

# Parramatta North Urban Renewal

## Landscape Re-zoning Report

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Prepared for: UrbanGrowth NSW

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## Executive Summary

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### The Proposal

The Parramatta North Urban Renewal (PNUR) area provides opportunities to protect and enhance heritage significant sites, and deliver housing, cultural uses and employment on the edge of the Parramatta CBD. The area is also exceptionally well located in close proximity to the Westmead Health and Rydalmere Education specialised precincts, as well as existing and planned transport.

The location at the edge of the Parramatta CBD also places the area at the western extent of the Global Economic Corridor and Parramatta Road Corridor. These locational advantages, in concert with the proximity to the Western Sydney Employment Area, underline the strategic merits of the urban renewal of the area. PNUR includes many locational and site specific attributes, including frontage to the Parramatta River and a rich history of Aboriginal, early colonial, nineteenth and twentieth century uses. The potential exists to deliver housing and employment opportunities in a precinct that will embrace and interpret these heritage attributes to make them a focus of the urban environment that will emerge through future development.

The Study has been undertaken to prepare an appropriate suite of planning controls to guide the urban renewal of the area and future development. This has led to an Indicative Layout Plan (ILP) guiding future open space, transport links and building footprints, as well as zoning and height of building controls, which are to be implemented in conjunction with site specific Development Control Plan provisions to guide the fine grain development of the area.

This suite of controls has had regard to the site's heritage, environmental values and physical constraints.

The ILP envisages the creation of a mixed use area within the Cumberland Precinct that accommodates new development for housing, employment, cultural and community uses in new buildings and through the adaptation of existing heritage buildings. For the Sports and Leisure Precinct, the ILP envisages the strengthening of the current role of the area as a major sports venue and the introduction of allied retail and commercial uses to support the role of Parramatta Stadium as a major sport and entertainment venue for Parramatta and greater western Sydney. The Sports and Leisure Precinct may also accommodate ancillary retail to support the resident and employee population to be accommodated in the PNUR.

### Landscape Assessment

This landscape re-zoning report has been prepared Context Landscape Design Pty. Ltd. on behalf of UrbanGrowth NSW in order to assess the impacts / issues related to proposed changes to the planning framework which applies to the study area. The report provides recommendations for the development of landscape spaces including parks, streetscapes, riparian corridors and building curtilages.

#### Landscape Vision

The vision for Parramatta North Urban Renewal (PNUR) is to create a unique precinct character which preserves, enhances and celebrates the existing qualities of site. Symbolically, the potential to address key connectivity constraints with the adjacent Parramatta Parklands and residential areas will unlock significant areas of high quality public domain for all to enjoy.

#### Existing Landscape Character

The study area contains a unique landscape character which has evolved from various human settlements and land uses over time. This historical 'layering' has created a rich landscape with significant cultural heritage value. Preserving this unique character is a central principle in investigating ways in which the site may be developed, ensuring existing heritage value is preserved for the future.

#### European Heritage

The existing European heritage value on the site is high due to its many layers of land use apparent in the remnant built and landscape fabric. Both the Sports and Leisure Precinct and the Cumberland Precinct formed part of the historic Governor's Demesne or Parramatta Domain and are located adjacent to the Old Government House & Domain World Heritage Property on the western side of the Parramatta River. Key opportunities and constraints associated with European heritage are;

- *Enhance and preserve significant views and visual corridors*
- *Explore potential for interpretation of study areas's cultural heritage*
- *Retain and protect existing trees where possible*
- *Preserve / reinterpret existing elements including curtilages, avenues, paths, walls and ornaments*
- *Explore opportunities for re-use of existing heritage elements within the landscape*
- *Potential additional screen planting to south of proposed development lots in Parramatta Park*

### Aboriginal Heritage

Key recommendations from the Aboriginal Archaeological and Cultural Heritage Assessment relevant to the consideration of the landscape assessment are;

- Potential to provide additional screen planting to the south of proposed development lots in Parramatta Park in order to preserve a feeling of openness and seclusion, creating an appreciation of the pre-contact Aboriginal landscape,
- Explore opportunities for interpretation of Aboriginal history, significance and occupation of Parramatta and the study area.

### Environmental Factors

The study area, although highly disturbed from it's pre-contact state, contributes significantly to the local catchment of open spaces and contains large areas of managed open parklands as well as riparian corridor landscapes. Key environmental opportunities and constraints affecting the site were;

- *Consider WSUD strategies to improve sustainability and reduce development impacts*
- *Consider potential impacts of 1:100 year flood events*
- *Enhance and preserve habitat areas*
- *Enhance quality of vegetation communities*
- *Explore opportunities to improve riverbank stabilisation*

### Circulation

The study area contains a number of existing roads and pathways. Connections into the site from the west are limited to one vehicular bridge (Bridge Road) and two pedestrian river crossing. The study area is relatively permeable to the south-east margin with a number of streets running perpendicular to O'Connell Street. The north-east margin is dominated by the high sandstone wall of the Parramatta Gaol, limiting entry to the site. A riverine walk exists within Parramatta Park creating an opportunity for continuation through the study area. Development of new connections with the surrounding parkland and urban fabric are crucial for the success of development within the study area. Retention of historical connections and alignments will also help to preserve the unique existing character of the site. Key circulation opportunities and constraints affecting the site were;

- *Potential to extend riverine walk through the study area*
- *Preserve / enhance existing connections*
- *Improve permeability / and connections to the surrounding parklands and urban fabric*

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## Overview of Landscape Proposals

### Open Spaces

4no. areas of public open space are proposed as part of the PNUR. OS1 and OS2 form a continual riparian corridor park to the western margin of the study area linking to the existing Parramatta Park to the south. A 2.5m shared path is proposed along the corridor connecting with and extending the existing riverine walk to the south. OS3 is located at the existing oval site and will create a key recreational amenity adjacent to the new town centre to the west. OS4 preserves an existing open space that will act as a green entrance to the site, linking pedestrians and cyclists to the adjacent residential streets.

### Riparian Corridor and the River

The riparian corridor will be preserved as open public space (OS1 / OS2) allocating a significant setback to any proposed development. Weed removal and suppressions, revegetation works and bank stabilisation measures are recommended to create a continuation of the works carried out by the Parramatta Park Trust along the western bank of the Parramatta River. Endemic species will be planted to create habitat for native fauna and provide a distinctive bushland character to the river edge. The river has significant cultural links for both European and indigenous heritage. Interpretation of land uses and cultural connections are proposed at key points along the open space corridor.

### Streetscape

All streetscapes within the PNUR have been designed with allocation for street trees which will provide significant canopy and reinforce the site character. The existing parkland quality of the site, dominated by a mixture of exotic and iconic native tree species shall be reinforced through the selection of street tree species. Generous verges and planting within building setbacks will further strengthen the sensitive incorporation of future development within the site.

### Curtilages

Existing curtilages to significant buildings contribute significantly to the spatial quality of the site. Associated specifically to a building, land use or institution curtilages often have strong cultural connections. This report recommends the preservation and enhancement of curtilages to buildings proposed to be retained as part of the PNUR.

### Conclusion

The main objective of the landscape re-zoning report and the associated landscape masterplan is to preserve and interpret the cultural landscape of the PNUR study area, to ensure the health and integrity of the natural environment and setting while accommodating the development of a new residential and commercial community. To achieve this the landscape re-zoning report seeks to address both heritage, environmental and circulation factors which are reflected in the recommendations and initial landscape proposals. Successful implementation of these recommendations will provide increased connectivity within the site and allow the community access to a series of public open spaces within a unique heritage setting. In summary, Context Landscape Design confirms that the re-zoning proposals and Indicative Layout Plan (ILP) prepared by AJC Architects achieves the objectives and principles outlined in this report.

This report should be read in conjunction with all other consultant assessments and studies.

## 1.0 Overview

### 1.1 Introduction

Parramatta North Urban Renewal area (PNUR) is located to the west and north-west of the Parramatta CBD, Sydney's second CBD. Parramatta is located in the geographical heart of Sydney and plays a significant role in the Greater Metropolitan area as the most important centre in Western Sydney. The PNUR is located to the east of the Westmead Health campus, separated by the Parramatta River. The PNUR is also within close proximity to the Rydalmere Education Precinct and transport links.

Context Landscape Design Consultant has been engaged by UrbanGrowth NSW to assess the landscape impacts/issues relating to the proposed amendment to the planning framework applying to the study area. The investigations relate only to the Cumberland and Sports and Leisure Precincts within the PNUR. The assessment has been undertaken to inform a State Significant Site study (the Study) which is investigating potential amendments of the statutory planning controls applying to the Cumberland and Sports and Leisure Precincts of the PNUR.

PNUR includes many locational and site specific attributes, including frontage to the Parramatta River and a rich history of Aboriginal, early colonial, nineteenth and twentieth century uses. The potential exists to deliver housing and employment opportunities in a precinct that will embrace and interpret these heritage attributes to make them a focus of the urban environment that will emerge through future development and facilitate their retention and re-use.

The amendment to the statutory planning provisions is anticipated to be undertaken via a State Environmental Planning Policy (SEPP) to amend the provisions of Parramatta City Centre LEP 2007 and Parramatta LEP 2011. Site specific Development Control Plan (DCP) provisions are also proposed to be prepared to guide future development. Amendment of the planning framework will facilitate the lodgement of future Development Applications with Parramatta City Council to be assessed and determined under the provisions of Part 4 of the Environmental Planning and Assessment Act 1979.



Figure 1. Location Plan, Source: Aver

## 1.2 Background

Parramatta North Urban Renewal area (PNUR) is located to the west and north-west of the Parramatta CBD, Sydney's second CBD. Parramatta is located in the geographical heart of Sydney and plays a significant role as the most important centre in Western Sydney. The PNUR is located to the immediate east of the Westmead Health campus, separated by the Parramatta River.

The PNUR is a 146 Ha area and has been divided into four distinct Precincts comprising:

- The Cumberland Precinct (40 Ha)
- Sport and Leisure Precinct (21 Ha)
- Old Kings School Precinct (4 Ha), and
- Parramatta Park Precinct (81 Ha).

This Study has been prepared in order to identify how best to plan for the urban renewal of the Cumberland Precinct and the Sports and Leisure Precinct only. The recommended planning controls have been prepared recognising the locational advantages of the PNUR to the Parramatta CBD, the Westmead Health Precinct, the Rydalmere Education Precinct, and transport options.

The renewal of the area provides exceptional opportunities for the delivery of housing cultural and community uses, and the capacity to protect, enhance and re-use significant heritage buildings and structures.

## 1.3 Location

Parramatta North Urban Renewal area (PNUR) is located to the west and north-west of the Parramatta CBD, Sydney's second CBD. Parramatta is located in the geographical heart of Sydney and plays a significant role in the Greater Metropolitan area as the most important centre in Western Sydney. The PNUR is located to the east of the Westmead Health campus, separated by the Parramatta River. The PNUR is also within close proximity to the Rydalmere Education Precinct and transport links.

The Study relates only to the Cumberland and Sports and Leisure precincts within the PNUR.

The Sports and Leisure Precinct (SLP) is located centrally within the PNUR. The SLP is delineated to the west and south by the meander of the Parramatta River, O'Connell Street to the east and Grose Street to the north.

The Cumberland Precinct (CP) is the northern most part of the PNUR and is broadly

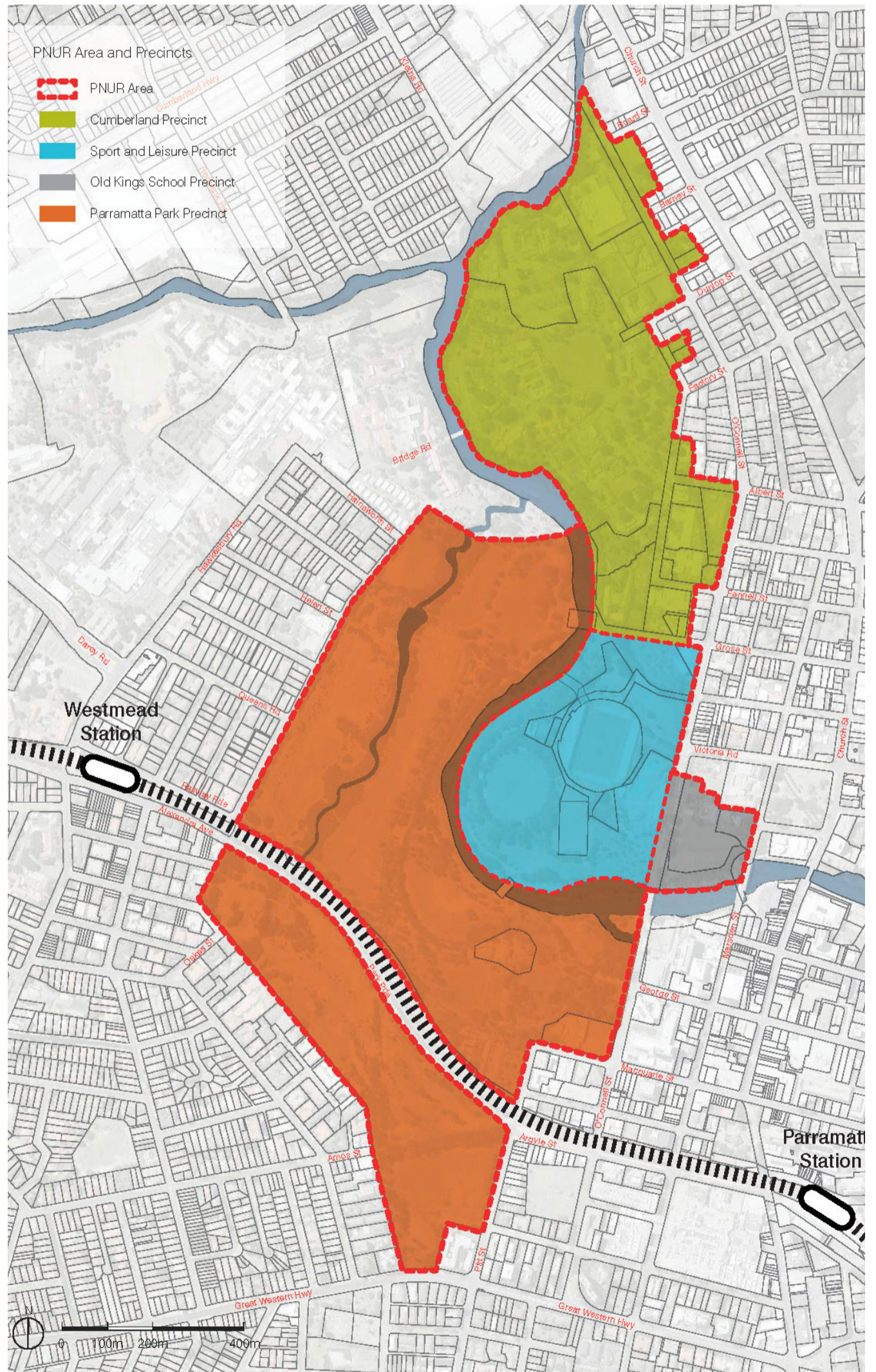


Figure 2. Precincts Diagram, Source: Aver

delineated by the meander of the Parramatta River to the west and north, O'Connell Street to the east and Grose Street to the south.

Combined, the two precincts comprise the areas of the PNUR to the east of the Parramatta River and west of O'Connell Street. The lands to the west of the Parramatta River contain Parramatta Park, including Old Government House and Domain.

#### 1.4 Existing Land Uses

Land uses and facilities currently located within the SLP include Parramatta Stadium and associated facilities, Parramatta public pool, Parramatta Leagues Club, open space parkland and venue car parking. These built facilities and associated structures occupy predominantly the north eastern two thirds of the precinct. The balance of the precinct, nestled inside the meander of the Parramatta River, is predominantly landscaped open space with some incursion of at grade car parking.

Land uses within the Cumberland Precinct include the Cumberland Hospital, the NSW Linen Service, allied health related uses and NGOs and the former Parramatta Gaol. The precinct contains buildings of State and local heritage significance as well as potential Aboriginal archaeological sites. Buildings are dispersed throughout the precinct serviced by an irregular access network and broadly surrounding a central oval. These clusters of buildings are interspersed with vegetation and are framed by an almost continuous band of vegetation framing the eastern bank of the Parramatta River.

#### 1.5 Surrounding Areas

The PNUR study area is located to the immediate west and north-west of the Parramatta CBD. The north-eastern area of the CBD is emerging as a mixed use residential precinct with residential tower forms.

To the east of the study area, uses range from educational uses, residential accommodation in forms ranging from single dwellings to three storey residential flat buildings, interspersed with non-residential uses of former dwellings. Further east a spine of retail and commercial uses are located along Church Street and Victoria Road.

To the north east of the site, generally along O'Connell Street building forms are typically three storey residential flat buildings and commercial and retail land uses in the areas to

the east of the former Parramatta Gaol.

To the north of the Cumberland Precinct on the opposite bank of the Parramatta River is the Northmead industrial area including large format industrial buildings.

To the north west of the Cumberland Precinct is a small pocket of single storey cottages bound by further industrial development to the west and three storey residential flat buildings fronting Briens Road, Northmead

To the west of the Cumberland Precinct beyond Parramatta Park is the Westmead medical precinct which is adjoined by a residential area bound generally by Hawkesbury Road, Hainsworth Street, Park Avenue and Railway Parade. Development in this area is predominantly three storey residential flat building forms interspersed with taller higher density residential flat buildings. This residential pocket of land is separated from the lands the subject of this Study by Parramatta Park.

#### 1.6 The Proposal

The Parramatta North Urban Renewal (PNUR) area provides opportunities to protect and enhance heritage significant sites, and deliver housing, cultural uses and employment on the edge of the Parramatta CBD. The area is also exceptionally well located in close proximity to the Westmead Health and Rydalmere Education specialised precincts, as well as existing and planned transport.

The location at the edge of the Parramatta CBD also places the area at the western extent of the Global Economic Corridor and Parramatta Road Corridor. These locational advantages, in concert with the proximity to the Western Sydney Employment Area, underline the strategic merits of the urban renewal of the area. PNUR includes many locational and site specific attributes, including frontage to the Parramatta River and a rich history of Aboriginal, early colonial, nineteenth and twentieth century uses. The potential exists to deliver housing and employment opportunities in a precinct that will embrace and interpret these heritage attributes to make them a focus of the urban environment that will emerge through future development.

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are to be implemented in conjunction with site specific Development Control Plan provisions to guide the fine grain development of the area.

This suite of controls has had regard to the site's heritage, environmental values and physical constraints.

