client
DANIEL SCARLET

Drawing Title
FIRST FLOOR PLAN

Drawn	JJR	Scale	AS SHOWN @ A3	Date	29/5/19	Dwg No.	CC-07
Checked		Project Number	1403	Revision	B		

LEGEND

CRS COLORBOND ROOF SHEETING
DP DOWNPIPE
RWG RAIN WATER GUTTER
TRS TRIMDEK ROOF SHEETING



KEY:
- WALLS NEW TIMBER STUD

ROOF AREAS:

- 1 AREA: 61.97M²
- 2 AREA: 17.20M²
- 3 AREA: 20.73M²
- 4 AREA: 89.54M²
- 5 AREA: 48.87M²

ROOF PLAN
Scale 1:100



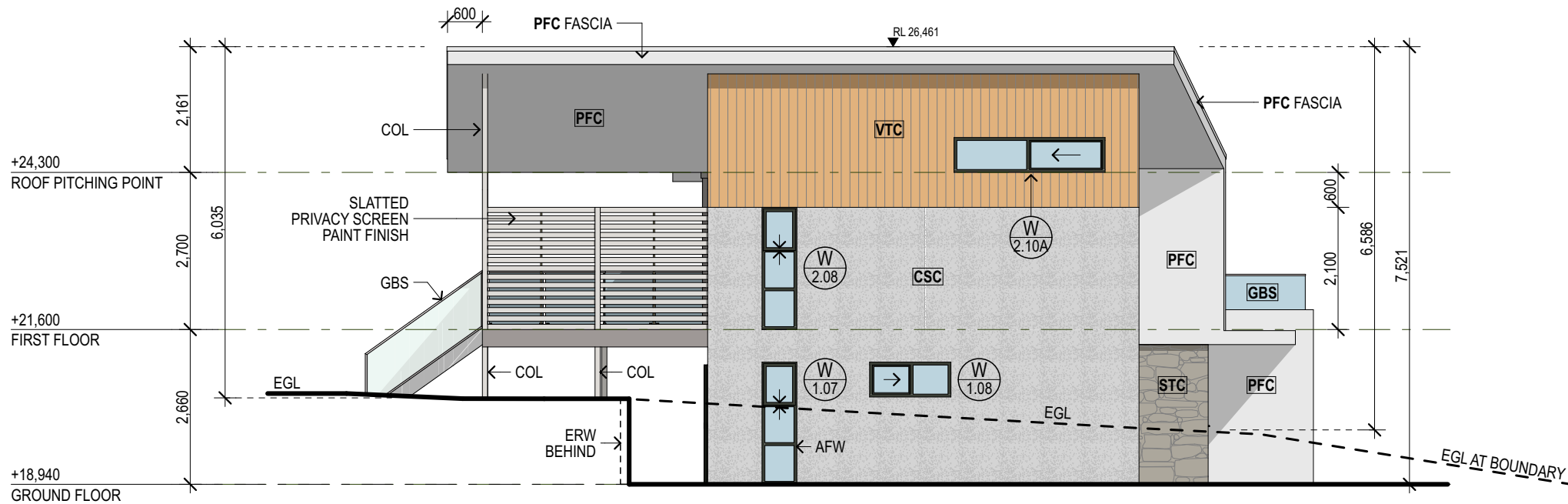
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REV	DATE	DESCRIPTION
B	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE
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Client
DANIEL SCARLET

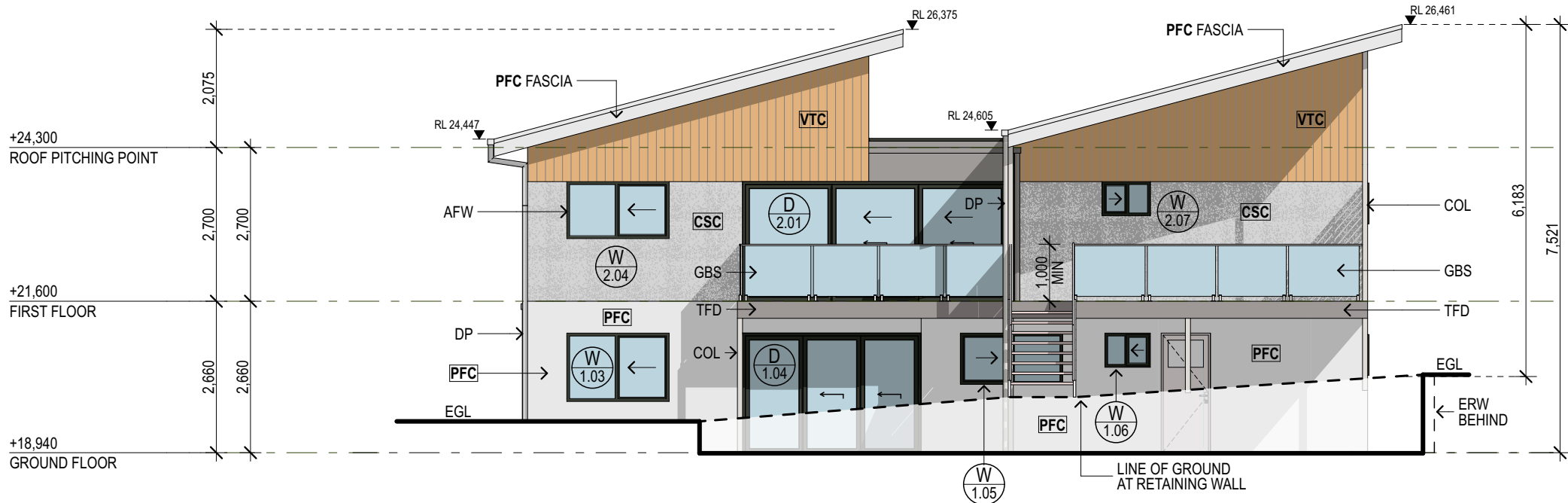
Drawing Title ROOF PLAN			
Drawn	JJR	Scale	AS SHOWN @ A3
Checked		Date	29/5/19
		Project Number	1403
		Dwg No.	CC-08
		Revision	B



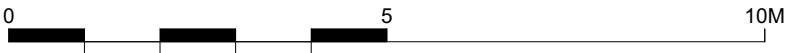
LEGEND:

AFW	ALUMINIUM FRAMED WINDOWS
AFD	ALUMINIUM FRAMED DOORS
COL	COLUMN
CRS	COLORBOND ROOF SHEETING
DP	DOWN PIPE
D	DOOR LABLE
ERW	EXISTING RETAINING WALL
EGL	EXISTING GROUND LINE
GBS	GLAZED BALUSTRADE
TFD	TIMBER FRAMED DECK
PFC	PAINTED FIBRE CEMENT
RWG	RAINWATER GUTTER
STC	STONE TILE CLADDING
WBC	WEATHERBOARD CLADDING
VTC	VERTICAL TIMBER CLADDING
W	WINDOW LABLE

NORTH EAST ELEVATION
Scale 1:100



SOUTH EAST ELEVATION
Scale 1:100



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DANIEL SCARLET

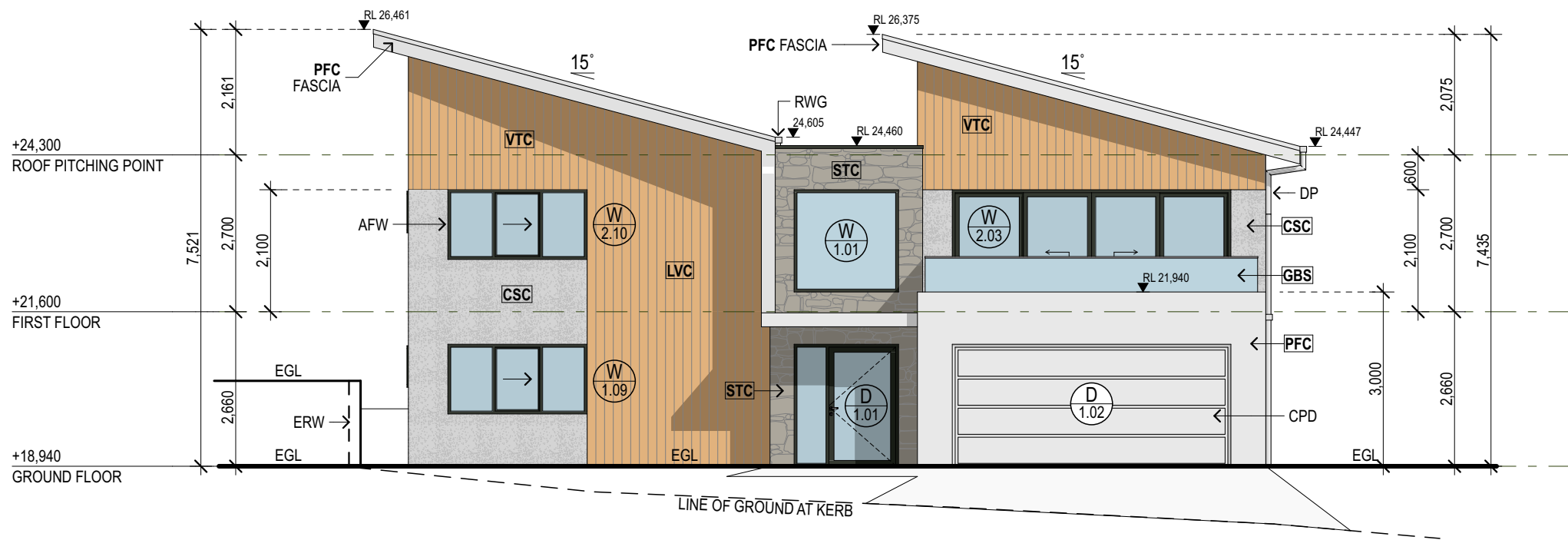
Drawing Title
NORTH EAST + SOUTH EAST ELEVATIONS

Drawn **JJR** Scale **AS SHOWN @ A3** Date **29/5/19** Dwg No.

Checked Project Number

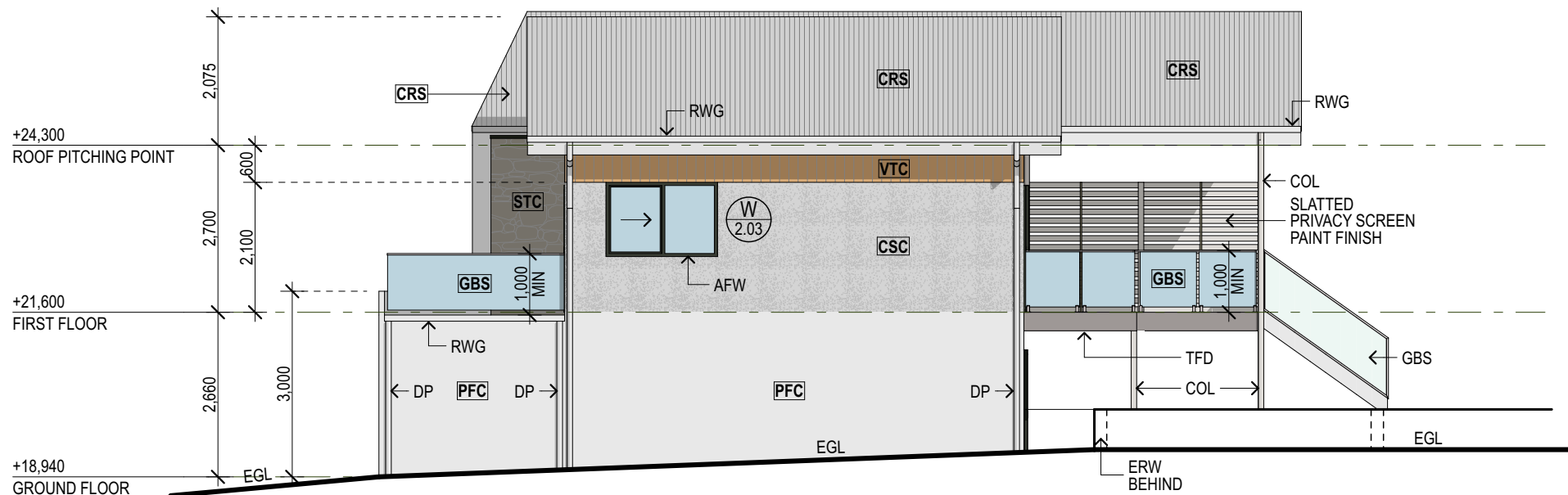
1403

CC-09
Revision **B**



NORTH WEST ELEVATION
Scale 1:100

LEGEND:	
AFW	ALUMINIUM FRAMED WINDOWS
AFD	ALUMINIUM FRAMED DOORS
COL	COLUMN
CRS	COLORBOND ROOF SHEETING
DP	DOWN PIPE
D	DOOR LABLE
ERW	EXISTING RETAINING WALL
EGL	EXISTING GROUND LINE
GBS	GLAZED BALUSTRADE
TFD	TIMBER FRAMED DECK
PFC	PAINTED FIBRE CEMENT
RWG	RAINWATER GUTTER
STC	STONE TILE CLADDING
WBC	WEATHERBOARD CLADDING
VTC	VERTICAL TIMBER CLADDING
W	WINDOW LABLE