The ILP envisages the creation of a mixed use area within the Cumberland Precinct that accommodates new development for housing, employment, cultural and community uses in new buildings and through the adaptation of existing heritage buildings. For the Sports and Leisure Precinct, the ILP envisages the strengthening of the current role of the area as a major sports venue and the introduction of allied retail and commercial uses to support the role of Parramatta Stadium as a major sport and entertainment venue for Parramatta and greater western Sydney. The Sports and Leisure Precinct may also accommodate ancillary retail to support the resident and employee population to be accommodated in the PNUR.



### 1.7 Description of Development Yield / Proposals

The study proposes amendments to the planning framework, including revisions to the development controls, that will facilitate a mixed use residential redevelopment of the study area. The proposed amended planning framework will facilitate the lodgement of future development applications for the land in the study area which are anticipated to achieve the following development yields:

#### Cumberland Precinct

- Approximately 4,100 dwellings
- Approximately 28,000 m2 GFA of adaptive reuse of retained heritage buildings
- Up to 4,000 m2 GFA of retail space

#### Sports and Leisure Precinct

- Approximately 34,000 m2 GFA of mixed-use (likely to be predominantly commercial)

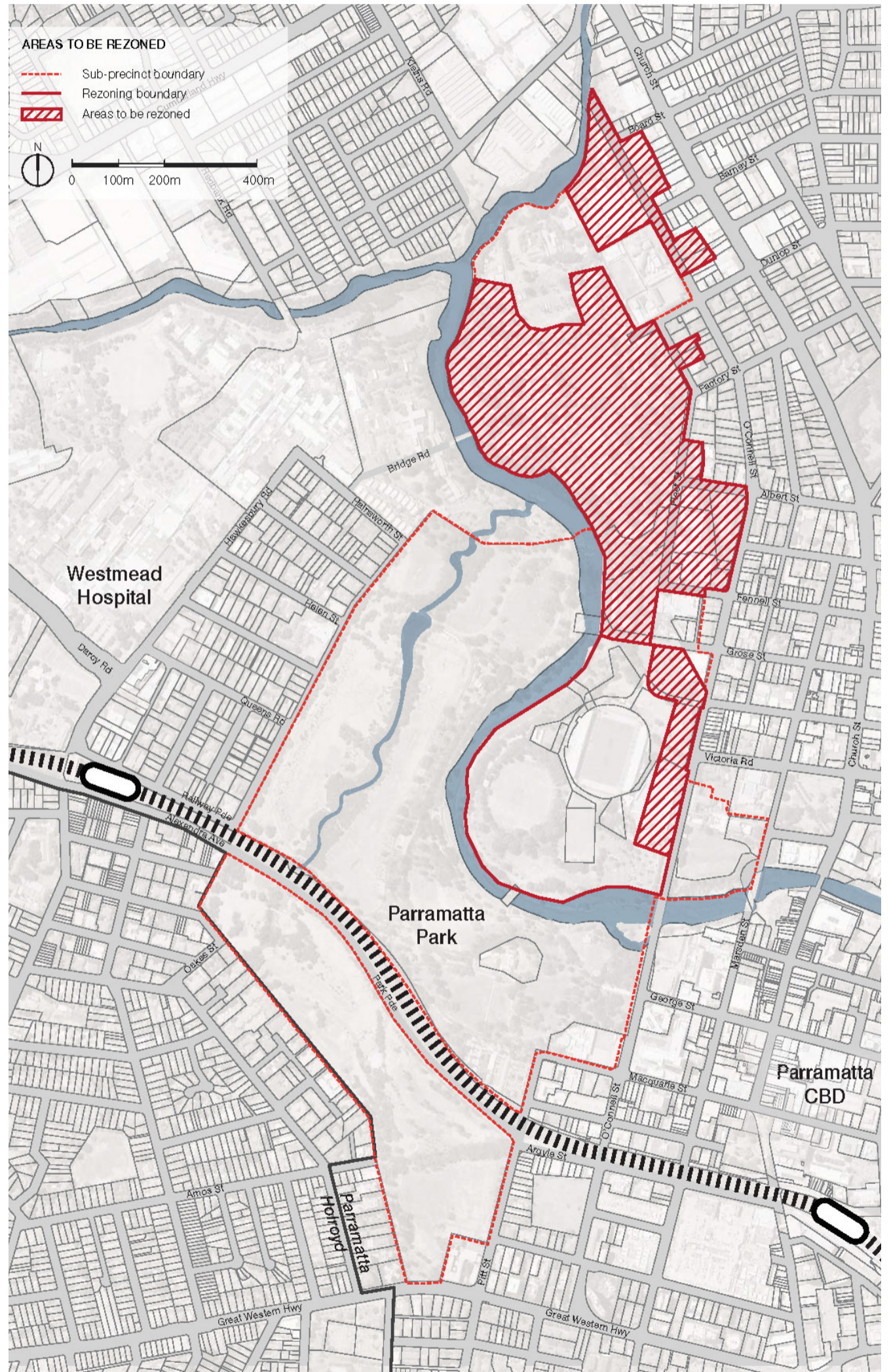


Figure 3. Rezoning Boundary Diagram, Source: Aver

## 2.0 Existing Landscape Character

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### 2.1 Introduction

The study area contains a unique landscape character which has evolved from various human settlements and land uses over time. This historical 'layering' has created a rich environment with significant cultural heritage value. Preserving this unique character has been a central principle in investigating ways in which the site may be developed, ensuring existing heritage value is preserved for the future. Detailed heritage assessments have been undertaken as part of this application, they include;

-Chris Betteridge, *Parramatta North Urban Renewal Cultural Landscape Heritage Assessment*, Musecape Pty. Ltd., 2014

- Julian Comber, *Parramatta North Urban Renewal Cumberland East Precinct and Sports & Leisure Precinct\_Aboriginal Archaeological & Cultural Heritage Assessment*, Comber Consultants, 2014

- Casey & Lowe, *Baseline Archaeological Assessment & Statement of Heritage Impact Historical Archaeology*, 2014

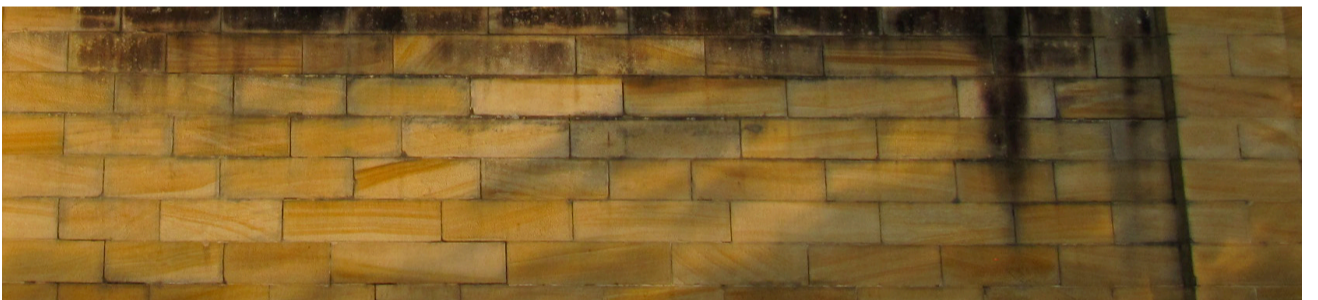
- TKD Architects, *Built Heritage Assessment Cumberland Precinct and Sports & Leisure Precinct*, 2014



### 2.2 The Site

#### 2.2.1 Cumberland Precinct

The Cumberland Precinct area (refer Figure 2.) is currently part of the Government lands which evolved from the former Parramatta Vice-Regal Domain. The eastern margins of the precinct are dominated by residential use and a suburban landscape character. The western and northern margins of the precinct are characterised by the Parramatta River and Darling Mills Creek riparian corridors containing historic weirs, rocky outcrops, exotic and native planting and bridges. The internal character of the precinct is dominated by an institutional parkland landscape type with an open campus arrangement of buildings with varying historic significance. The central grassed space of the oval area provides the largest designed open space. Enclosed and semi-enclosed courtyards with central gardens are found in a number of curtilages to existing buildings providing a contrast to the areas of open grassland. Existing mature canopy trees are largely of 19th Century origin. These predominantly exotic, evergreen trees are culturally associated with fashionable planting of the 19th Century and contribute significantly to the overall character of the precinct.



Site Images

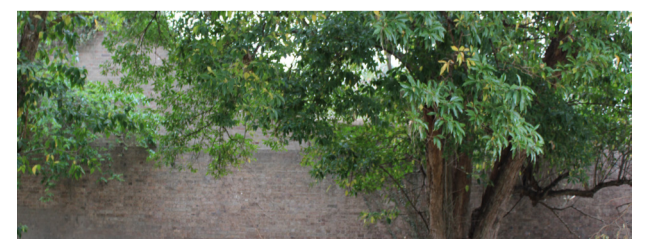
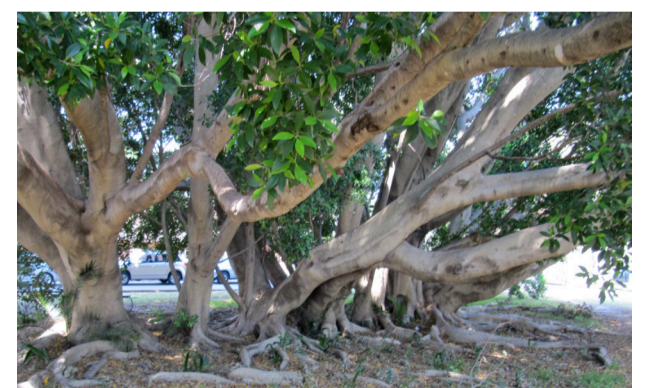
## 2.2.2 Sports & Leisure Precinct

The Sports & Leisure Precinct (refer Figure 2.) contains major sporting destinations including Parramatta Stadium and the Parramatta Swim Centre taking up the majority of the northern and western sections of the precinct. Remaining areas consist of open parkland including playing fields, mature canopy trees, a shared path and a managed riparian corridor. The parkland is owned and managed by the Parramatta Park Trust forming part of a broader open space to the west of the Parramatta River. The Park Trust has undertaken some riparian revegetation works within the precinct, particularly along the eastern margin of the precinct where the existing tree canopy consists largely of native species.

An informal river corridor path links into the site beneath the O'Connell Street bridge to the east. The path continues westwards along the riverbank where it joins a gravel road adjacent to a playing field amenities building, which joins a sealed road running to the main stadium carpark. The river walk experience contains both open sections where lawn areas grade gently to the river and sections where the path sits on top of a natural ridge line where canopy trees largely obscure views to the river.

The southern margin of the precinct is visible from Old Government House, on the western side of the Parramatta River creating some heritage sensitivity to the area. For further information regarding significant historic views and vistas refer;

-Chris Betteridge, *Parramatta North Urban Renewal Cultural Landscape Heritage Assessment*, Musecape Pty. Ltd., 2014



Site Images

## 3.0 Landscape Vision and Principles

### 3.1 Landscape Vision

The vision for PNUR is to create a unique precinct character which preserves, enhances and celebrates the existing qualities of site. Symbolically, the potential to address key connectivity constraints with the adjacent Parklands and residential areas will unlock significant areas of high quality public domain for all to enjoy.

#### 3.1.1 Conservation

Successful conservation of the existing heritage fabric requires an imaginative approach to design and interpretation. A whole of site approach is advocated to heritage conservation and interpretation to avoid piecemeal interventions that disjoint the overall precinct character. Key landscape types to be considered for conservation are;

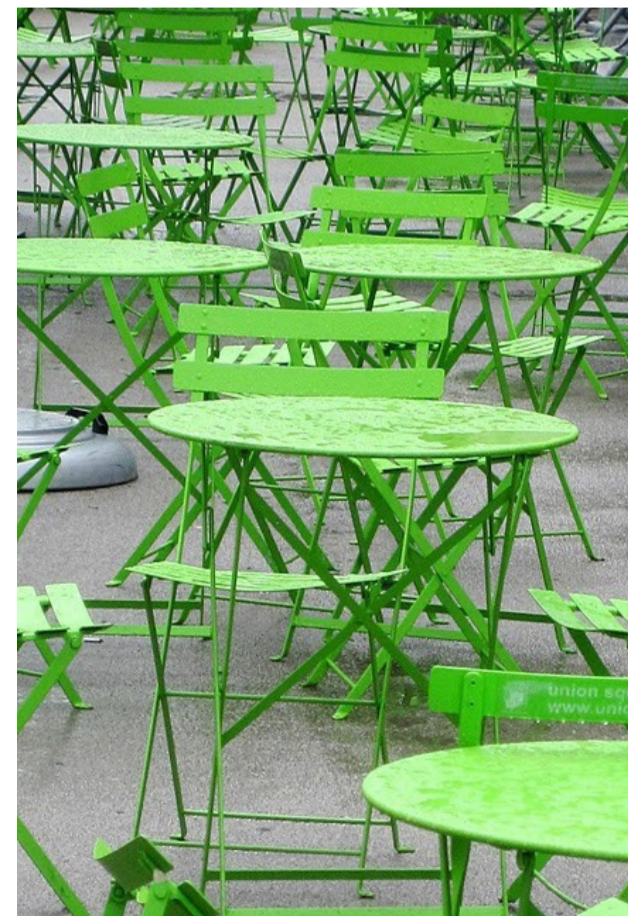
- Land Form
- Water Form
- Vegetation
- Built Form
- Archaeological

#### 3.1.2 Adaptation / Interpretation

The Cumberland precinct contains significant areas where buildings and landscapes have suffered from neglect. A key opportunity for the PNUR is the potential to adaptively re-use, reinterpret and activate these areas bringing new life to the site. Improvements to pedestrian / cycle connectivity will reinforce this activation. Heritage character can marry with new site uses to create memorable places.

#### 3.1.3 Environment

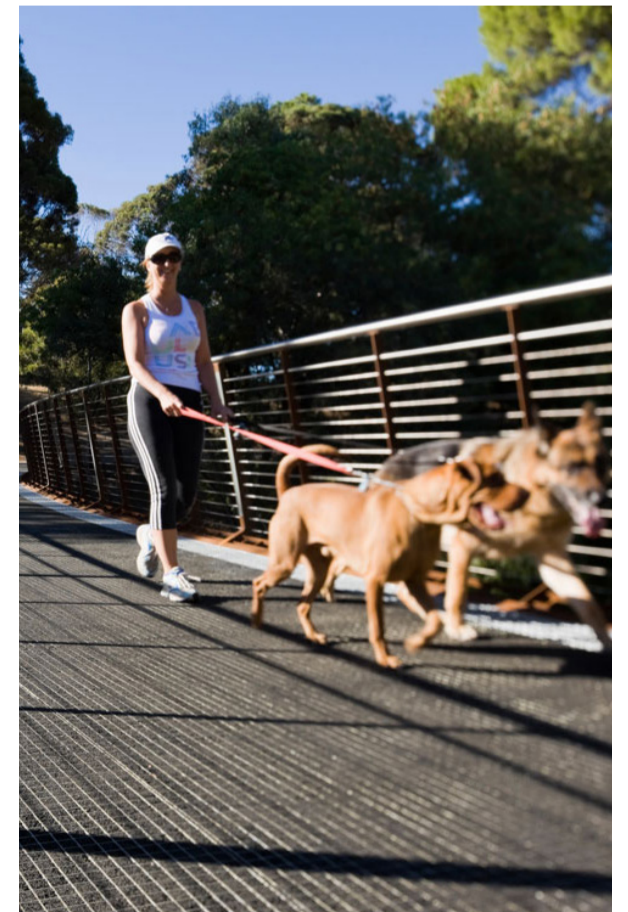
The PNUR can instigate positive environmental outcomes for the site. One of the most significant opportunities for environmental restoration occurs along the Parramatta and Darling Mills Creek riparian corridor where exotic weeds currently dominate the majority of areas. The successful revegetation and bank stabilisation works undertaken by the Parramatta Park Trust in recent years provide a model and knowledge base for the continuation of restoration works into the study area. Storm water management and water quality directly impact the health of adjacent waterways and should be addressed through a suite of WSUD measures, coupling future development within the study area.



Precedent images showing activation / interpretation of heritage spaces

### 3.2 Landscape Objectives & Design Principles

- **Conservation and management of the heritage landscape character, spatial quality and existing trees**
- **Respond to local context** (World Heritage / Parklands site, riverine setting)
- **Creation of new public open spaces for community enjoyment**
- **Placemaking;** create a rich variety of spaces that capitalise on the site's unique qualities
- **Maintain views** of the water and of local and distant heritage elements and spaces (Old Government House)
- **Pedestrian amenity, permeability and safety** including through site links to the river and Parramatta Park
- **Sustainable Environment;** water quality and stormwater management, weed management, use of robust low maintenance materials
- **Site interpretation;** telling the stories (indigenous and European cultural heritage) including possible reinstatement / contemporary interpretation of gardens and courtyards associated with heritage buildings



Precedent images showing riverside activities / spatial quality

## 4.0 Landscape Opportunities and Constraints

### 4.1 Introduction

The heritage assessments referred to in Chapter 2.0 of this report provide detailed analysis of the existing built, cultural and archaeological fabric for both the Cumberland and Sports & Leisure precincts. The heritage assessments provide guidance and recommendations for the preservation and enhancement of the site's unique character which inform the 'heritage' opportunity and constraints principles for this report. In addition to cultural heritage considerations, factors such as flood events, existing vegetation communities and ecological habitats will also inform the key 'environmental' opportunities and constraints. The nature of the study areas surrounding context provides unique opportunities to improve site connectivity and permeability. Key factors relating to 'circulation' opportunities and constraints are outlined in Section 4.4 of this report.

### 4.2 Heritage Values

#### 4.2.1 European Heritage

The existing European heritage value on the site is high due to its many layers of land use apparent in the remnant built and landscape fabric. Both the Sports and Leisure Precinct and the Cumberland Precinct formed part of the historic Governor's Demesne or Parramatta Domain and are located adjacent to the Old Government House & Domain World Heritage Property on the eastern side of the Parramatta River. The opportunities and constraints outlined below define the key considerations affecting landscape proposals in the preservation and enhancement of the site's European heritage value;

- Preserve and enhance significant views and visual corridors to reinforce existing building alignments, historical vistas and cultural landscapes,
- Explore the potential for interpretive elements which identify locations and views with cultural heritage,
- Retain and protect existing trees where possible to preserve the largely 19th century 'exotic' character of the Cumberland precinct,
- Preserve or reinterpret existing landscape elements including curtilages, avenues and paths, walls and garden ornaments,
- Explore the opportunity to re-use existing landscape elements within design proposals.