SOUTH WEST ELEVATION
Scale 1:100



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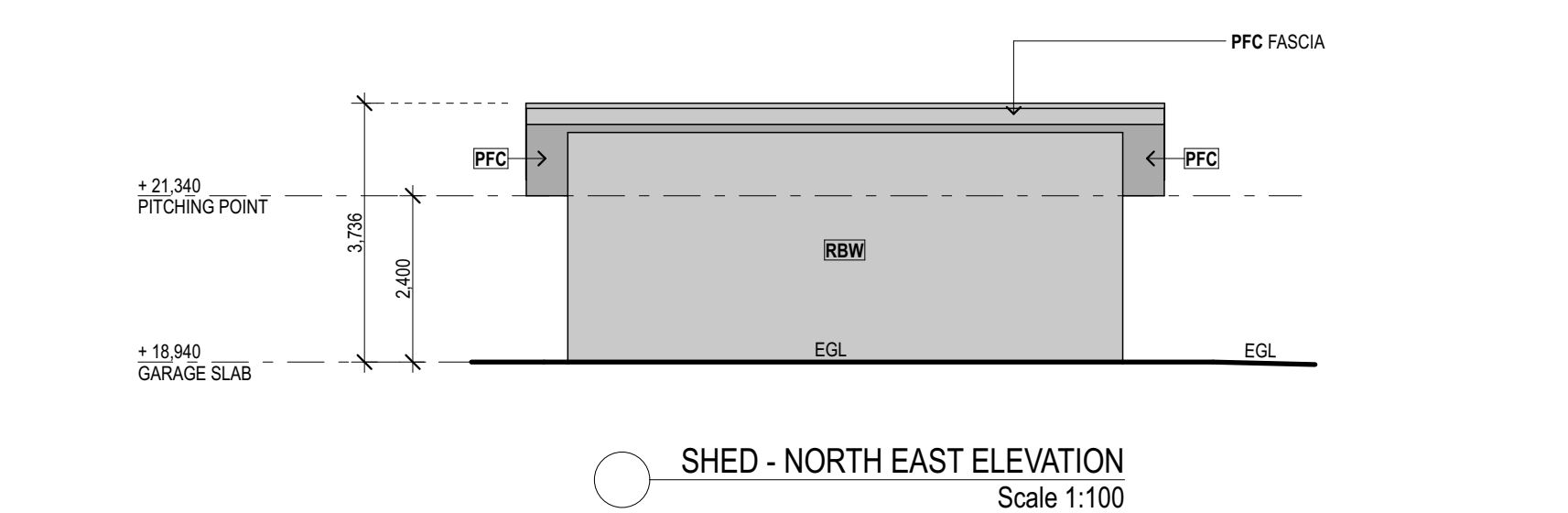
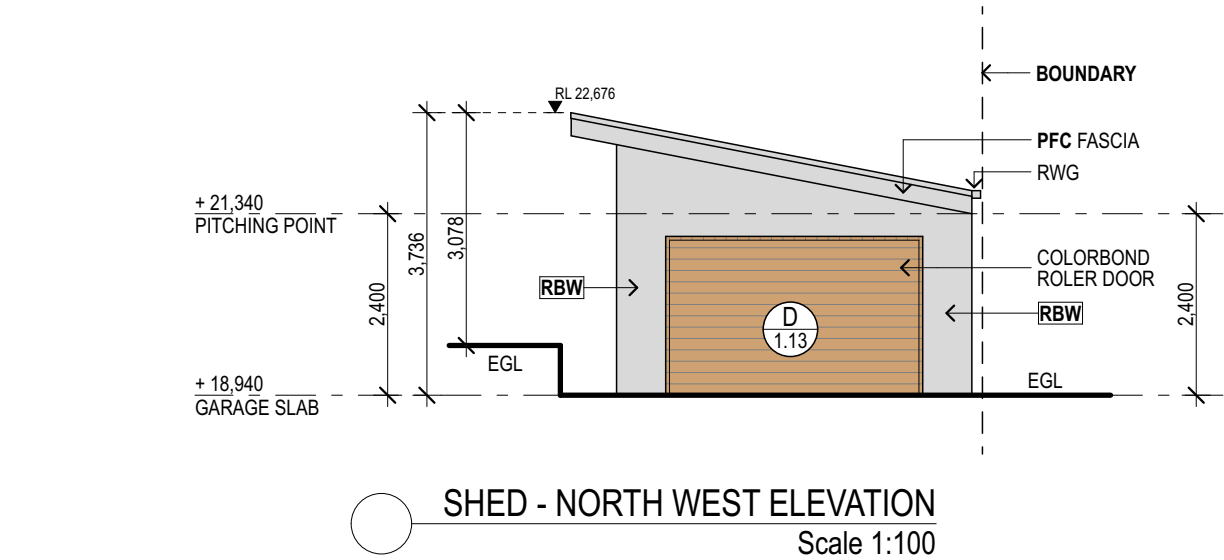
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LOT 222, D.P. 208479, ANDERSON STREET
PORT MACQUARIE, NSW, 2444

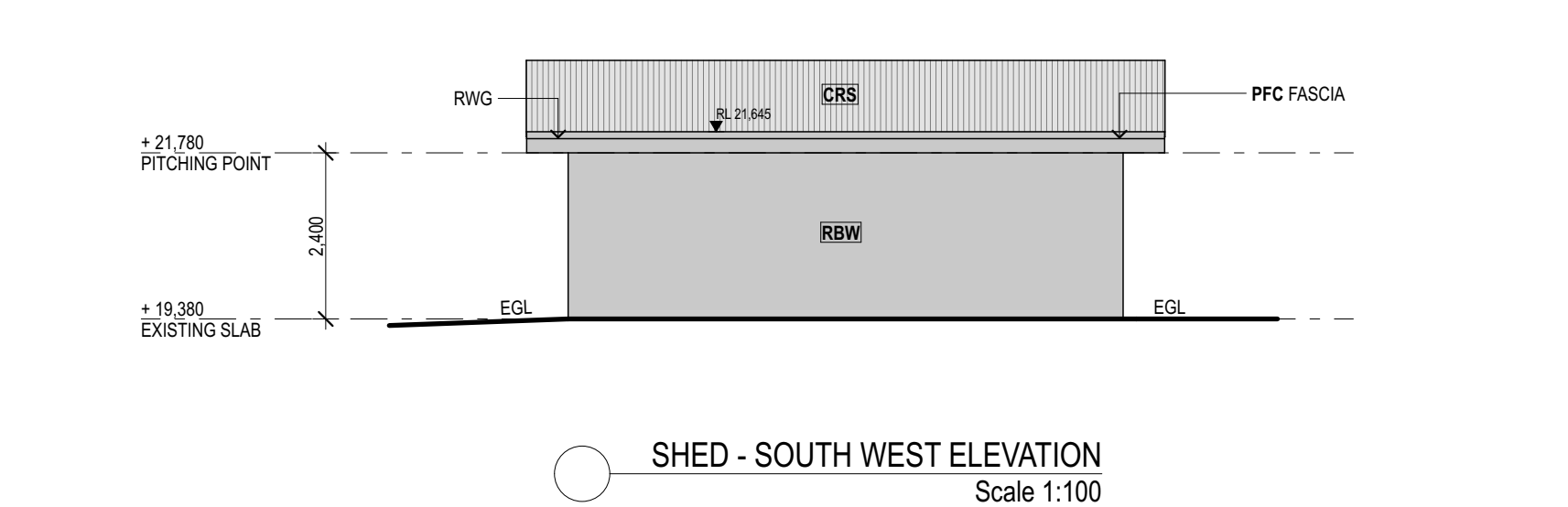
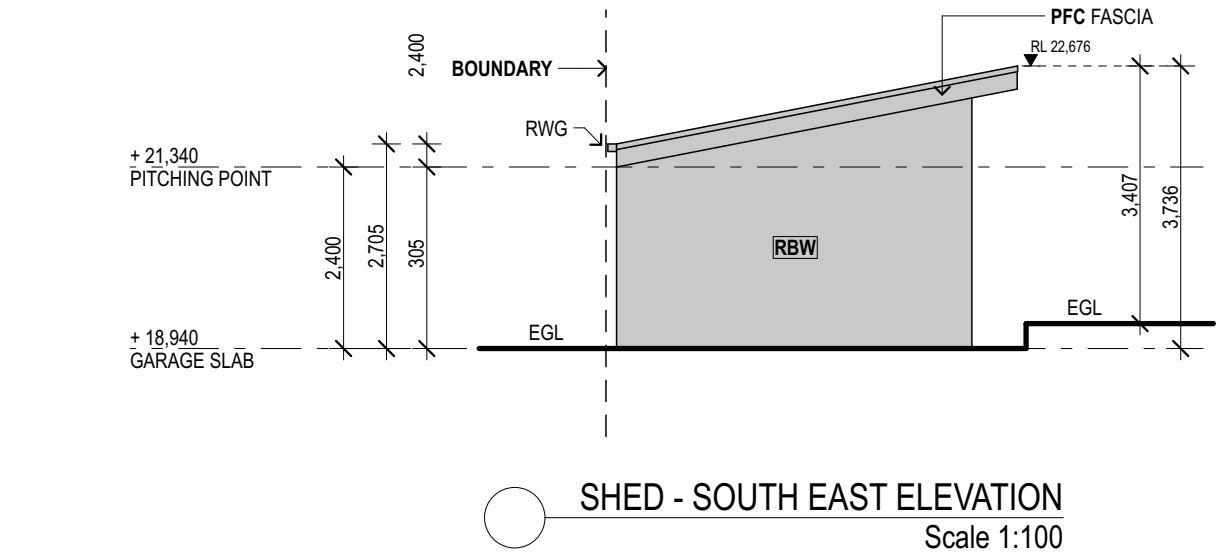
Client
DANIEL SCARLET

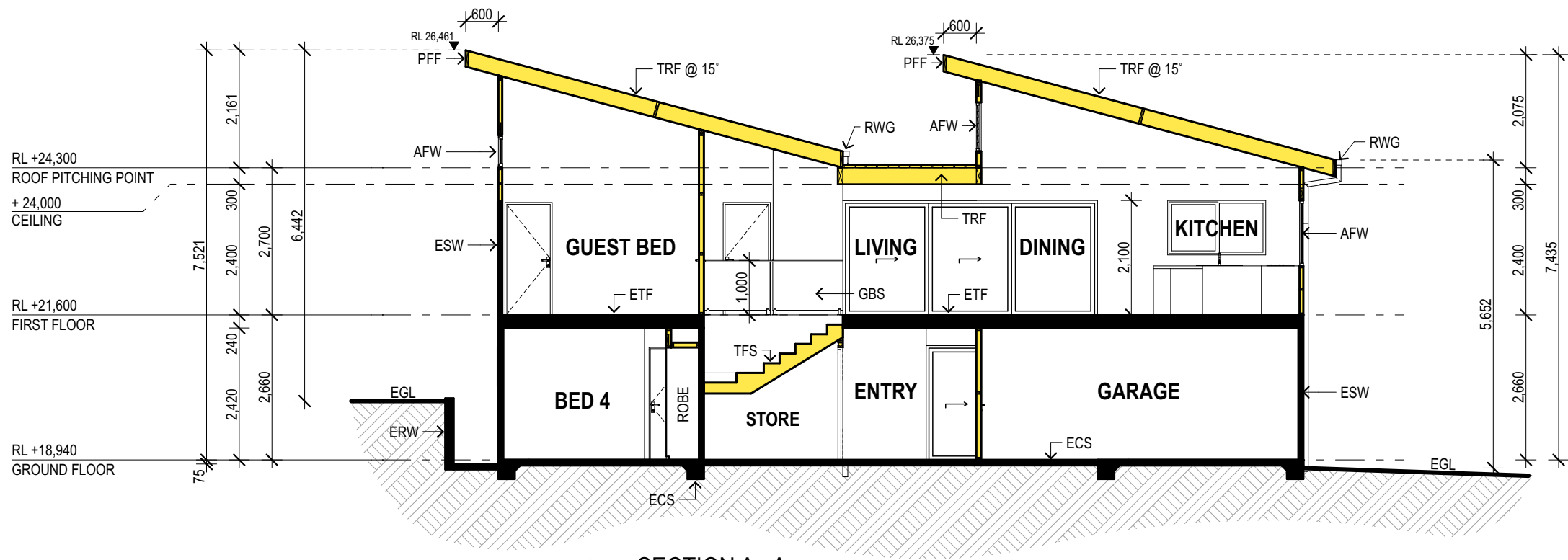
Drawing Title
NORTH WEST + SOUTH WEST ELEVATIONS

Drawn	JJR	Scale	AS SHOWN @ A3	Date	29/5/19	Dwg No.	CC-10
Checked		Project Number	1403				Revision (B)