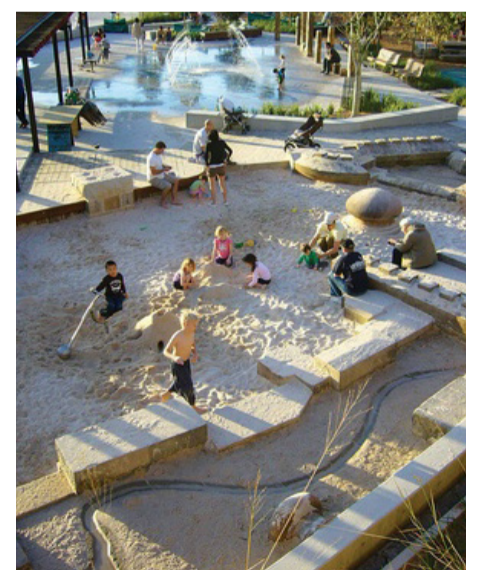
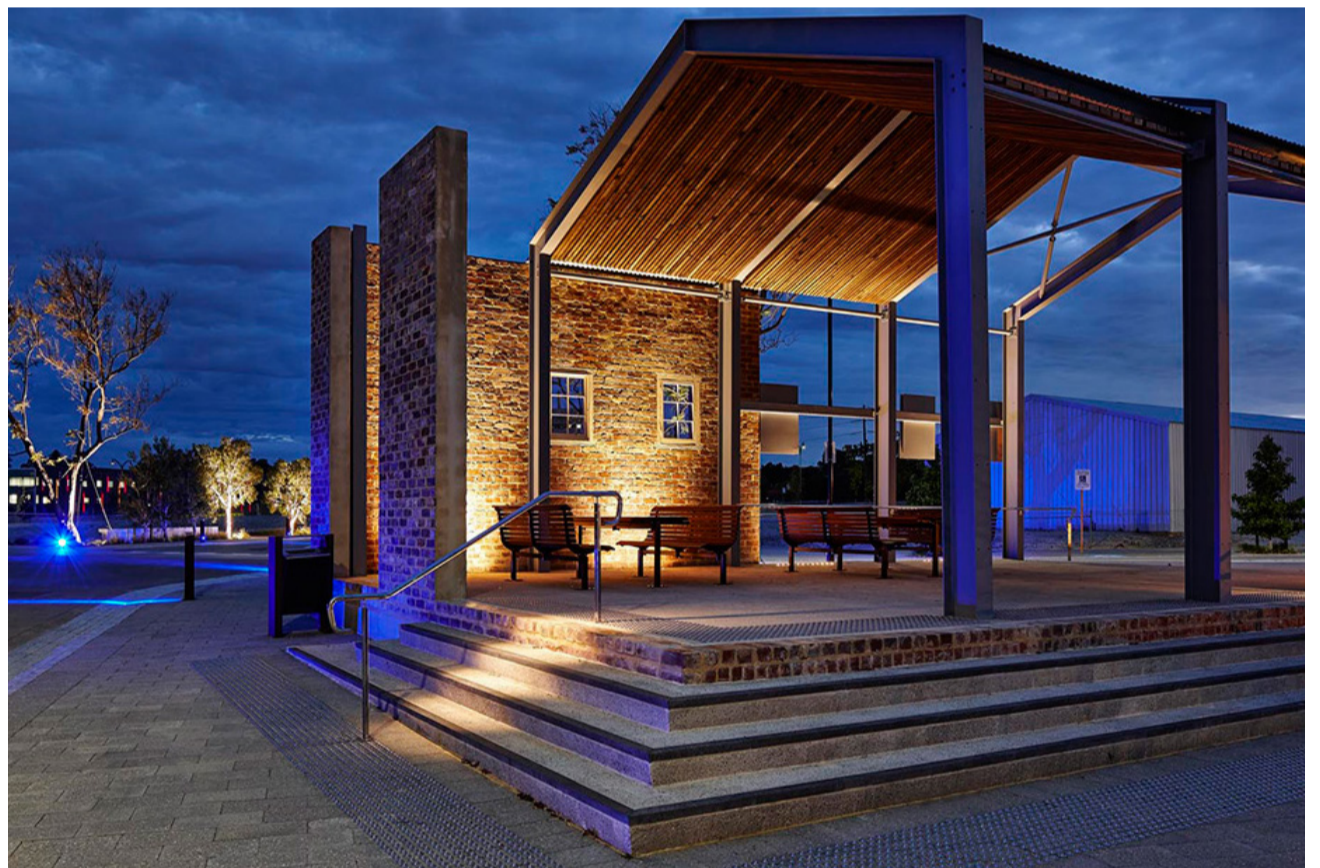
#### 4.2.2 Aboriginal Heritage

Key recommendations from the Aboriginal Archaeological and Cultural Heritage Assessment relevant to the consideration of the landscape masterplan are;

- Potential to provide additional screen planting to the south of proposed development lots in Parramatta Park in order to preserve a feeling of openness and seclusion, creating an appreciation of the pre-contact Aboriginal landscape,
- Explore opportunities for interpretation of Aboriginal history, significance and occupation of Parramatta and the study area.


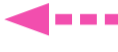




#### Summary of Heritage Factors

- Enhance and preserve significant views and visual corridors
- Explore potential for interpretation of study areas's cultural heritage
- Retain and protect existing significant trees
- Preserve / reinterpret existing elements including curtilages, avenues, paths, walls and ornaments
- Explore opportunities for re-use of existing heritage elements within the landscape
- Potential additional screen planting to south of proposed development lots in Parramatta Park



Precedent images showing heritage landscape treatments

## Legend

-  Potential Areas for Location of Interpretation Elements
-  Significant Historic Visual Corridors
-  Former Mill Race Alignment
-  Existing Heritage Walls
-  Preliminary Heritage Curtilage
-  Significant Buildings to be Retained

## Key

1. Visual corridor from Northmead
2. Significant local reference point with distinct, exposed, bedrock; water pools, and remnant dry stone walls. Further west is the location of the former Marsdens mill and cottage.
3. Significant views from Phillip's landing.
4. Potential interpretation of Mill race alignment.
5. Existing visual corridor from Factory St.
6. Potential interpretation of 20th century market gardens/orchards.
7. Key visual corridor from Bridge Rd.
8. Significant heritage visual corridor. Building alignment to Wisteria house.
9. Existing visual corridor from Albert St.
10. Potential interpretation of remnant terrace landscape and historic weir.
11. Potential interpretation of remnant quarry face.
12. Key view to rock outcrop and historic weir.
13. Existing visual corridor from Fennel St.
14. Potential interpretation of Government Mill site and Pine Avenue leading to river crossing.
15. Old Government House.

## List of Heritage Curtilages

- A. Hospital for the Insane
- B. Male Block Day Centre
- C. Original Male Block Buildings
- D. Sports Pavilion
- E. Female Division Buildings
- F. Jacaranda House
- G. Recreation Hall / Chapel
- H. Staff Dining Hall
- I. Nurses Home
- J. Female Factory / Asylum
- K. Cell Block Extension
- L/M. Norma Parker Centre
- N. Parramatta Gaol
- O. Ross Street Gatehouse

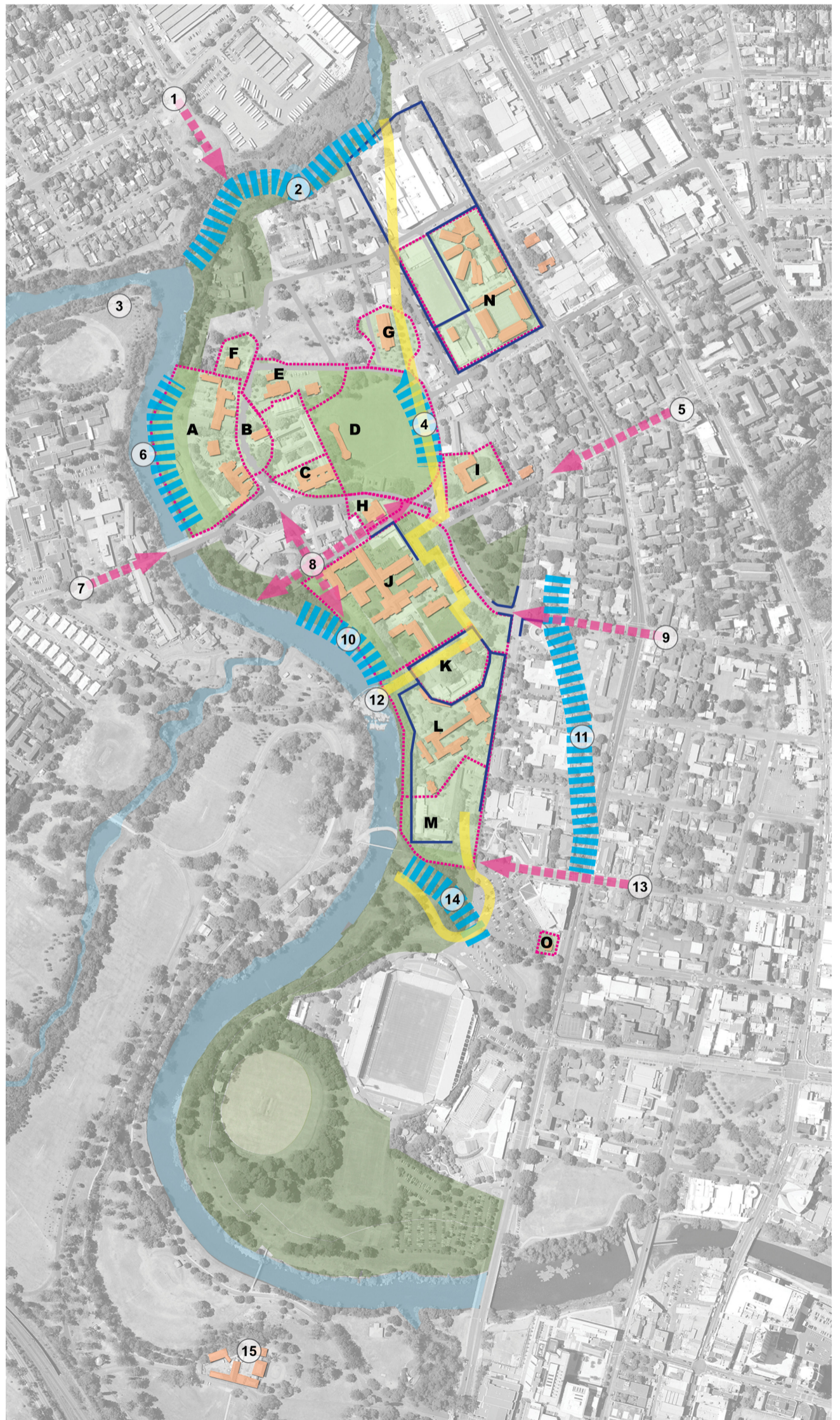


Figure 4. Heritage Opportunities & Constraints Diagram\_NTS 

### 4.3 Environmental Factors

Landscape design can play a pivotal role in the improvement of environmental health, benefiting local fauna, communities and regional catchments. Issues such as ecological habitats, water quality, preservation of threatened species, flooding & soil contamination all influence the design of landscape spaces. The study area, although highly disturbed from its pre-contact state, contributes significantly to the local catchment of open spaces and contains large areas of managed open parklands as well as riparian corridor landscapes. For detailed environmental & ecological assessments refer to the following reports;

JBS & G, Preliminary Environmental Site Assessment, September 2014.

Eco Logical Australia, *Parramatta North Urban Renewal Rezoning Ecological Assessment*, Prepared for UrbanGrowth NSW.

#### 4.3.1 Water Sensitive Urban Design

The study area forms part of a broader catchment draining west towards the Parramatta River. Stormwater from the local residential catchment currently discharges into the river carrying with it pollutants from hard surfaces. Existing permeable surfaces within the study area are important in allowing precipitation to infiltrate before saturation occurs. Increasing impermeable surfaces across the study area is likely to increase surface water drainage. Measures to minimise surface water drainage and improve water quality discharged into the river, should be undertaken as part of a holistic Water Sensitive Urban Design (WSUD) strategy. WSUD measure could include;

- Capture of surface drainage in vegetated swales / water quality ponds,
- Preserve existing permeable surfaces where possible,
- Explore the use of permeable paving treatments,
- Gross pollutant traps (GPTs),
- Water capture / recycling.

#### 4.3.2 Riparian Corridor

The riparian corridor within the study area is located along the western banks of the Parramatta River and Darling Mills Creek and is defined as an average 40m setback the channel (as defined by NSW Office of Water Guidelines, July 2012). The vegetation is highly disturbed with the majority of areas dominated by exotic weeds. A distinct ridge line occurs set back from the water's edge which in areas has been reinforced with stone and brick retaining walls. Opportunities exist to improve

the quality of vegetation communities within the riparian corridor creating a native habitat that may offset limited habitat opportunities within the largely 'exotic' open parkland character within the internal open spaces. Impacts from 1:100 year flood events (refer Figure 5.) should be assessed for any proposed fixtures within the riparian corridor. Revegetation and bank stabilisation will provide scour protection from potential flood events.

### 4.4 Circulation Factors

The study area contains a number of existing roads and pathways. Connections into the site from the west are limited to one vehicular bridge (Bridge Road) and two pedestrian river crossing. The study area is relatively permeable to the south-east margin with a number of streets running perpendicular to O'Connell Street. The north-east margin is dominated by the high sandstone wall of the Parramatta Gaol, limiting entry to the site. A riverine walk exists within Parramatta Park creating an opportunity for continuation through the study area. Development of new connections with the surrounding parkland and urban fabric are crucial for the success of any new development within the study area. Retention of historical connections and alignments will also help to preserve the unique existing character of the site.

### Summary of Environmental and Circulation Factors










- *Consideration of WSUD principles in developing landscape masterplan*
- *Consider potential impacts of 1:100 year flood events*
- *Enhance and preserve habitat areas*
- *Enhance quality of vegetation communities*
- *Explore opportunities to improve riverbank stabilisation*
- *Potential to extend Parramatta Park riverine walk through the study area*
- *Preserve and enhance existing connections*
- *Improve permeability / and connections to the surrounding parklands and urban fabric*



Precedent images showing sustainability initiatives



**Legend**

-  Proposed Revegetated Riparian Zone
-  Existing Revegetated Riparian Zone
-  Open Space
-  Existing Trees
-  Preliminary Heritage Curtilage
-  1 in 100 year Flood Line
-  Existing Riverine Walk
-  Existing Site Entrance
-  Existing Pedestrian Only Site Entrance

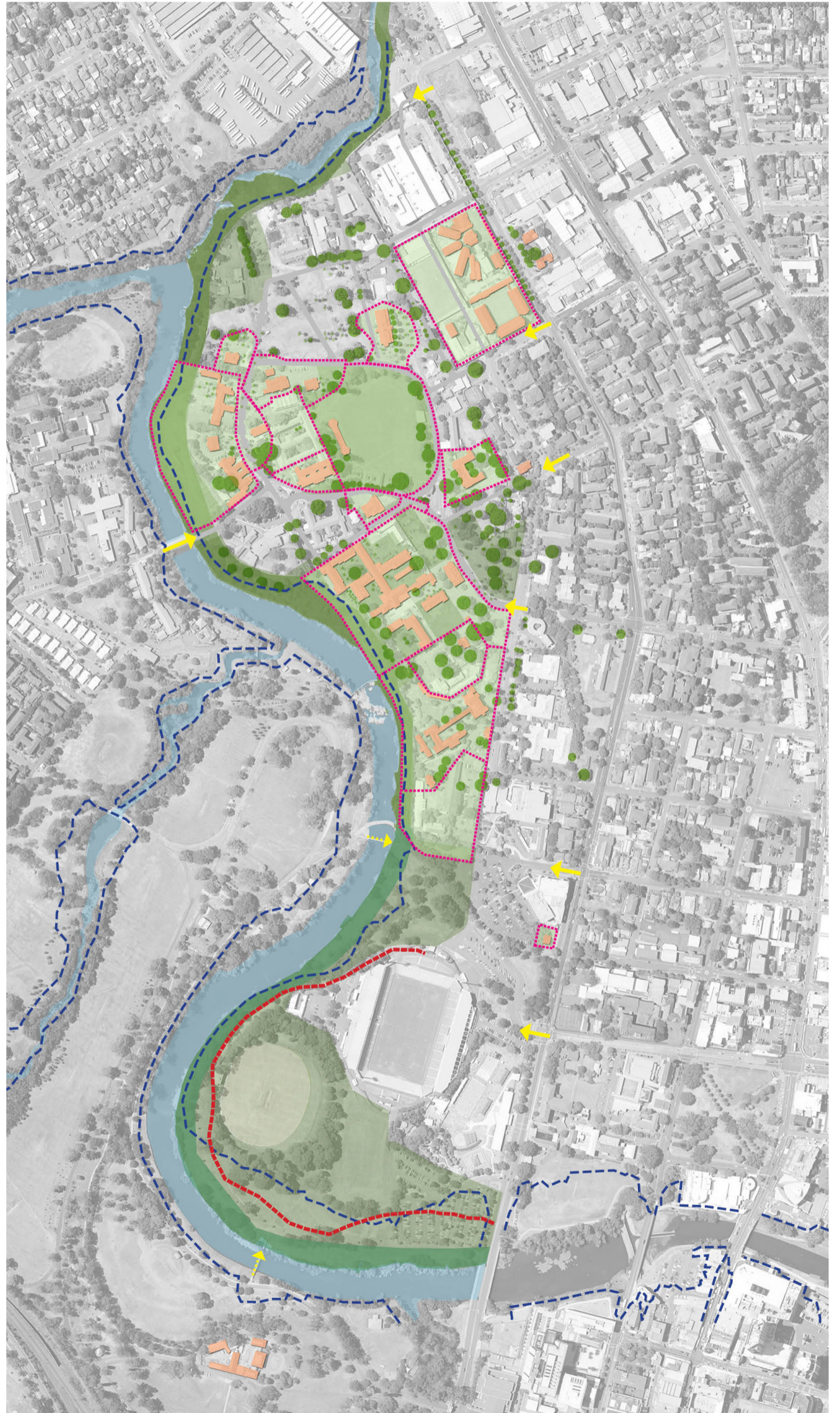


Figure 5. Environmental / Circulation Opportunities & Constraints Diagram\_NTS



## 5.0 Landscape Proposals

### 5.1 Overview of Landscape Proposals

#### 5.1.1 Open Spaces

4no. areas of public open space are proposed as part of the PNUR. OS1 and OS2 form a continual riparian corridor park to the western margin of the study area linking to the existing Parramatta Park to the south. A 2.5m shared path is proposed along the corridor connecting with and extending the existing riverine walk to the south. OS3 is located at the existing oval site and will create a key recreational amenity adjacent to the new town centre to the west. OS4 preserves an existing open space that will act as a green entrance to the site, linking pedestrians and cyclists to the adjacent residential streets.