LEGEND:	
EGL	EXISTING GROUND LINE
RBW	RENDERED BRICKWORK
PFC	PAINTED FIBRE CEMENT
CRS	COLORBOND ROOF SHEETING

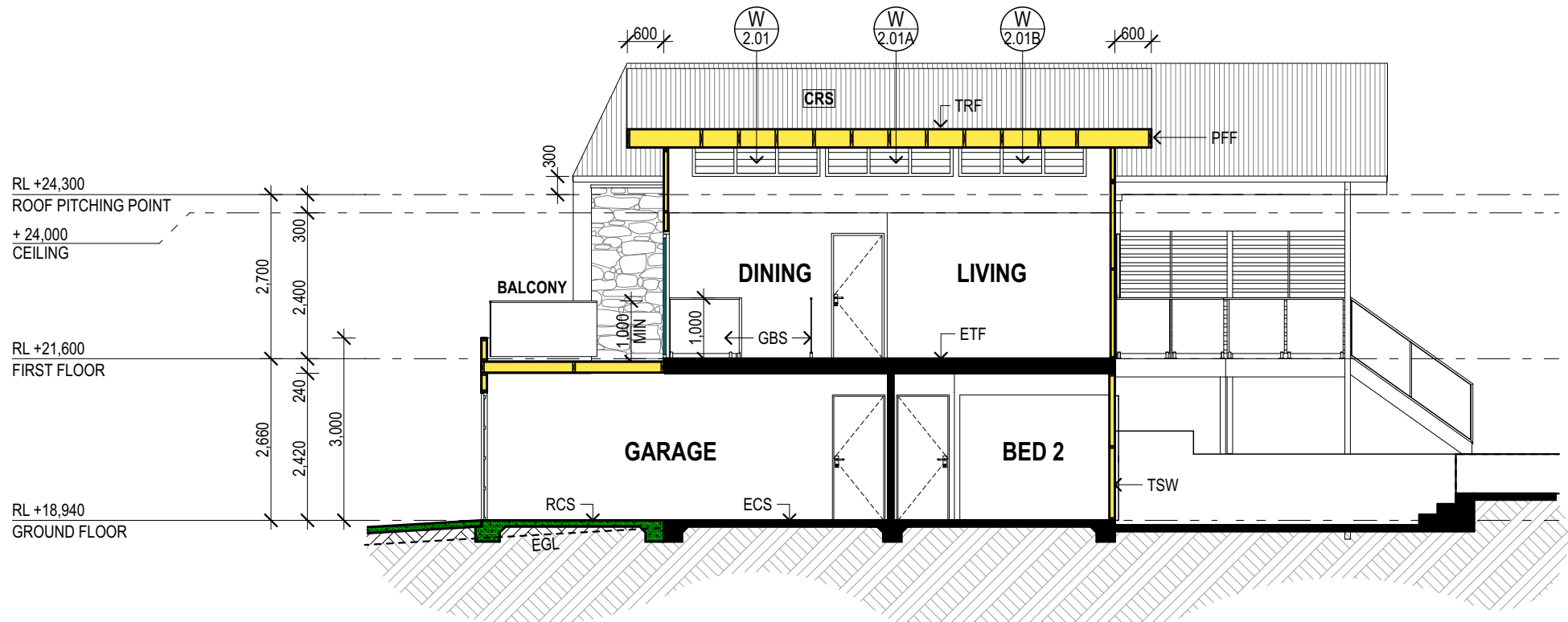




SECTION A - A
Scale 1:100

LEGEND:

AFW	ALUMINIUM FRAMED WINDOWS
AFD	ALUMINIUM FRAMED DOORS
COL	COLUMN
DP	DOWN PIPE
D	DOOR LABLE
ESW	EXISTING STUD WALL
ECS	EXISTING CONCRETE SLAB
ETF	EXISTING TIMBER FLOORING
ERW	EXISTING RETAINING WALL
EGL	EXISTING GROUND LINE
GBS	GLAZED BALUSTRADE
TFD	TIMBER FRAMED DECK
TFS	TIMBER FRAMED STAIR
TRF	TIMBER ROOF FRAMING
PFC	PAINTED FIBRE CEMENT
PBD	PLASTERBOARD
RWG	RAINWATER GUTTER
W	WINDOW LABLE



SECTION B - B
Scale 1:100



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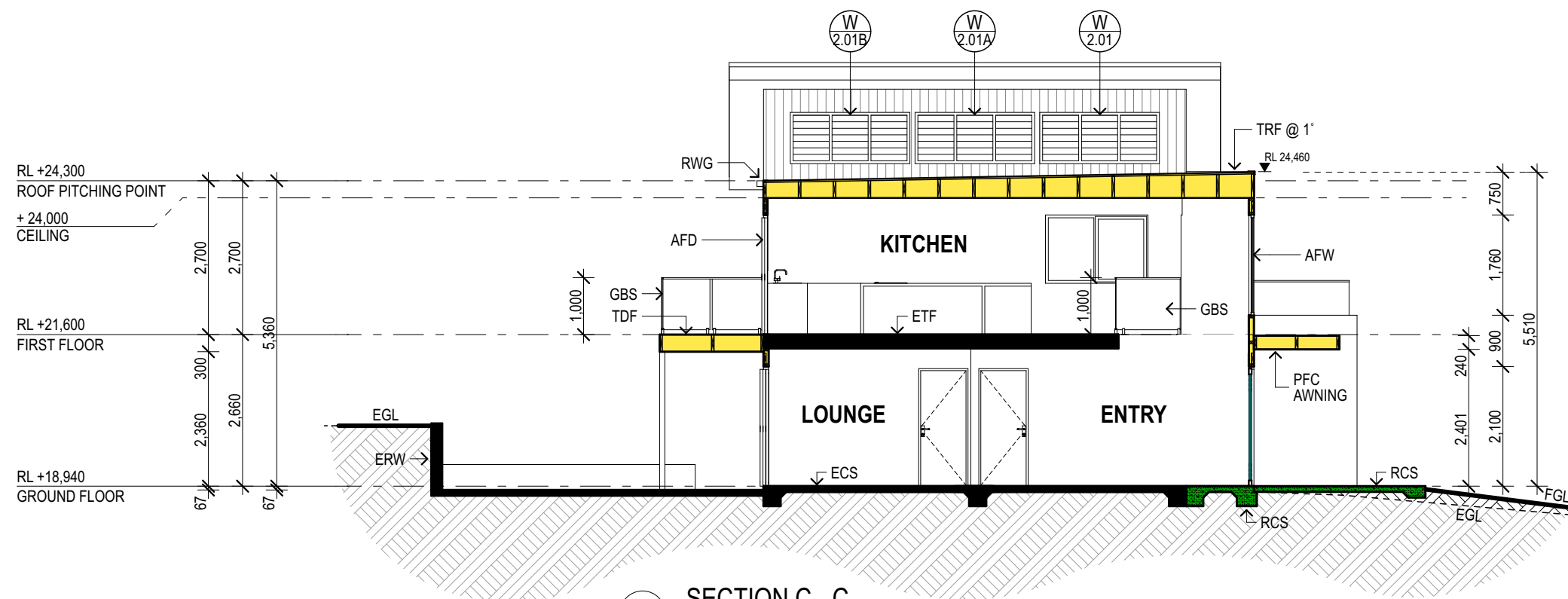
REV	DATE	DESCRIPTION
B	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE
A	28.12.14	TENDER ISSUE

Project
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
LOT 222, D.P. 208479, ANDERSON STREET
PORT MACQUARIE, NSW, 2444

Client
DANIEL SCARLET

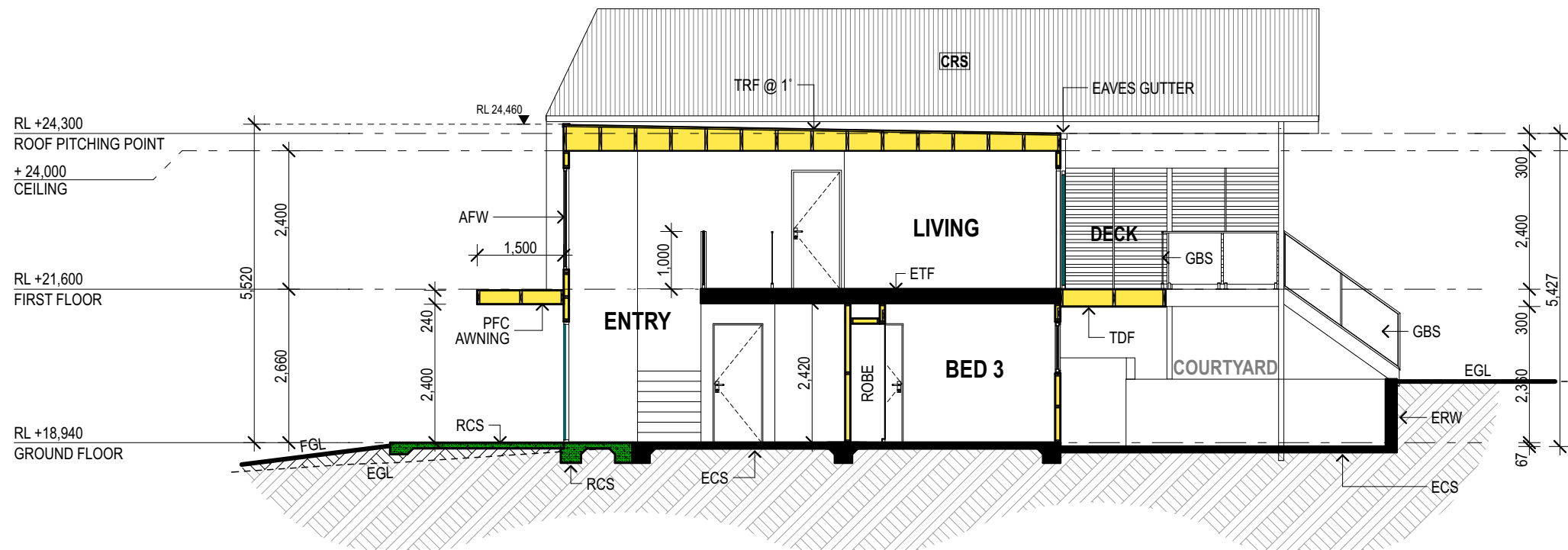
Drawing Title
SECTIONS A - A + B - B

Drawn	JJR	Scale	AS SHOWN @ A3	Date	29/5/19	Dwg No.	CC-12
Checked		Project Number	1403			Revision	B



SECTION C - C
Scale 1:100

LEGEND:	
AFW	ALUMINIUM FRAMED WINDOWS
AFD	ALUMINIUM FRAMED DOORS
COL	COLUMN
DP	DOWN PIPE
D	DOOR LABLE
ESW	EXISTING STUD WALL
ECS	EXISTING CONCRETE SLAB
ETF	EXISTING TIMBER FLOORING
ERW	EXISTING RETAINING WALL
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
GBS	GLAZED BALUSTRADE
TFD	TIMBER FRAMED DECK
TFS	TIMBER FRAMED STAIR
TRF	TIMBER ROOF FRAMING
PFC	PAINTED FIBRE CEMENT
PBD	PLASTERBOARD
RWG	RAINWATER GUTTER
RCS	REINFORCED CONCRETE SLAB
W	WINDOW LABLE



SECTION D - D
Scale 1:100



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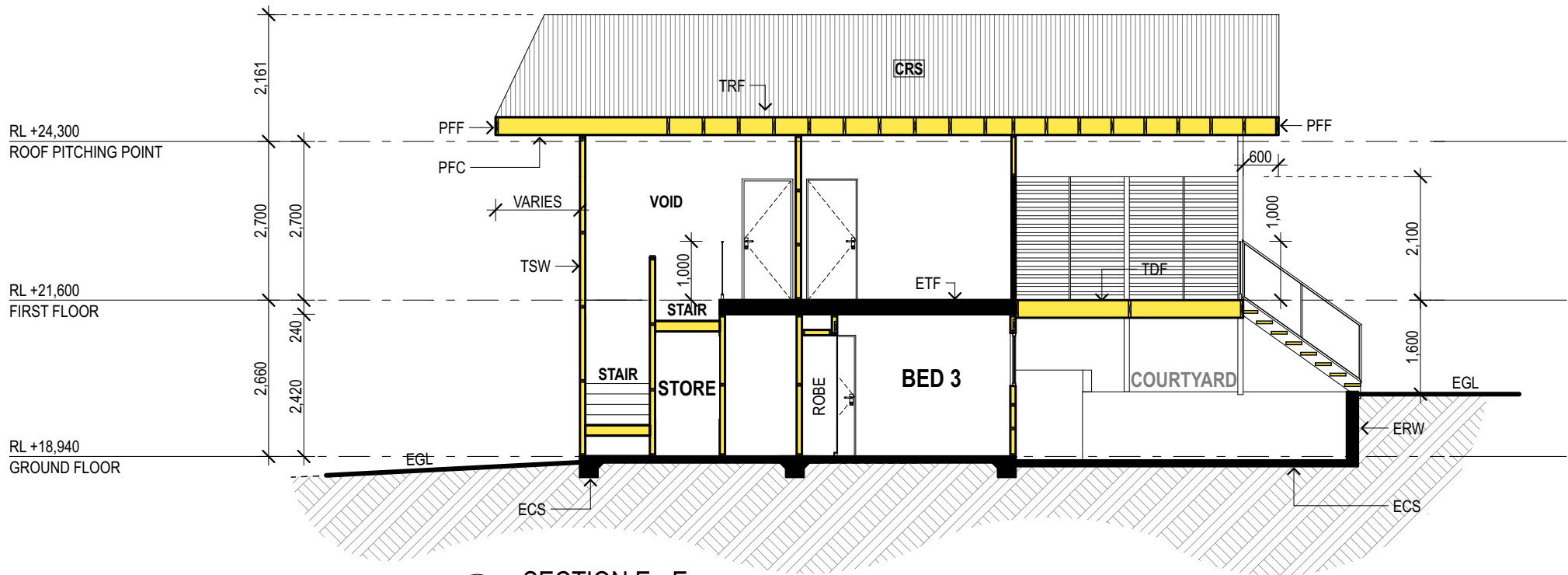
REV	DATE	DESCRIPTION
B	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE
A	28.12.14	TENDER ISSUE

Project
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
LOT 222, D.P. 208479, ANDERSON STREET
PORT MACQUARIE, NSW, 2444