#### 5.1.2 Riparian Corridor and the River

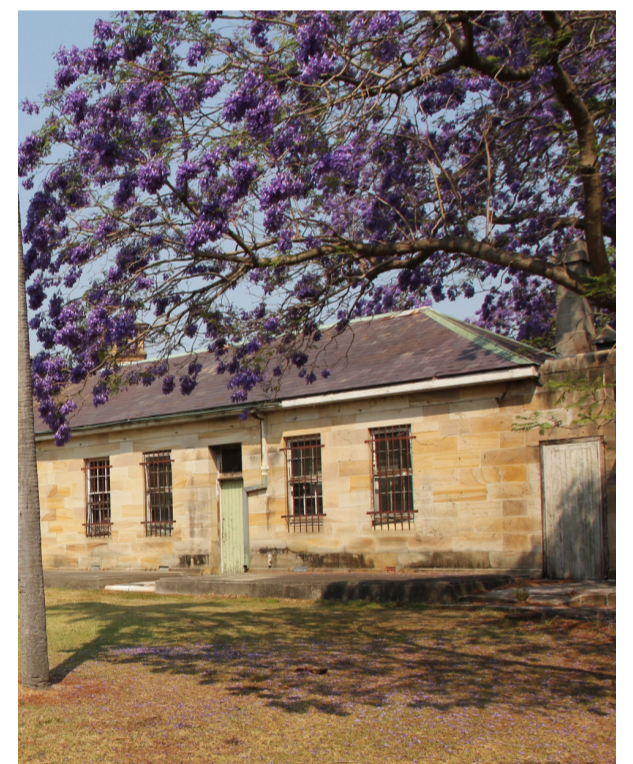
The riparian corridor will be preserved as open public space (OS1 / OS2) allocating a significant setback to any proposed development. Weed removal and suppression, revegetation works and bank stabilisation measures are recommended to create a continuation of the works carried out by the Parramatta Park Trust along the western bank of the Parramatta River. Typically, the proposed riverine shared path will define an edge to riparian corridor revegetation works to the west creating a convenient maintenance and land management boundary. Endemic species will be planted to create habitat for native fauna and provide a distinctive bushland character to the river edge. The river has significant cultural links for both European and indigenous heritage. Interpretation of land uses and cultural connections are proposed at key points along the open space corridor.

#### 5.1.3 Streetscape

All streetscapes within the PNUR have been designed with allocation for street trees which will provide significant canopy and reinforce the unique characteristics of the site. The existing parkland quality of the site, dominated by a mixture of exotic and iconic native tree species shall be reinforced through the selection of street tree species. Generous verges and planting within building setbacks will further strengthen the sensitive incorporation of any future development within the study area.

#### 5.1.4 Curtilages

Existing curtilages to significant buildings contribute significantly to the spatial quality of the site. Associated specifically to a building, land use or institution curtilages often have strong cultural connections. This report recommends the preservation and enhancement of curtilages to buildings proposed to be retained as part of the PNUR.



Site Images

## Key

1. Potential removal of Parramatta Swimming Centre carpark and creation of new open space with additional buffer planting to screen views of the proposed lots from Old Government House.
2. Extension of existing Parramatta Park riverine walk along riparian corridor (2.5m shared path).
3. Potential reinstatement of avenue tree planting along former alignment of Pine Avenue
4. Riparian corridor restoration along entire eastern bank of study area.
5. Interpretation of heritage terraced landscape; refer OS2 Detail Plan.
6. Retention and enhancement of landscaped curtilages to heritage buildings.
7. Entrance Park; refer OS4 Detail Plan.
8. Preservation and enhancement of Wisteria House visual corridor .
9. Heritage Oval Park; refer OS3 Detail Plan.
10. Interpretation of 20th Century market gardens; refer OS1 Detail Plan.



Figure 6. Landscape Masterplan\_NTS



## 5.2 Response to Heritage Factors

### 5.2.1 Significant Views Vistas and Visual Corridors

Key historical views, vistas and visual corridors have been considered in the development of landscape proposals. Retention of heritage buildings and road alignments will also act to preserve key views. Improvements to the riparian corridor address many significant views both from inside and beyond the site.

### 5.2.2 Interpretation

This report identifies several locations for historical interpretation elements which reflect the varied land uses and cultural associations with the site. Development of these elements should be carried out in consultation with heritage consultants and persons or groups connected to the site.

### 5.2.3 Significant Trees

The PNUR Cultural Landscape Heritage Assessment prepared by Musecape identifies significant trees within the study area. The retention of existing buildings, road alignments and open spaces provides protection for a large proportion of existing trees. This report recommends that any proposed removal of significant trees is identified in development applications and supported by tree assessments carried out by a qualified arboriculturalist.

### 5.2.4 Adaptive re-use

The idea of adaptive re-use is to draw out latent qualities which exist within the site. Preservation of heritage elements can often consign them to artefacts of history. Often by marrying a new function or program to an existing place or element with heritage value an entirely new appreciation of that heritage value can be obtained. Restoration and ongoing preservation of heritage value across the site will rely on community, government, developer and stakeholder engagement with those values.

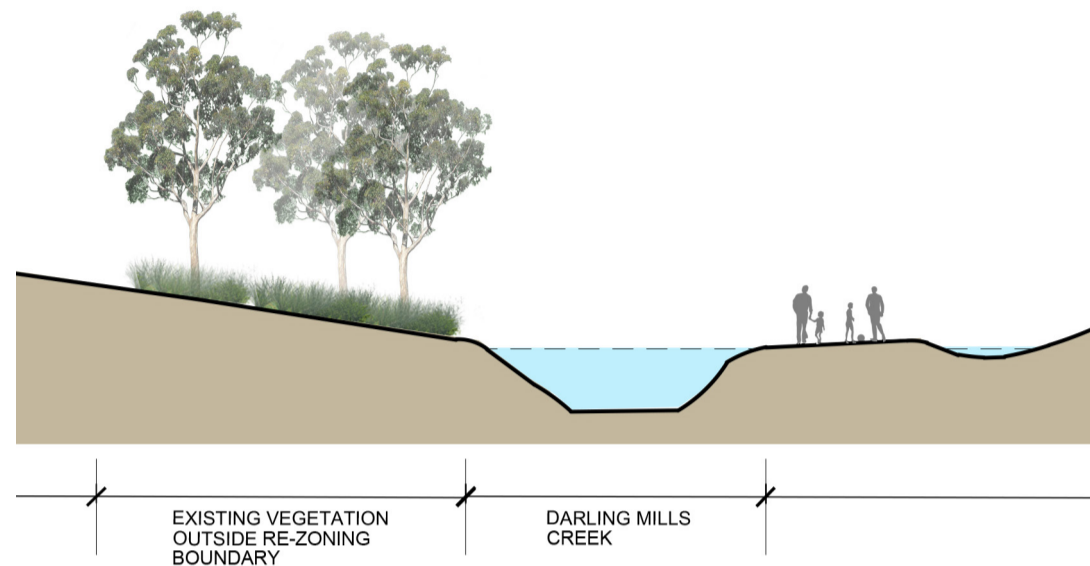


Figure 7. Site Section A 'Rock Outcrop' 1: 250 @ A3

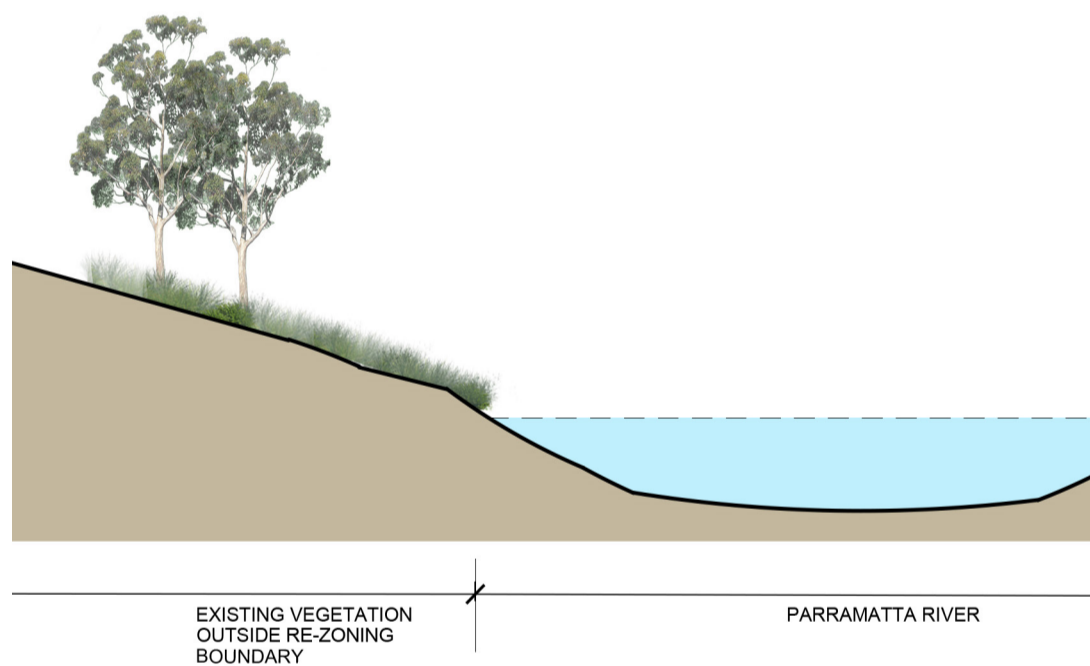


Figure 8. Site Section B 'Riverbank Lawn' 1: 250 @ A3

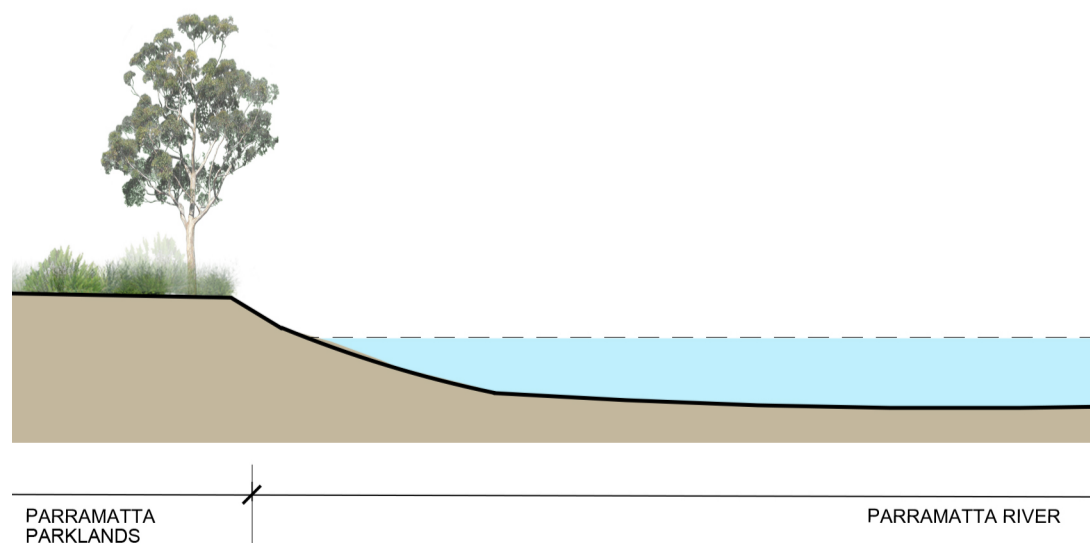
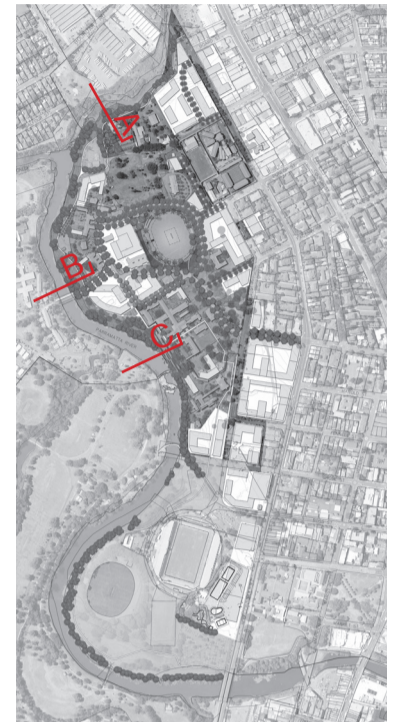
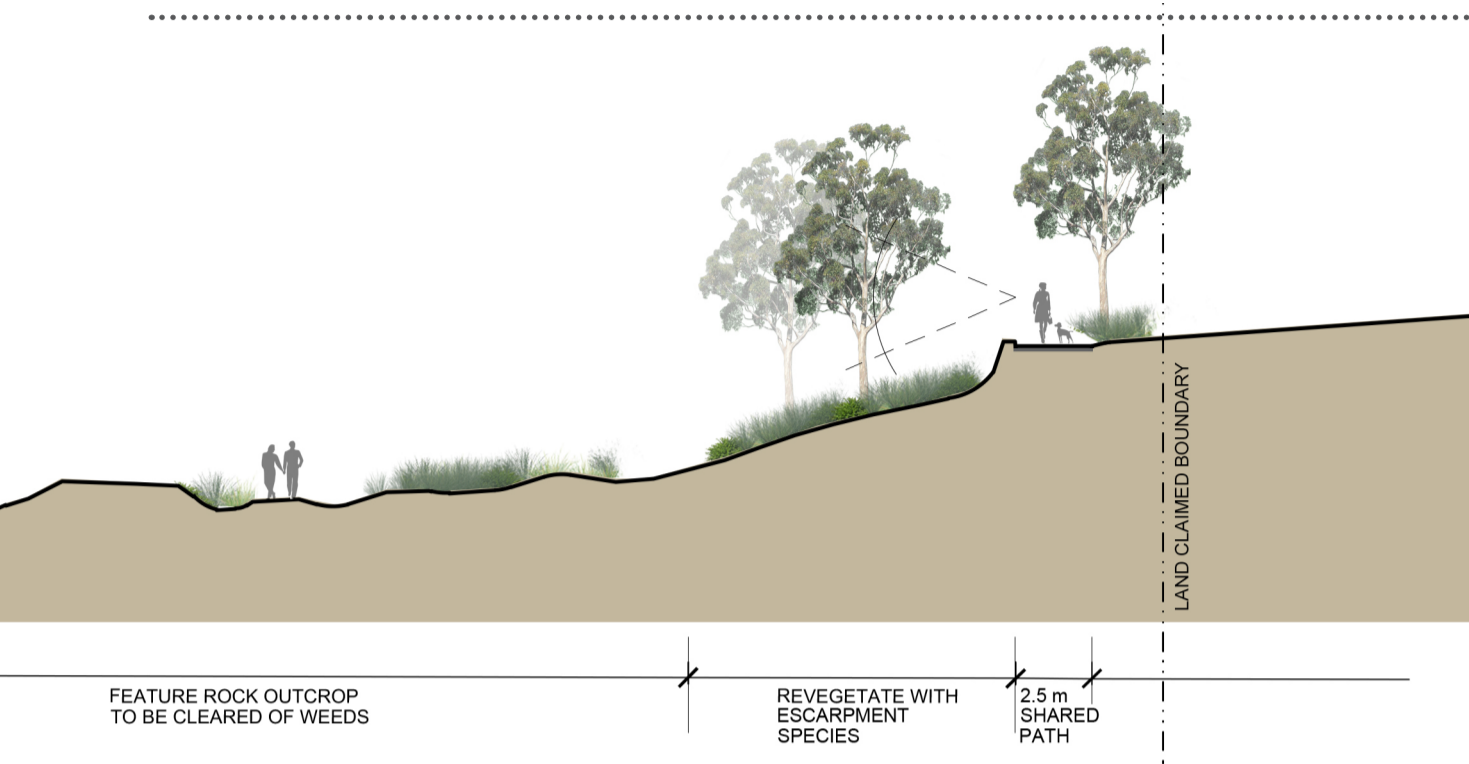
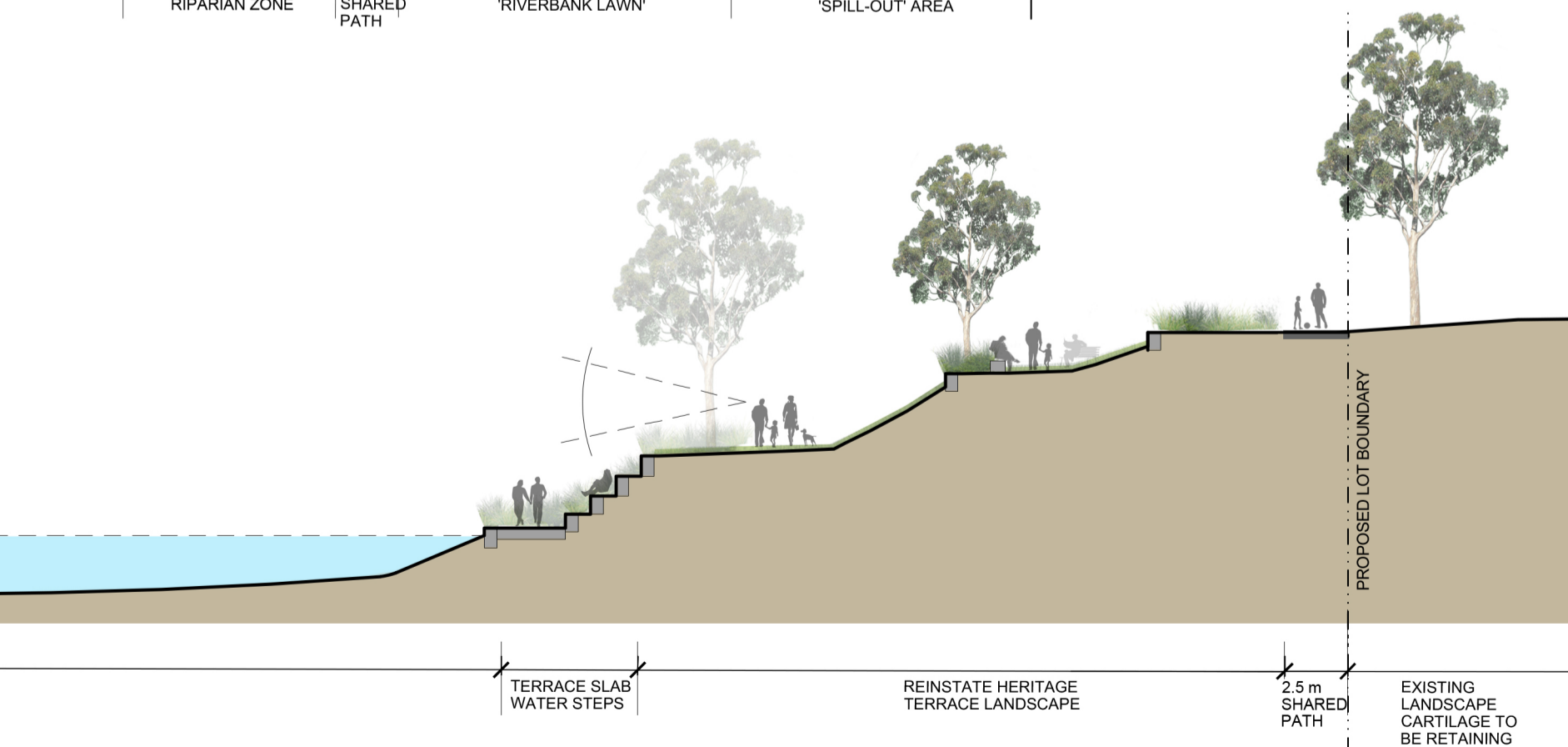
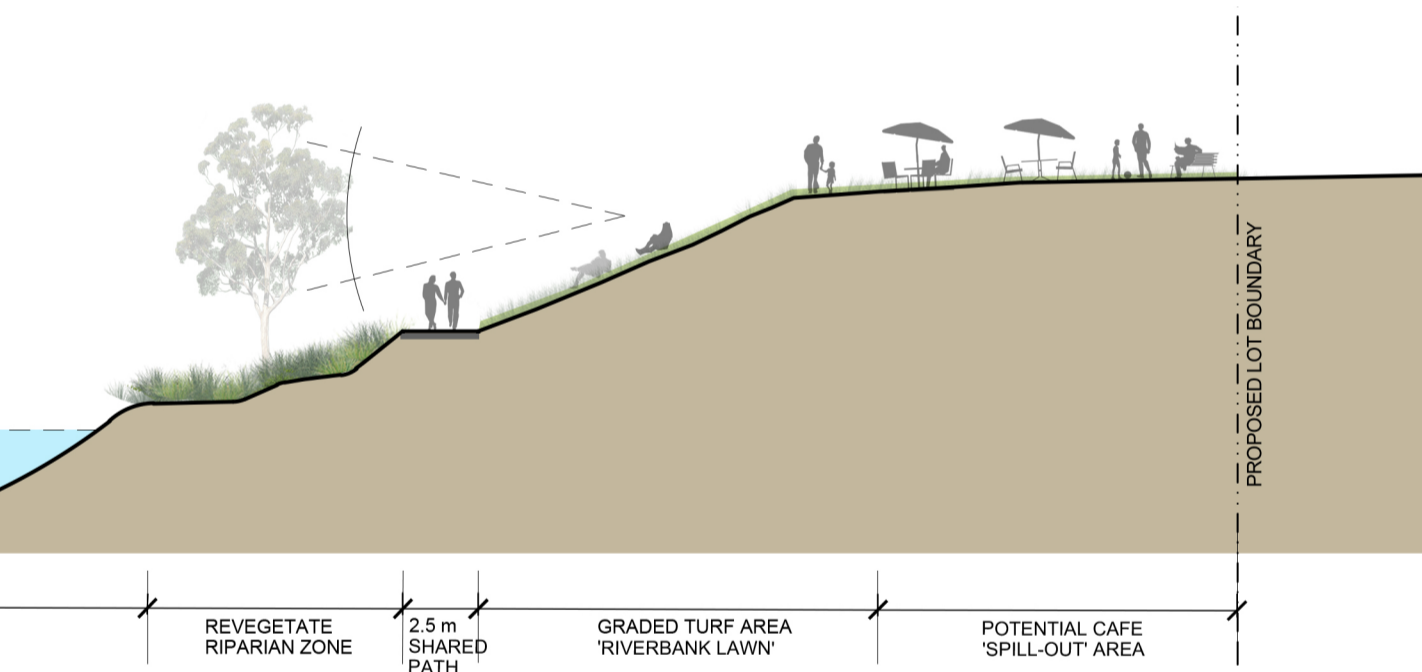


Figure 9. Site Section C 'Terrace Park' 1: 250 @ A3



Section Key Plan\_NTS



## 5.3 Response to Environmental Factors

### 5.3.1 Flood Impacts

The 1:100 year flood event is captured in the Environmental / Circulation Opportunities and Constraints Diagram (refer Figure 5.) in Chapter 4.0 of this report. The topography of the eastern Parramatta River / Darling Mills Creek banks are defined by a distinctive ridgeline which, to a significant extent, acts as a barrier for flood impacts to the east. Flood impacts have been a key consideration in the site planning of landscape elements along the riparian corridor. The proposed 2.5m wide shared riverine path is typically located to the top of the ridgeline, minimising impacts from potential flood events. This report recommends that the riparian corridor be maintained primarily as a revegetation / habitat corridor with strategic locations for access to the waters edge. Bank stabilisation measure and scour protection is also recommended to mitigate flood impacts.

### 5.2.3 Habitat

The riparian corridor provides the primary opportunities for enhancement and creation of new habitat areas within the PNUR study area. Existing trees should be retained where possible as they provide important nesting habitats for birds and other animals. For detailed assessment of ecological factors and recommendations refer;

Eco Logical Australia 2014, *Parramatta North Urban Renewal Rezoning Ecological Assessment*, Prepared for UrbanGrowth NSW.

### 5.2.4 WSUD

Although beyond the scope of this report; it is recommended that WSUD principles are implemented in the design of new landscape areas including streetscapes and enhancements to existing open spaces. WSUD strategies to be considered include;

- capture and recycling of surface drainage and stormwater,
- water quality treatment of surface drainage and stormwater within the landscape through methods such as vegetated swales and water quality ponds
- installation of gross pollutant traps
- explore use of permeable paving to increase infiltration and reduce surface drainage carrying pollutants

### 5.2.5 Riverbank Stabilisation

A continuous riverside park is proposed along the extents of the Cumberland Precinct (refer Figure 6.). The existing condition of the riparian edge is typically poor with exotic weed species dominating the majority of areas. A program of weed removal / suppression is proposed along with bank stabilisation and revegetation to promote the establishment of a native riparian plant community. The Parramatta Parklands Trust

has undertaken successful rehabilitation of the western riparian corridor and this report recommends drawing upon the trust's experience and expertise in carrying out works to the eastern bank of the Parramatta River and Darling Mills Creek. Key documents drawn upon for this report include;

*Parramatta Park riverbank stabilisation - statement of heritage impact*, NSW Public Works Government Architects Office, June 2010

*Heritage Action Statement for Parramatta Riverbank Restoration and Rehabilitation Project - Parramatta Park*, Parramatta Park Trust, June 2010.

The Eastern edge of the Parramatta river requires varying degrees of restoration and rehabilitation to achieve significant goals.

The proposed goals include;

- Stabilise the riverbank and mitigate future erosion,
- Conserve, repair and restore collapsed and damaged heritage stone walls,
- Eradication of noxious weeds and exotic, invasive species,
- Increase biodiversity whilst protecting current fauna habitat,
- Maintain and improve accessibility to the waterfront.

(Refer typical section opposite for bank stabilisation treatments)

## 5.4 Response to Circulation Factors

The key pedestrian and cycle circulation proposals are summarised in Figure 13 opposite. As a whole, the PNUR proposals will dramatically improve connectivity for cyclists and pedestrians within the site making critical links to the adjacent parklands and residential streetscapes. Improved connectivity will promote greater use of proposed public open spaces encouraging healthy lifestyles for locals and an engagement with civic and retail provisions within the PNUR.

This report recommends the development of a wayfinding / signage strategy for the site which can reinforce a holistic, precinct character. The retention and enhancement of existing visual corridors will assist in wayfinding within the site.

Streetscapes have been designed with ample provision for pedestrians with provision for dedicated shared paths allowing cyclists to navigate safely through the site with connections to the proposed extension of the riverine shared path.

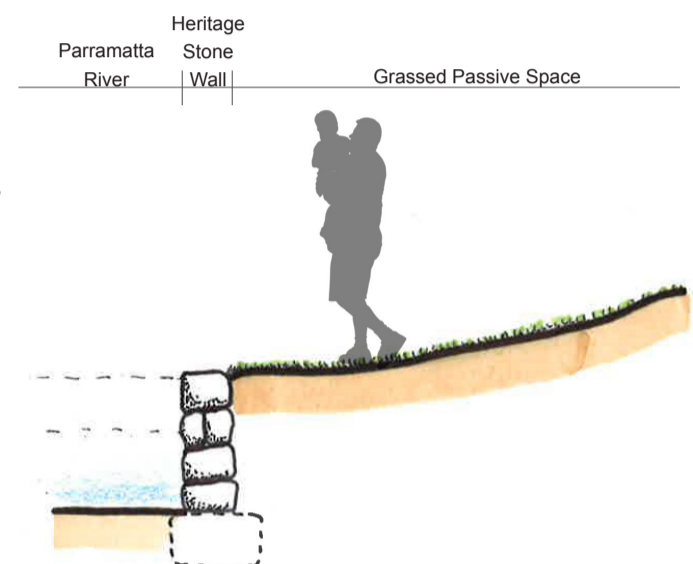


Figure 10. Typical Section\_Heritage riverbank walls\_NTS

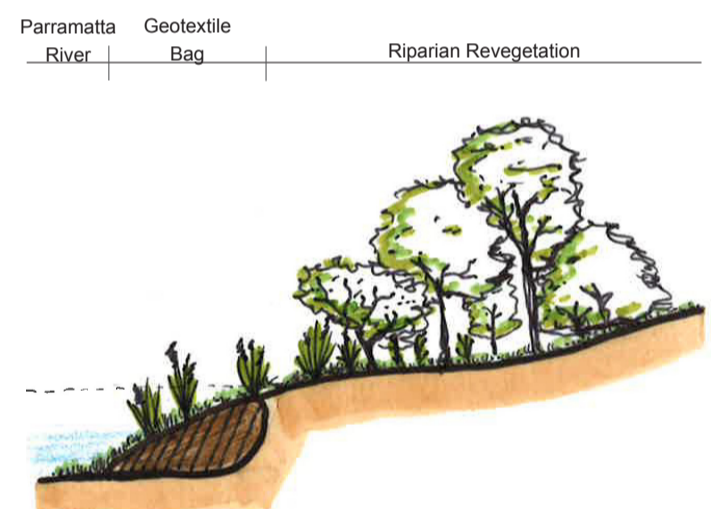


Figure 11. Typical Section\_Soft edge geo-textile bags\_NTS

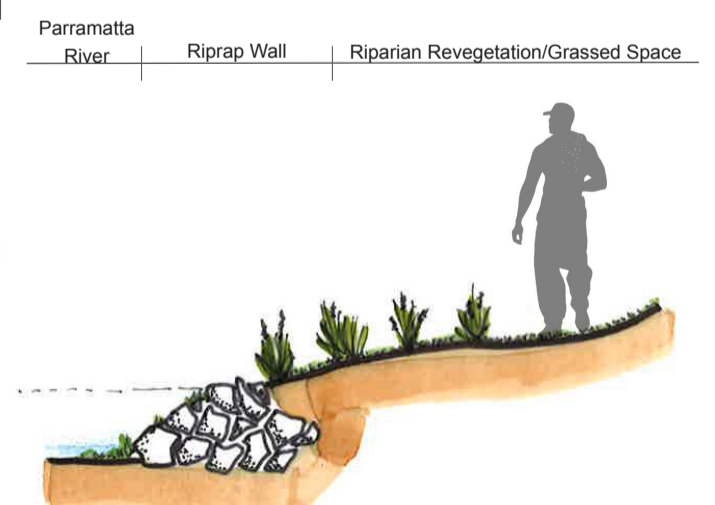


Figure 12. Typical Section\_Engineered 'Riprap' walls\_NTS

### Legend

- Existing Off-road Cycle Route
- Existing On-road Cycle Route
- Proposed Road Reserve With Off-road Shared Path Allocation
- - - Proposed Extension To Riverside Walk 2.5 m Width
- - - Potential future On-road cycle Route
- ✱ Proposed Connections from River walk To Internal Cycle/Pedestrian Network

### Key

1. Proposed extension of Parramatta Park riverine path (with 2.5m shared path).
2. Proposed shared path to connect with existing on-road cycle route at Board Street / O'Connell Street intersection.
3. Proposed shared path route diverts through gaps in existing sandstone wall taking pedestrians and cyclists through heritage building curtilages, providing a contrasting experience to the 'native bushland' character of the riparian corridor.
4. Proposed connection to dedicated off-road shared path within streetscape network; potential location for at grade raised crossing with traffic calming measures.
5. Proposed connection to OS1 path loop; refer OS1 Detail Plan Figure 14.
6. Potential extension of on-road cycle route to meet existing along O'Connell Street.
7. Potential extension of on-road cycle route to meet existing off-road route along O'Connell Street.

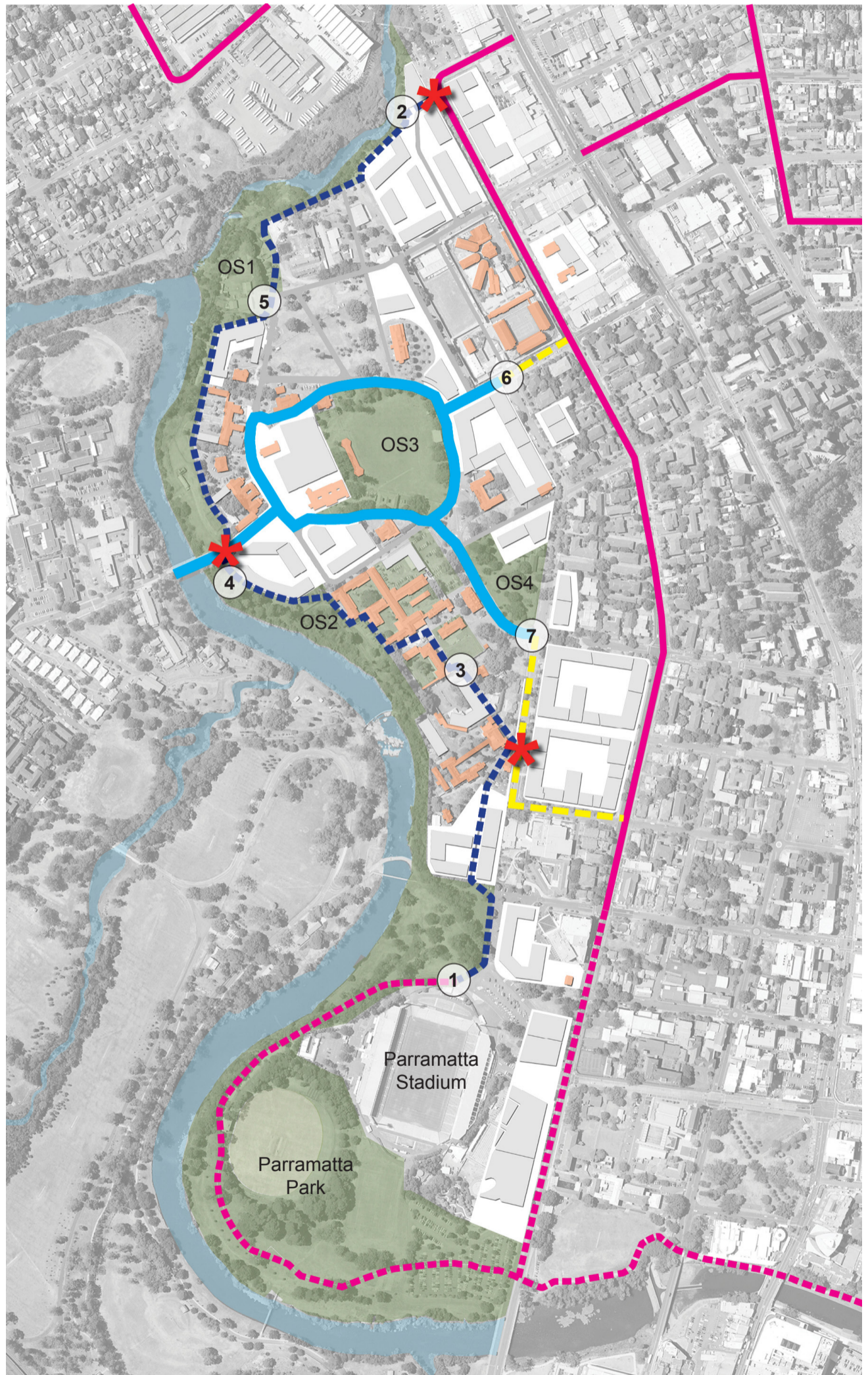




Figure 13. Proposed Circulation Diagram\_NTS 

5.5 OS DETAIL PLANS - RIVERSIDE PARK NORTH OS1



Figure 14. Open Space 1 Detail Plan\_NTS 



## RIVERSIDE PARK NORTH OS1

total area 31,379m<sup>2</sup>

Potential suite of park elements

- shared concrete pathways
- shelters with seating
- Bbq facilities
- informal turfed open space
- heritage interpretation (Marsdens Mill)
- public art
- signage
- seating
- lighting
- forecourt/plaza space
- heritage landscape interpretation including ornamental orchards and community gardens
- drinking fountains
- exercise stations

### Park Description

OS1 forms the northern section of proposed riparian parklands throughout the Cumberland precinct. OS1 will essentially be a corridor parkland with small open spaces located along it's length to allow users to stay and experience the space for longer periods. It is expected that the riverine shared path will be used for both active recreation as well as leisurely walking with views of the Parramatta River and Darling Mills Creek.

A number of points of interest could be explored along the path including orchard planting, community gardens, heritage interpretation, natural rock outcrops and pools, a pocket park. Opportunities could be provided for visitors to walk to the waters edge and experience views from the shared path out across the water to the western bank. The character of the OS1 parkland is intended to be predominantly 'native bushland', with moments of interpretation where planting may become more formalised.