Client
DANIEL SCARLET

Drawing Title
SECTIONS C - C + D - D

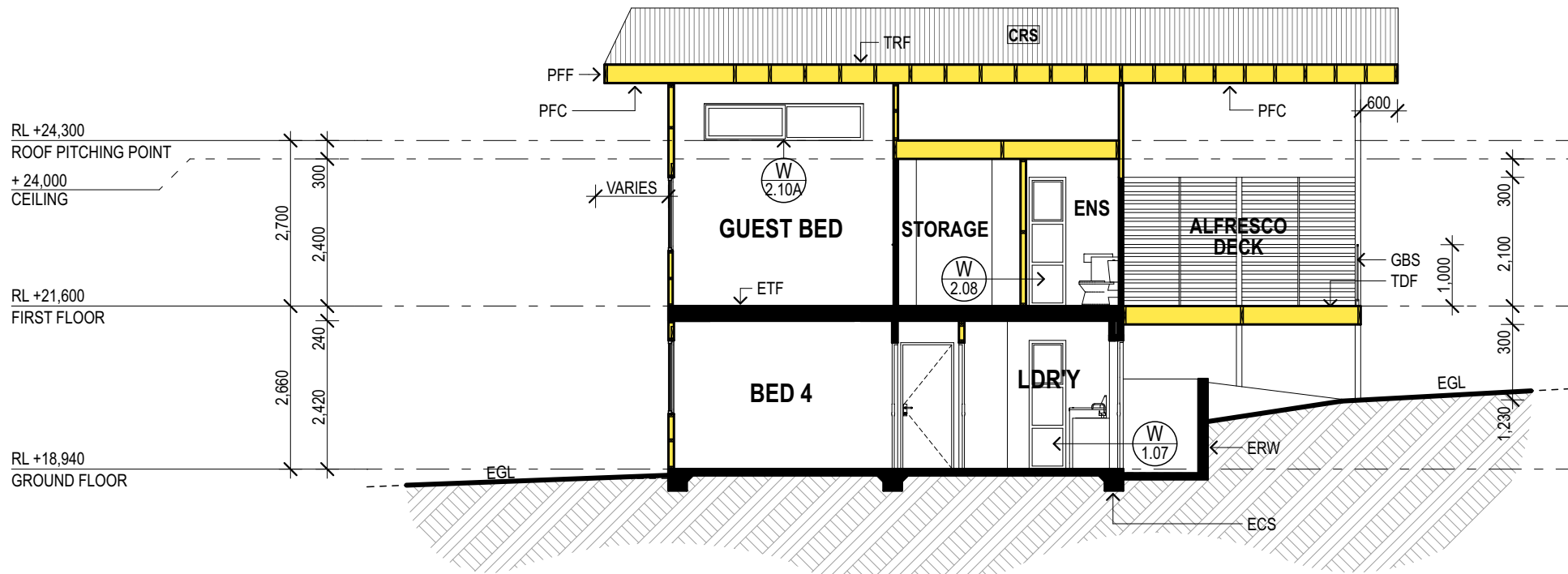
Drawn	JJR	Scale	AS SHOWN @ A3	Date	29/5/19	Dwg No.	CC-13
Checked		Project Number	1403			Revision	B



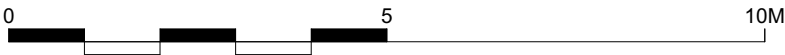
SECTION E - E
Scale 1:100

LEGEND:

AFW	ALUMINIUM FRAMED WINDOWS
AFD	ALUMINIUM FRAMED DOORS
COL	COLUMN
DP	DOWN PIPE
D	DOOR LABLE
ESW	EXISTING STUD WALL
ECS	EXISTING CONCRETE SLAB
ETF	EXISTING TIMBER FLOORING
ERW	EXISTING RETAINING WALL
EGL	EXISTING GROUND LINE
ENS	ENSUITE
FGL	FINISHED GROUND LINE
GBS	GLAZED BALUSTRADE
TFD	TIMBER FRAMED DECK
TFS	TIMBER FRAMED STAIR
TRF	TIMBER ROOF FRAMING
TRS	TRIMDEK ROOF SHEETING
TSW	TIMBER STUD WALL
PFC	PAINTED FIBRE CEMENT
PFF	PAINTED FIBRE CEMENT FASCIA
PBD	PLASTERBOARD
RWG	RAINWATER GUTTER
RCS	REINFORCED CONCRETE SLAB
W	WINDOW LABLE



SECTION F - F
Scale 1:100



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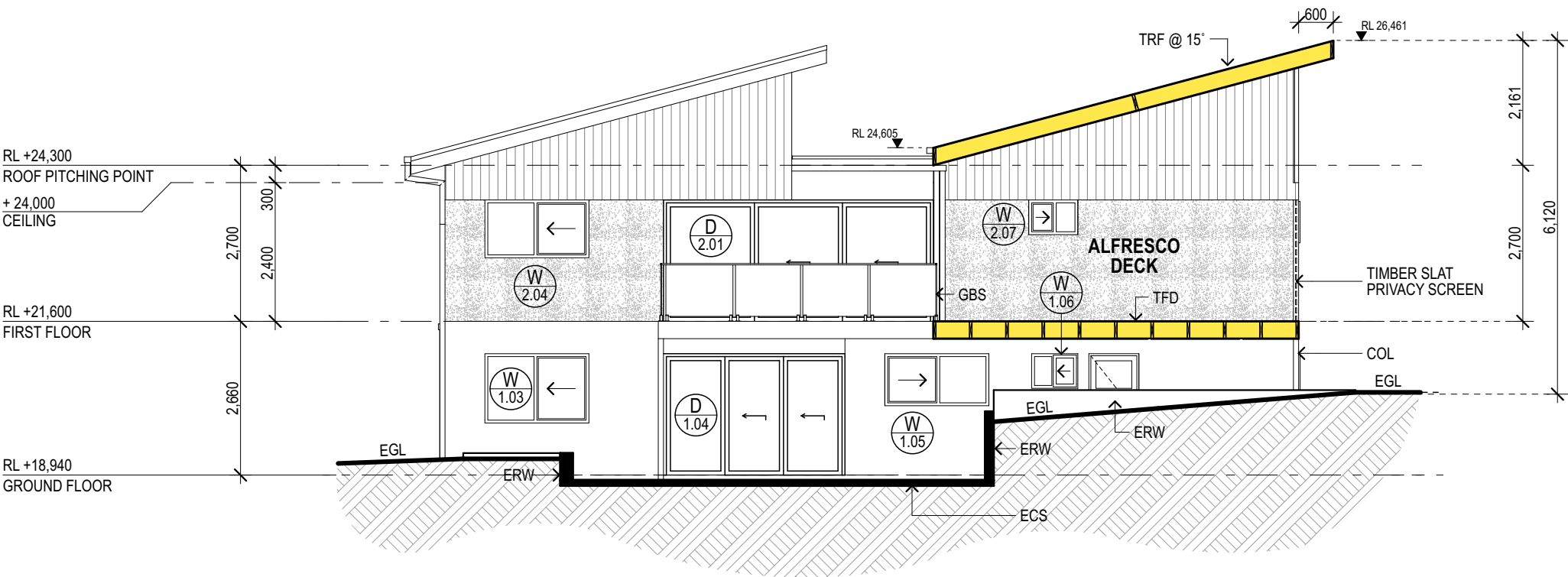
REV	DATE	DESCRIPTION
B	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE
A	28.12.14	TENDER ISSUE

Project
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
LOT 222, D.P. 208479, ANDERSON STREET
PORT MACQUARIE, NSW, 2444