### materials



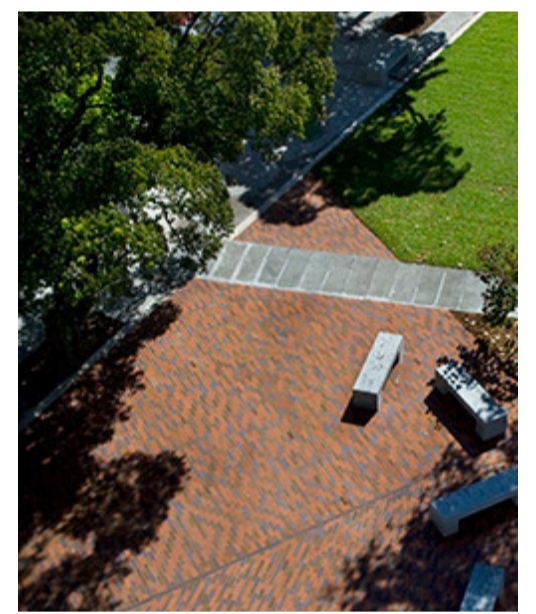
Seating



Shared Path



Shade



Feature Pavement



Shared Cycleway

5.5 OS DETAIL PLANS - RIVERSIDE PARK SOUTH OS2

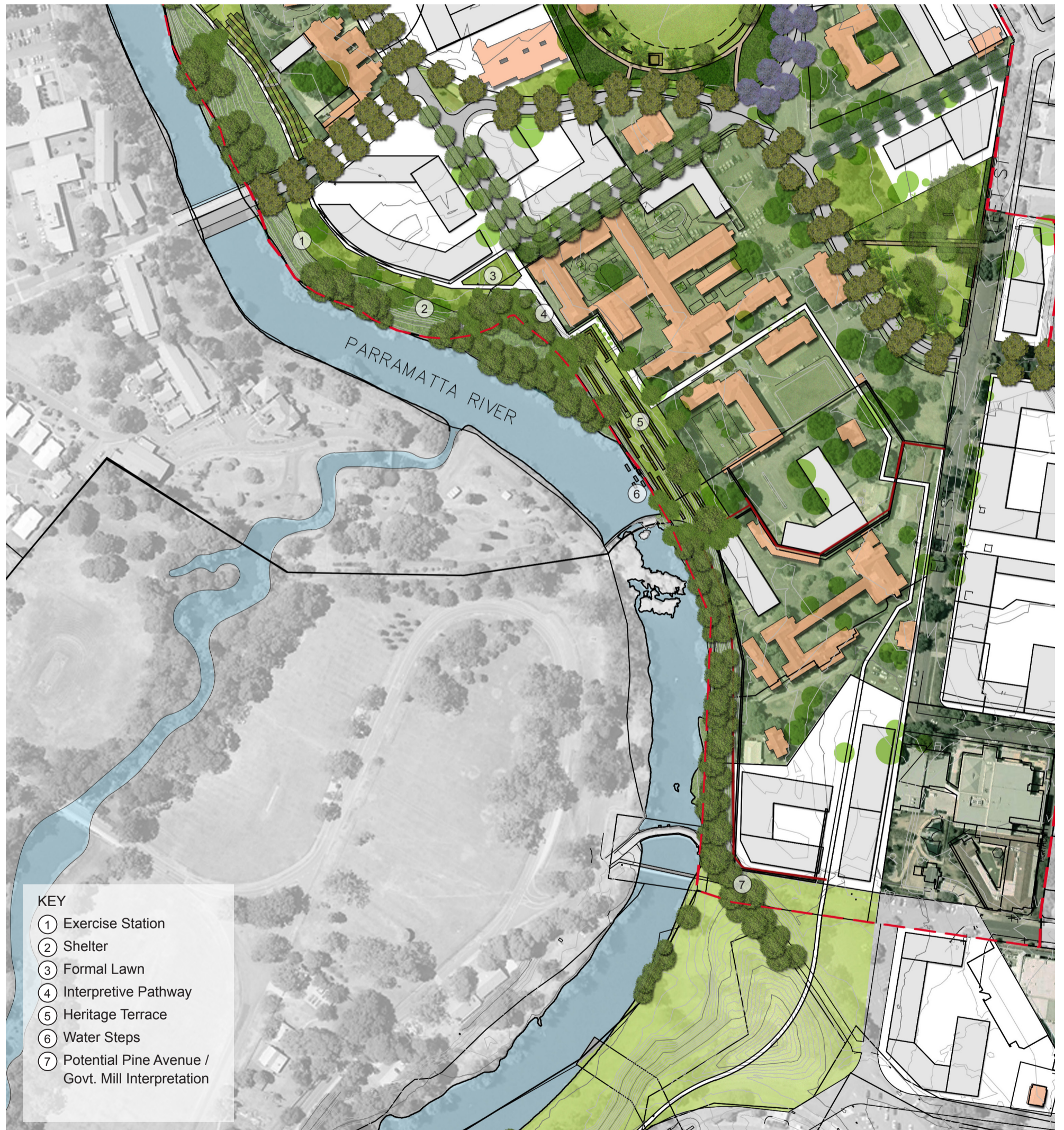



Figure 15. Open Space 2 Detail Plan\_ NTS 

total area 17,124m<sup>2</sup>

materials

Potential suite of park elements

- shared concrete pathways
- shelters with seating
- heritage terrace garden
- water steps
- retaining walls
- public art
- signage
- seating
- lighting
- ornamental orchard gardens
- drinking fountains
- exercise stations

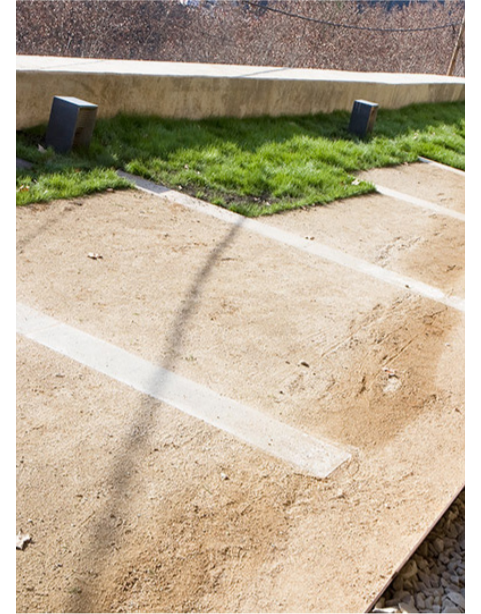
### Park Description

OS2 forms the southern section of proposed riparian parklands throughout the Cumberland precinct. Beginning from Bridge Road to the north, the riverine shared path continues along the ridgeline turning east along an existing building alignment to continue through heritage, landscaped courtyards before rejoining OS2 at the junction with Parramatta Park.

The main feature envisaged for OS2 is a terraced parkland which interprets existing remnant terraced landforms. A series of low natural stone retaining walls are proposed to create turf terraces stepping down to give visitors an experience at the waters edge. Views across to the parklands and a heritage weir could be enhanced from the terrace park also. A large number of mature trees are located in OS2 including native species of *Ficus* and *Arucaria* which should be retained, adding character to the park.



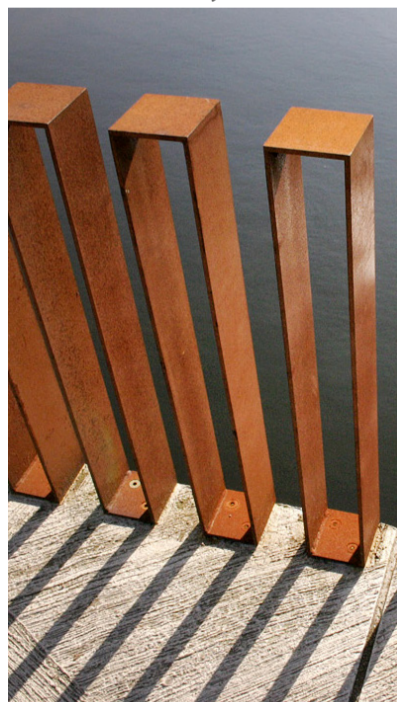
Amenities - Bicycle



Interpretive Pathway



Shared Pathway



Balustrade



Heritage Terrace

5.5 OS DETAIL PLANS - VILLAGE GREEN OS3

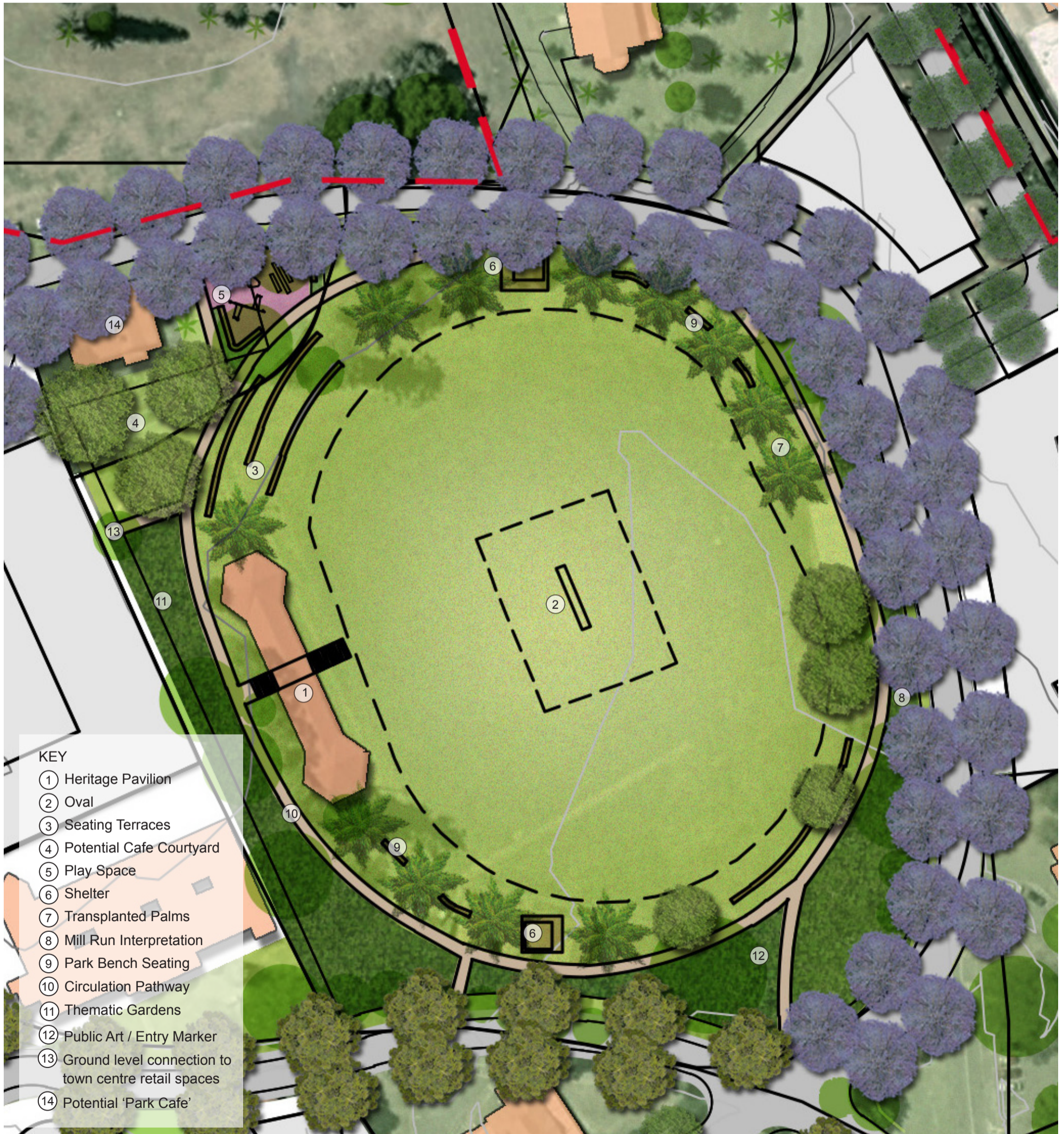



Figure 16. Open Space 3 Detail Plan\_NTS 

VILLAGE GREEN OS3

total area 22,747m<sup>2</sup>

Potential suite of park elements

- shared concrete pathways
- shelters with seating
- Bbq facilities
- informal turfed open space
- heritage interpretation (Marsdens Mill)
- public art
- signage
- seating
- lighting
- forecourt/plaza space
- heritage landscape interpretation including ornamental orchards and community gardens
- drinking fountains
- exercise stations

Park Description

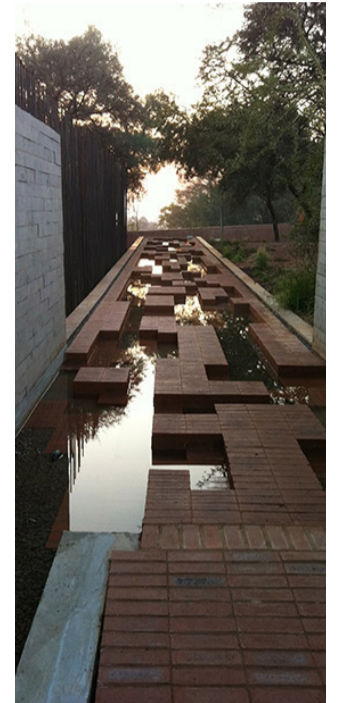
OS3 is located on the site of the existing oval. Enhancements to this open space could include improvements to the playing field surface, new tree and understory planting, new seating, a play area, picnic shelters and a potential cafe spill out area. The prominence of the Pavilion building within the park establishes a heritage character which should be reflected in a choice of sympathetic materials, site fixtures and planting.

Ground level through access to the 'Town Centre' to the west of the park will help to activate both areas and contribute to pedestrian permeability throughout the site.

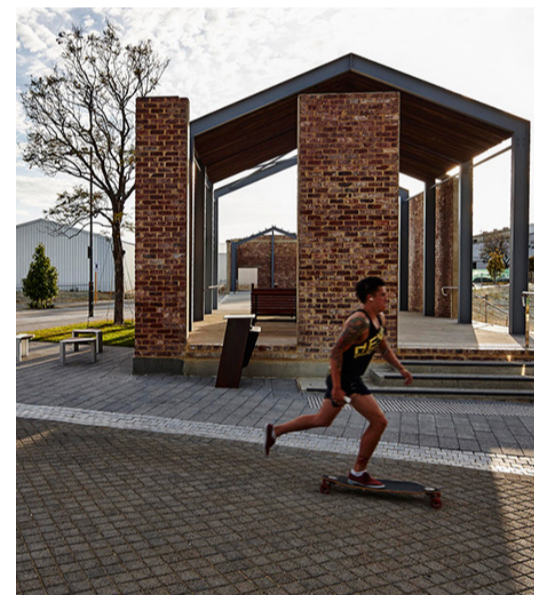
materials



Seating



Mill Race Interpretation



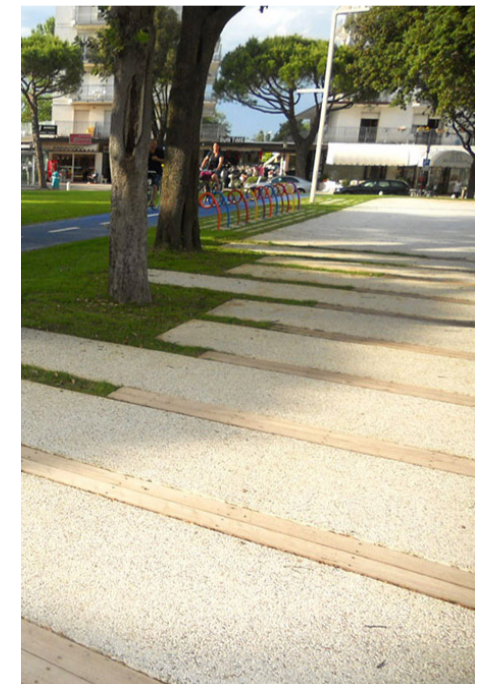
Shelter



Play



Cafe Courtyard



Feature Pavement

5.5 OS DETAIL PLANS - ENTRY PARK OS4



Figure 17. Open Space 4 Detail Plan\_NTS 

## ENTRY PARK OS4

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total area 5490m<sup>2</sup>

materials

Potential suite of park elements

- shared concrete pathways
- shelters with seating
- Bbq facilities
- informal turfed open space
- heritage interpretation (Marsdens Mill)
- public art
- signage
- seating
- lighting
- forecourt/plaza space
- heritage landscape interpretation including ornamental orchards and community gardens
- drinking fountains
- exercise stations

### Park Description

OS4 is located to the south-east of the Cumberland precinct at the junction of Fleet Street and the proposed re-alignment of existing Greenup Drive. The park sits at what is currently the entrance to the Cumberland Hospital (East Campus), preserving an area of open space which includes several existing trees. A low stone wall sits along the Fleet Street frontage which is proposed to be retained with some additional openings to improve permeability into the park. Structured planting behind the wall could reinforce the heritage character of the precinct.

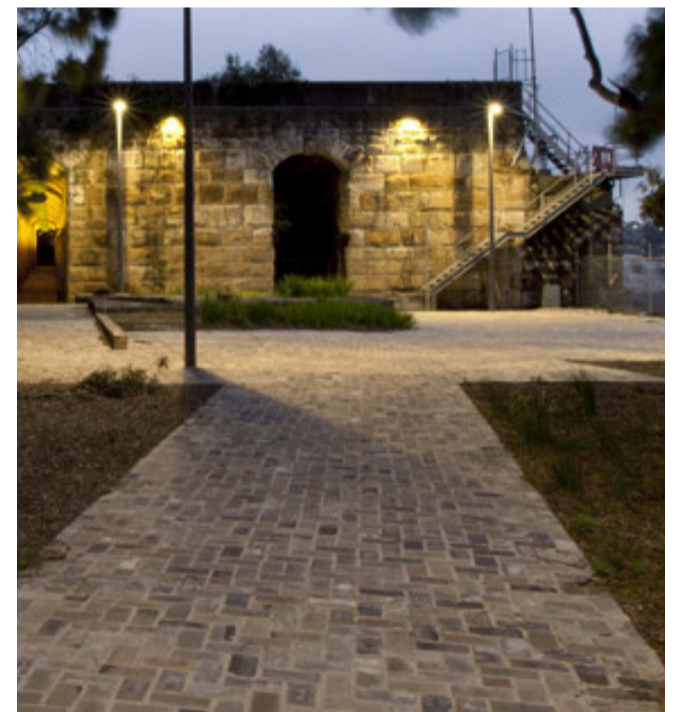
A line of palms (some potentially transplanted from site) to the south-west boundary of the park could create a dramatic entrance to the site. A number of simple park benches located beneath trees are proposed to provide shaded areas to sit and enjoy the park space. Existing heritage curtilages to the south will contribute to an open parkland character at this key site entrance.



Landform



Heritage Interpretation



Paving



Structured Planting



Public Art

## 6.0 Streetscapes and Planting

### 6.1 Street Trees

The proposed streetscapes will enhance the open space network and reinforce the road hierarchy, through their arrangement, size and species selection. The streetscape will contribute to the open space network through a 'green web' providing green links and view corridors throughout the site, making connections with and between other open spaces.

Street trees can help to define precincts, reduce traffic speeds by narrowing the perceived travel way, provide shade and habitat for fauna, and be integrated with stormwater management systems. Green streets help to create a sense of place and provide many cultural, environmental and social benefits.

Species selection will form an integral part of creating the road characters from the open space links to the laneways and form important

physical and visual links throughout the site.

A selection of high quality street furniture, lighting, finishes and planting which suit the natural and heritage environment and are low maintenance and robust will be integral in the success of the streetscape.

#### Design Principles

- Integrate WSUD elements with tree pit design to provide water and nutrients for the tree and reduce water run-off.
- Increase tree canopy through street tree integration to mitigate any canopy loss of the immediate area.
- Ensure the tree species selection is tailored to the local environmental, social and heritage context.

- Incorporate verge planting where suitable to enhance the green and create a sense of biodiversity.
- Provide an attractive and safe urban environment through appropriate tree species selection.
- Provide an appropriate mix of materials to ensure the streetscape interprets the environmental and heritage context of the development.
- Increased environmental benefit by reducing heat island effects, improving air quality, water quality, and improved biodiversity and reduce light pollution.
- A high quality streetscape will encourage walking and other recreational activities within the community.

#### Legend

	Street Tree Type 1: <i>Eucalyptus salignus</i> / <i>punctata</i>
	Street Tree Type 2: <i>Jacaranda mimosifolia</i>
	Street Tree Type 3: <i>Lagerstroemia indica</i>
	Street Tree Type 4: <i>Flindersia australis</i>
	Street Tree Type 4: <i>Pyrus calleryana</i> 'Bradford'
	Street Tree Type 5: <i>Eucalyptus citriadora</i>

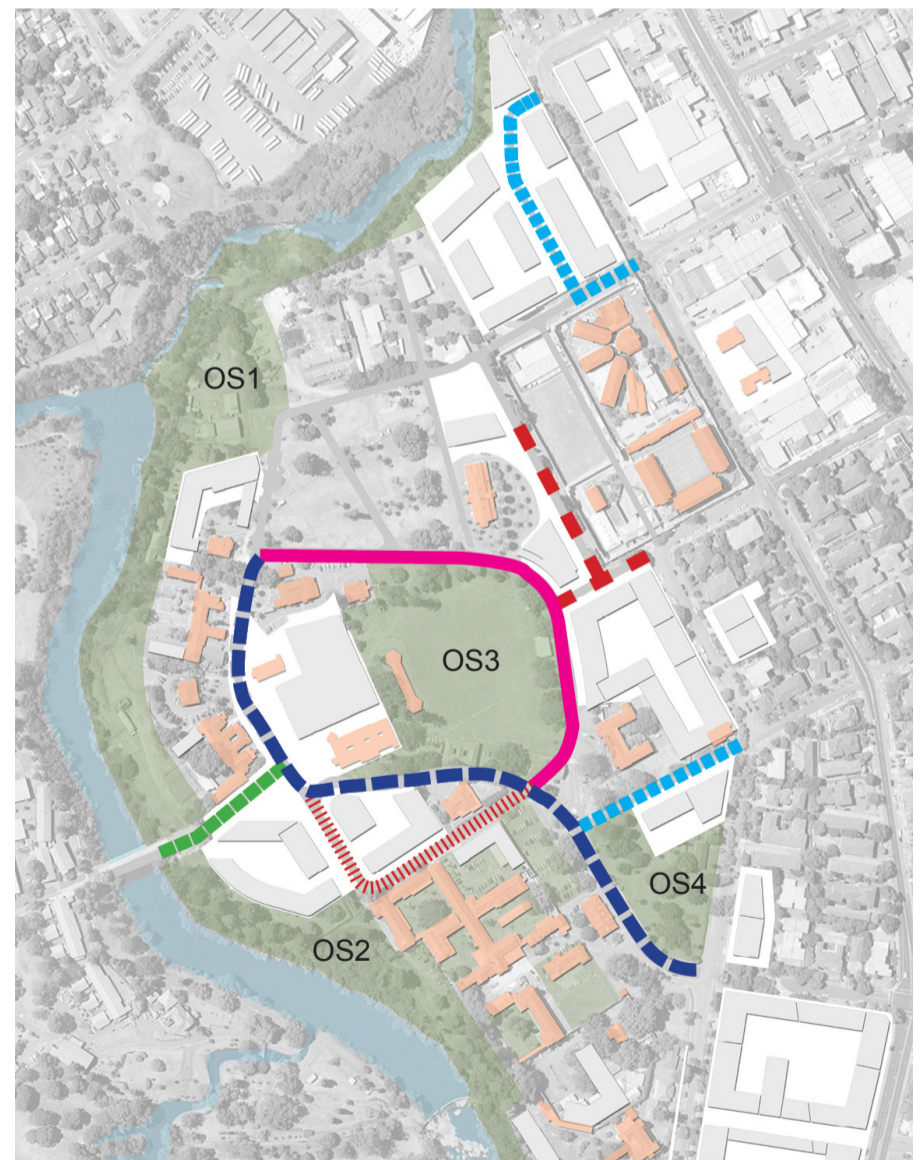


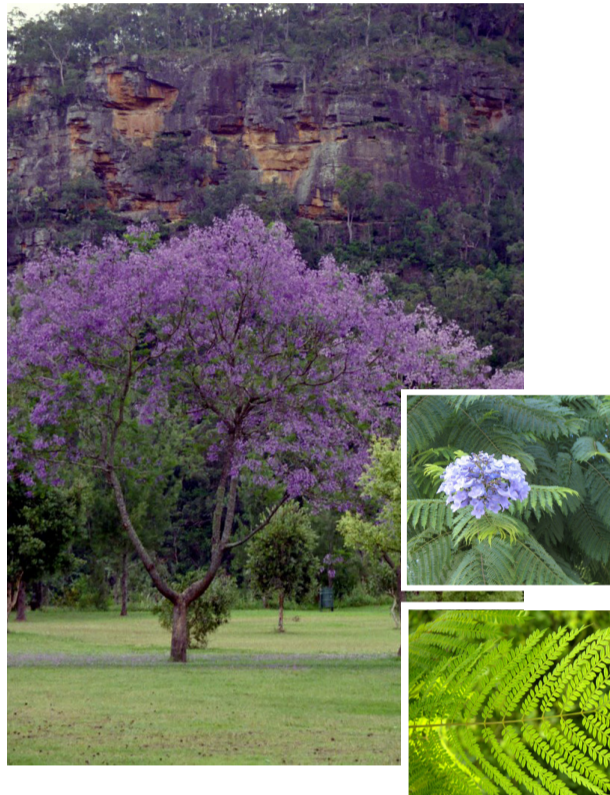
Figure 18. Street Tree Hierarchy Diagram\_NTS 





**Street Type 1**

Name : *Eucalyptus salignus*  
Preferred common name: Sydney Blue Gum



**Street Type 2**

Name : *Jacaranda mimosifolia*  
Preferred common name: Jacaranda



**Street Type 3**

Name : *Lagerstroemia indica*  
Preferred common name: Crepe Myrtle



**Street Type 4**

Name : *Flindersia australis*  
Preferred common name: Australian Teak



**Street Type 5**

Name : *Pyrus calleryana* 'Bradford'  
Preferred common name: Callery Pear



**Street Type 6**

Name : *Corymbia citriodora*  
Preferred common name: Lemon-scented Gum

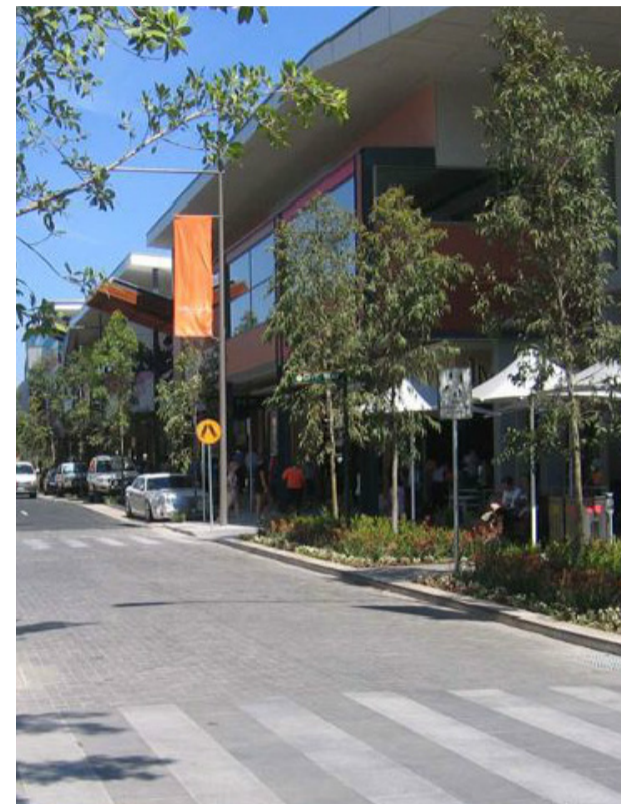
## 6.2 Road Types

The establishment of a clear hierarchy of road types within the PNUR provides a cohesive appearance to the site and establishes setbacks to buildings, allocation of pedestrian / cycle paths and spaces for street trees.







Specific allocation within verges for all road types has been provided for street trees; allowing for below ground services. Roads with allowances for parallel on-street parking are provided with vegetated blisters to provide a visual buffer to parked cars.

Generous allocation for pedestrians and cyclists has been allowed for with dedicated off-road shared paths provided for collector and some local street types (refer Typical Road Sections).

A laneway / shared street type will be designed for low traffic volumes areas, allowing pedestrians to use the roadway as a shared zone providing additional width to green verges.



### Legend

-  Typical Laneway, Shared Street
-  Local Street, Special Park Edge
-  Typical Local Street
-  Typical Collector Street
-  Collector Street, Special Park Edge
-  One-Way Street, Park Edge