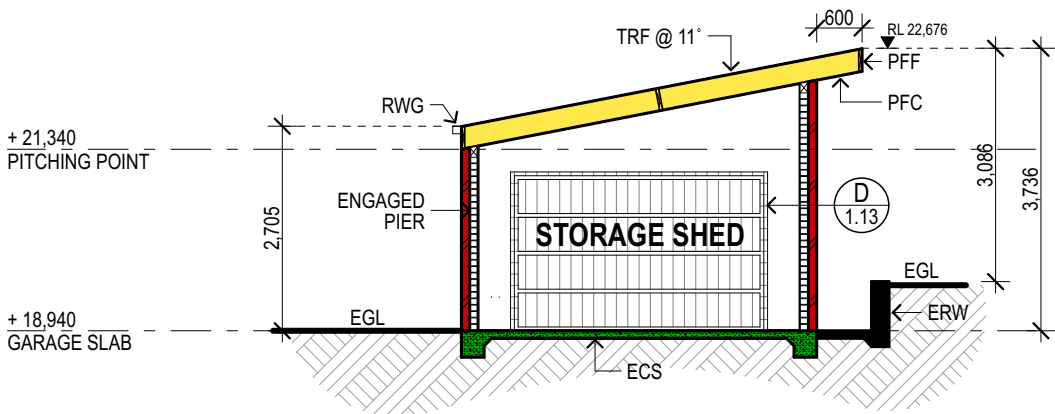
Client
DANIEL SCARLET

Drawing Title
SECTIONS E - E + F - F

Drawn	JJR	Scale	AS SHOWN @ A3	Date	29/5/19	Dwg No.	CC-14
Checked		Project Number	1403			Revision	(B)



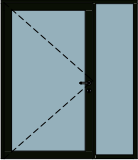
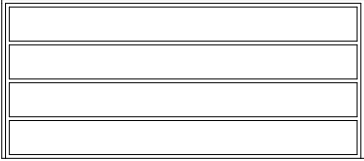
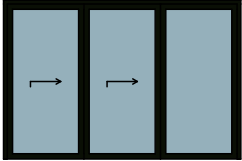
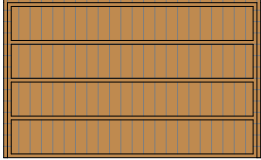
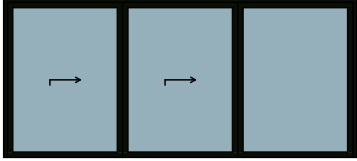
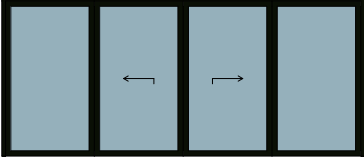
SECTION G - G
Scale 1:100



SECTION H - H
Scale 1:100

LEGEND:	
AFW	ALUMINIUM FRAMED WINDOWS
AFD	ALUMINIUM FRAMED DOORS
COL	COLUMN
DP	DOWN PIPE
D	DOOR LABLE
ESW	EXISTING STUD WALL
ECS	EXISTING CONCRETE SLAB
ETF	EXISTING TIMBER FLOORING
ERW	EXISTING RETAINING WALL
EGL	EXISTING GROUND LINE
GBS	GLAZED BALUSTRADE
TFD	TIMBER FRAMED DECK
TFS	TIMBER FRAMED STAIR
TRF	TIMBER ROOF FRAMING
TFF	TIMBER FLOOR FRAMING
TSW	TIMBER STUD WALL
PFC	PAINTED FIBRE CEMENT
PFF	PAINTED FIBRE CEMENT FASCIA
PBD	PLASTERBOARD
RWG	RAINWATER GUTTER
W	WINDOW LABLE

<div><div>0510M</div><div>DESIGN AND DRAWING ARE COPYRIGHT AND CANNOT BE USED WITHOUT PERMISSION. USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE PREPARING SHOP DRAWINGS OR COMMENCING WORK. THE DIMENSIONS SHOWN ARE COMPUTER GENERATED AND THE CONTRACTOR IS TO APPLY STANDARD BUILDING TOLERANCES.</div></div>				<div>Project</div> <div>ALTERATIONS & ADDITIONS TO EXISTING DWELLING</div> <div>LOT 222, D.P. 208479, ANDERSON STREET</div> <div>PORT MACQUARIE, NSW, 2444</div>	<div>Drawing Title</div> <div>SECTIONS G - G + H - H</div>								
						Drawn	JJR	Scale	AS SHOWN @ A3	Date	29/5/19	Dwg No.	
						Checked	Project Number					1403	CC-15 Revision <div>B</div>
	B	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE	<div>Client</div> <div>DANIEL SCARLET</div>									
	A	28.12.14	TENDER ISSUE										
	REV	DATE	DESCRIPTION										

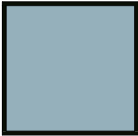






DOOR SCHEDULE					
ID:	HEIGHT (MM)	WIDTH (MM)	ELEVATION:	ORIENTATION:	AREA: M2
D1.01	2,100	1,800		NW	3.78
D1.02	2,100	4,800		NW	10.08
D1.04	2,100	3,140		SE	6.59
D1.13	2,100	3,400		NW	7.14
D2.01	2,100	4,670		SE	9.81
D2.02	2,100	4,800		NW	10.08

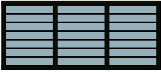
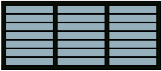
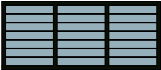








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B	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE
A	28.12.14	TENDER ISSUE
REV	DATE	DESCRIPTION

Project ALTERATIONS & ADDITIONS TO EXISTING DWELLING LOT 222, D.P. 208479, ANDERSON STREET PORT MACQUARIE, NSW, 2444		Drawing Title DOOR SCHEDULE		
Client DANIEL SCARLET		Drawn JJR	Scale AS SHOWN @ A3	Date 29/5/19
		Checked	Project Number	Dwg No.
			1403	CC-16 Revision (B)

WINDOW SCHEDULE					
ID:	HEIGHT: (MM)	WIDTH: (MM)	ELEVATION:	ORIENTATION:	AREA: (M2)
W1.01	1,760	1,800		NW	3.17
W1.03	1,200	1,800		SE	2.16
W1.05	900	1,800		SE	1.62
W1.06	600	800		SE	0.48
W1.07	2,100	600		NE	1.26
W1.08	600	1,400		NE	0.84
W1.09	1,200	2,400		NW	2.88

WINDOW SCHEDULE					
ID:	HEIGHT: (MM)	WIDTH: (MM)	ELEVATION:	ORIENTATION:	AREA: (M2)
W2.01	900	2,100		NE	1.89
W2.01A	900	2,100		NE	1.89
W2.01B	900	2,100		NE	1.89
W2.03	1,200	1,800		SW	2.16
W2.04	1,000	1,800		SE	1.80
W2.07	600	850		SE	0.51
W2.08	2,100	600		NE	1.26
W2.10	1,200	2,400		NW	2.88
W2.10A	600	2,600		NE	1.56



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B	29.5.19	S96 + CONSTRUCTION CERTIFICATE ISSUE
A	28.12.14	TENDER ISSUE
REV	DATE	DESCRIPTION

Project
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
LOT 222, D.P. 208479, ANDERSON STREET
PORT MACQUARIE, NSW, 2444

Client
DANIEL SCARLET

Drawing Title
WINDOW SCHEDULE

Drawn	JJR	Scale	AS SHOWN @ A3	Date	29/5/19	Dwg No.
Checked		Project Number				

1403

CC-17
Revision (B)