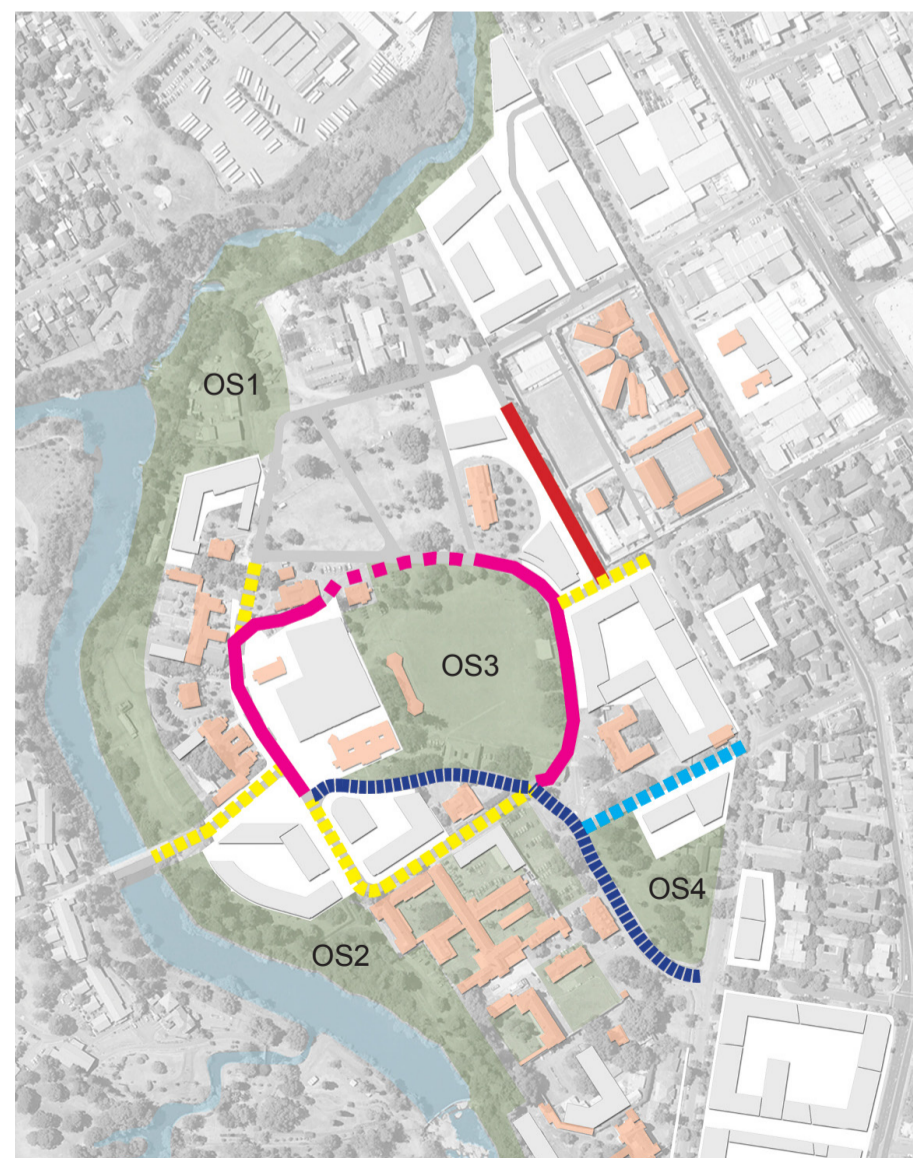


Figure 19. Road Type Hierarchy Diagram\_NTS 

6.3 TYPICAL ROAD SECTIONS

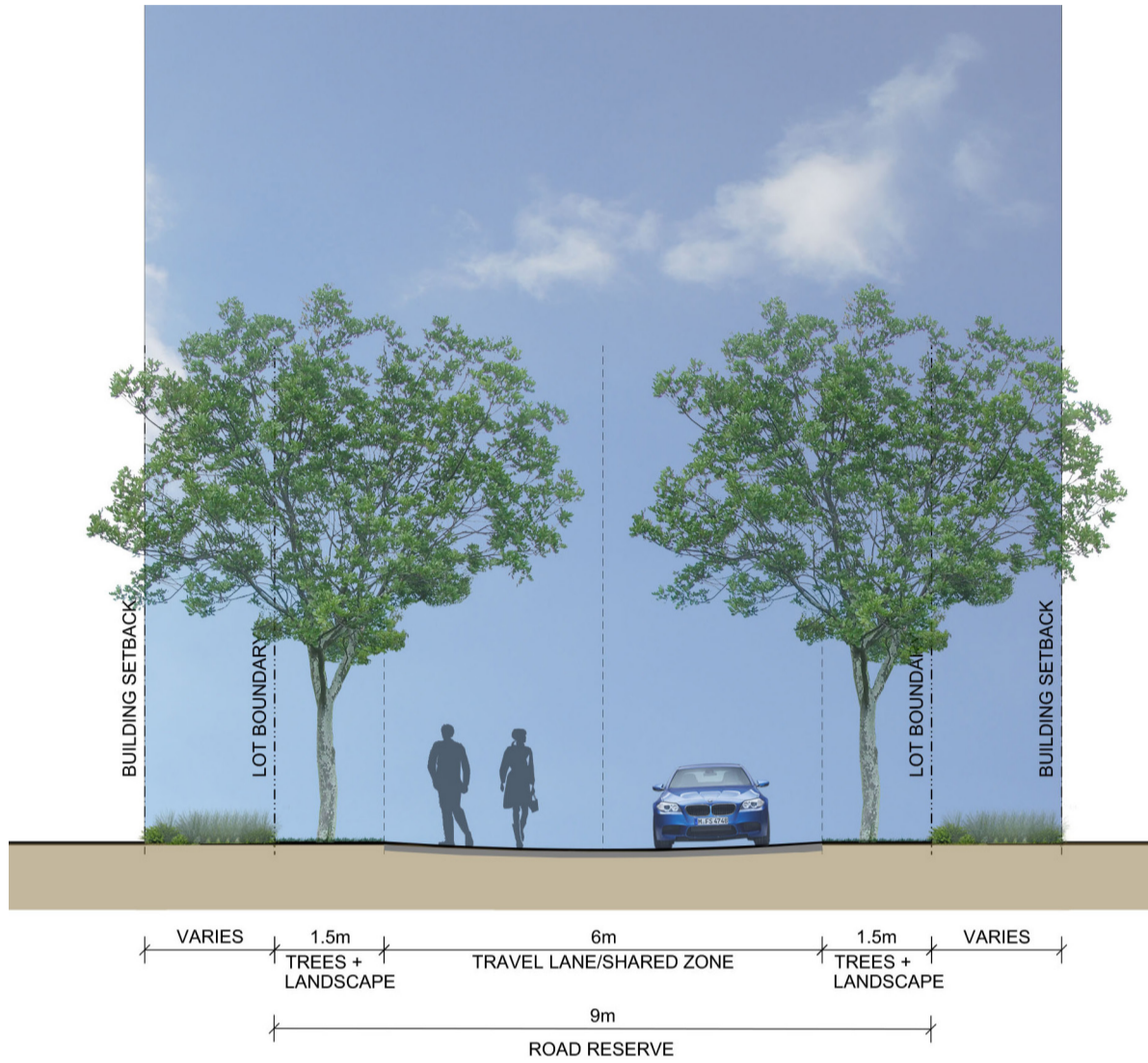


Figure 20. Typical Laneway / Shared Street\_Scale 1:100 @ A3

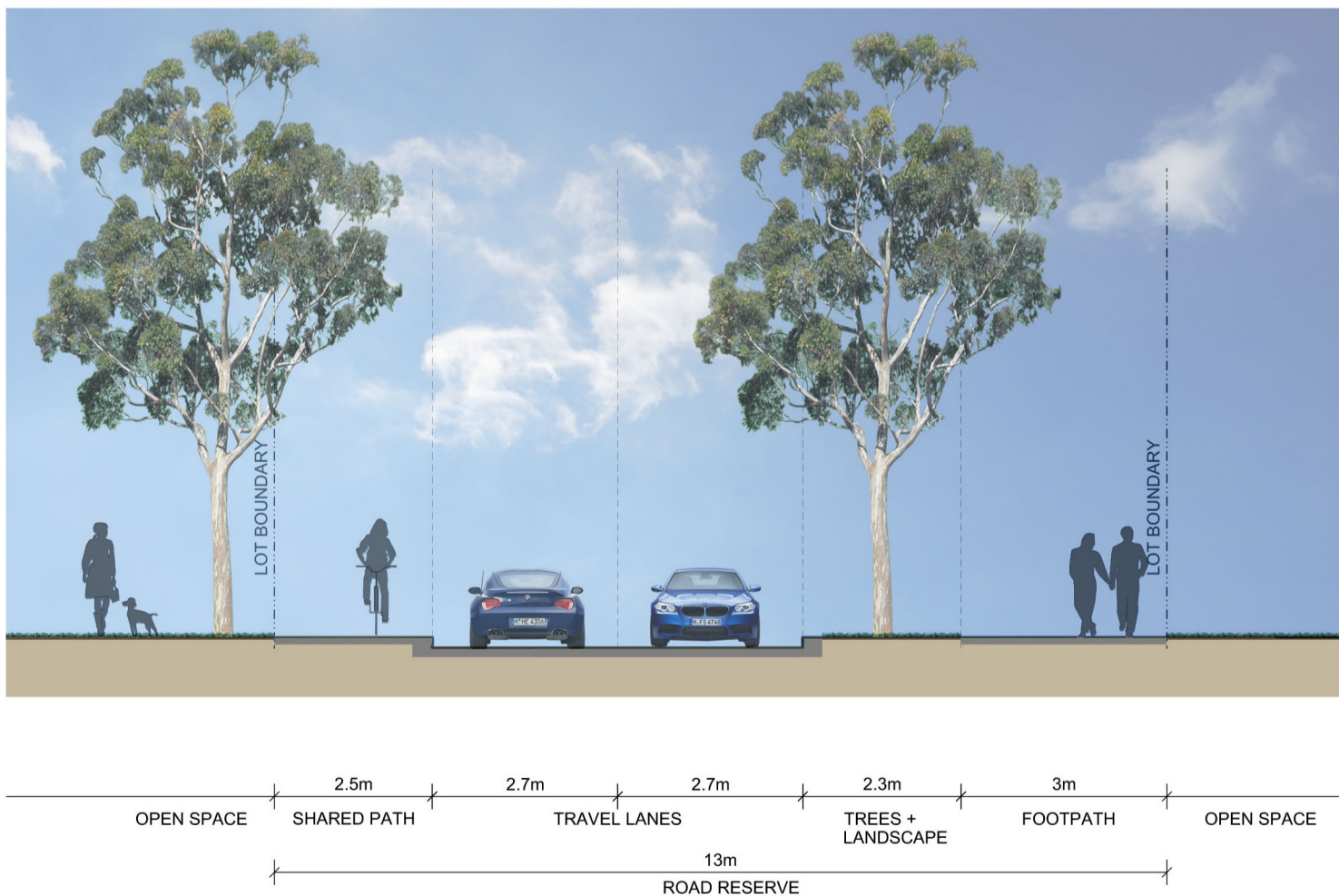


Figure 21. Local Street Special Park Edge\_Scale 1:100 @ A3

### 6.3 TYPICAL ROAD SECTIONS

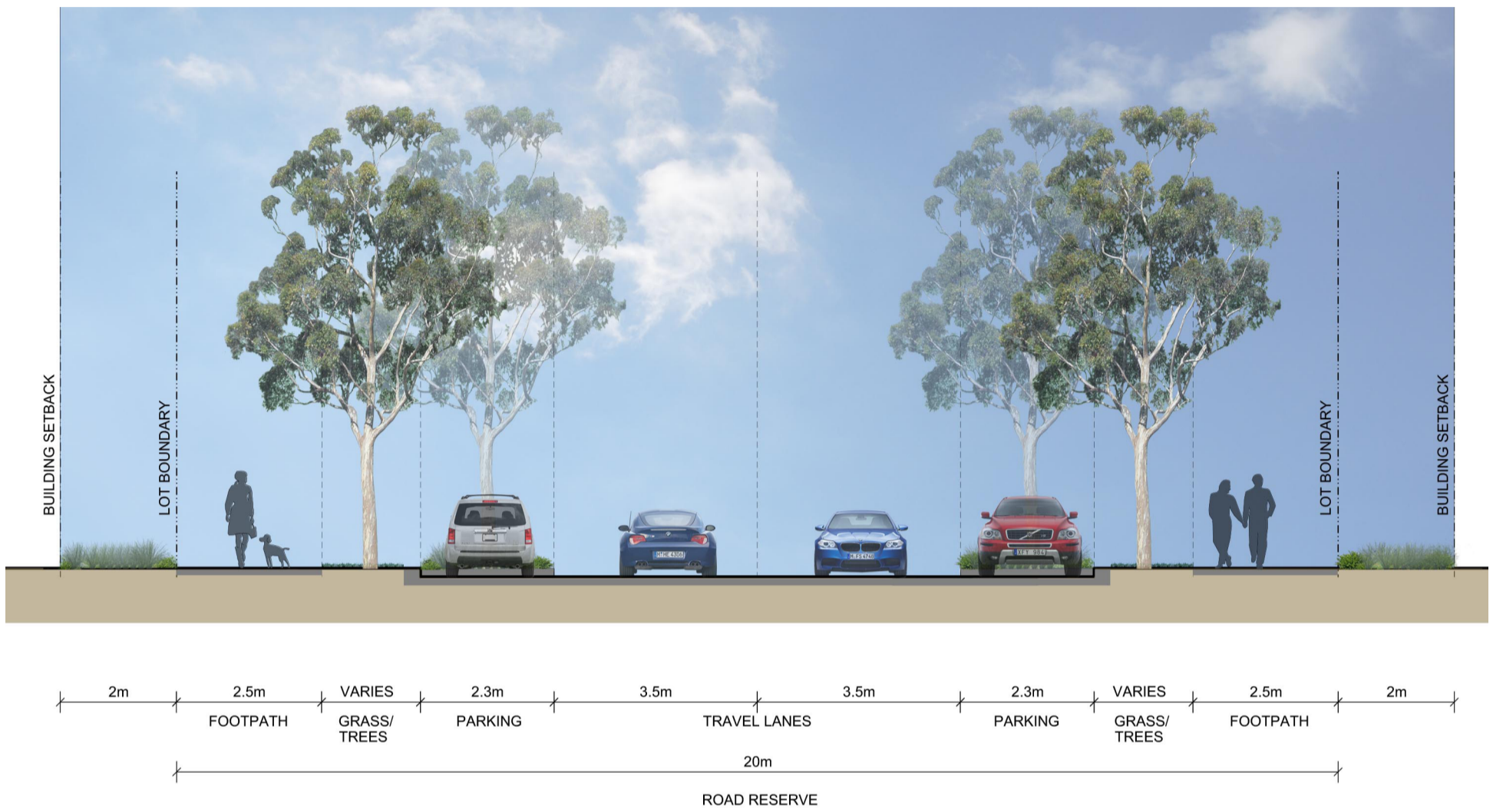


Figure 22. Typical Local Street\_Scale 1:100 @ A3

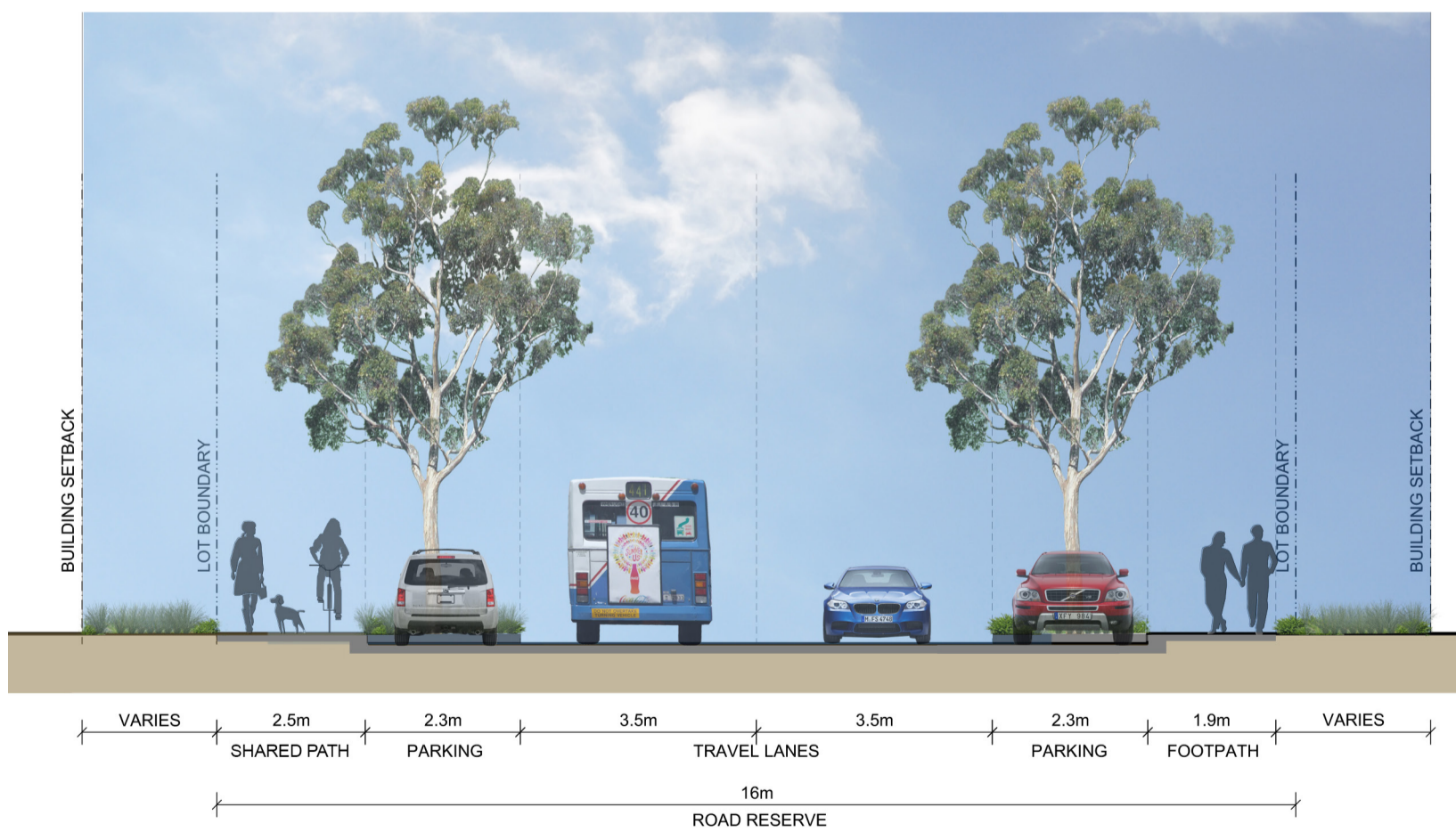
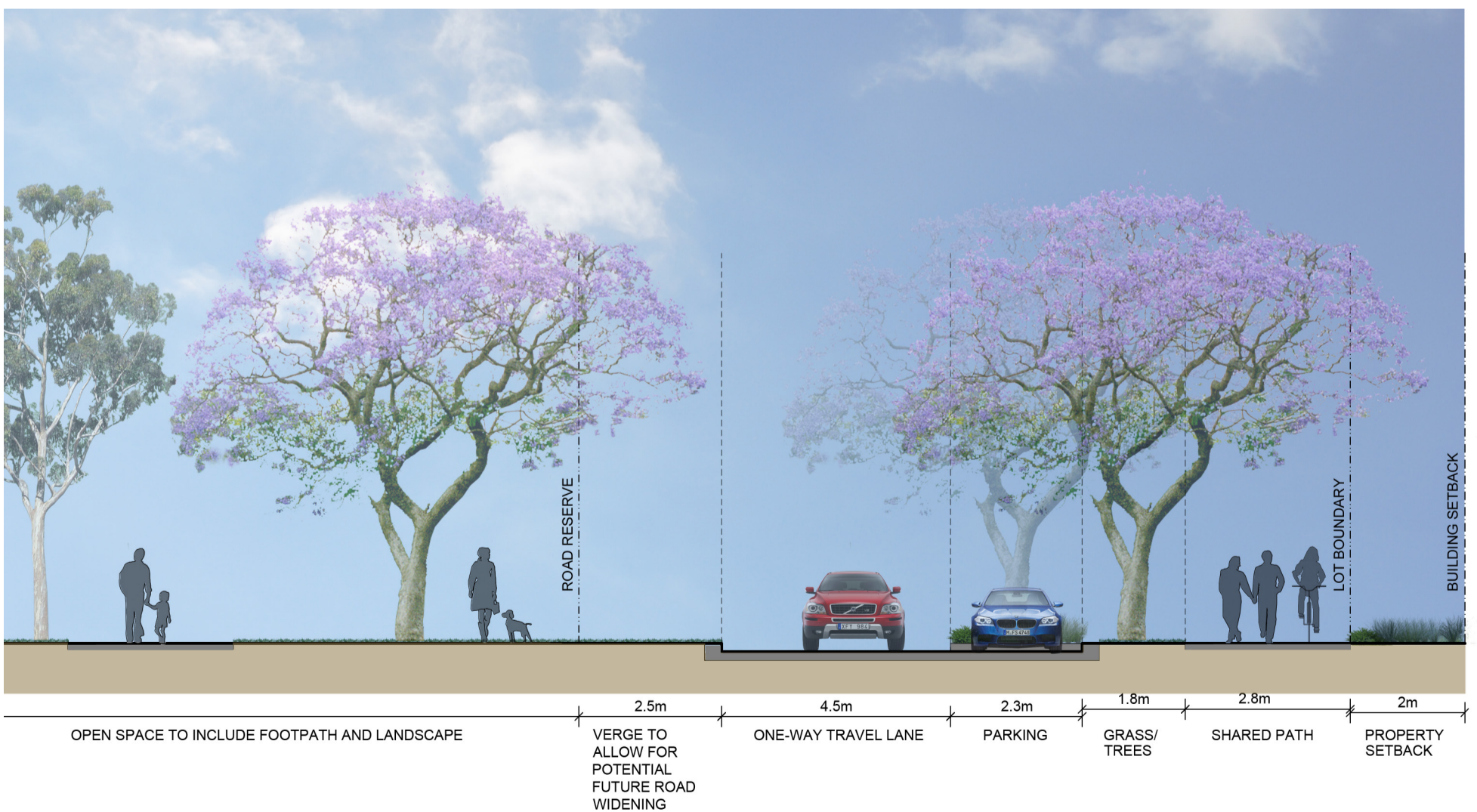
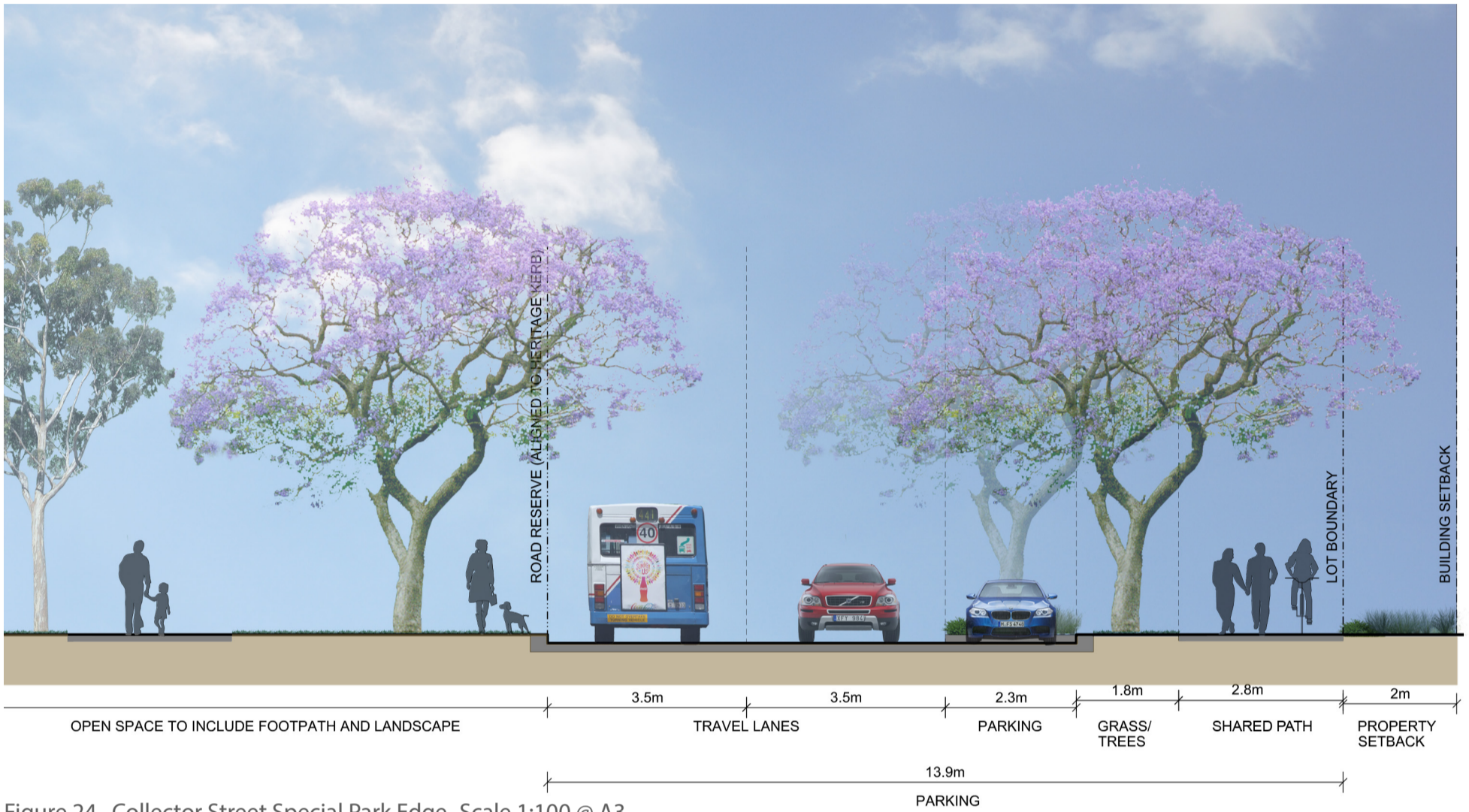


Figure 23. Typical Collector Street\_Scale 1:100 @ A3

6.3 TYPICAL ROAD SECTIONS



## 6.4 OPEN SPACE Recommended Plant List

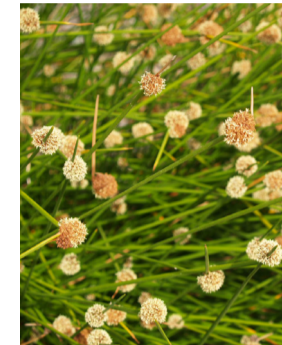
### Riverside Park North O/S 1

Botanical Name	Common Name	Vegetation Community
<b>Trees</b>		
Angophora floribunda	Rough Barked Apple	SSTF
Casuarina glauca	Swamp Oak	SCRF
Eucalyptus crebra	Narrow Leaf Iron Bark	SSTF
Eucalyptus saligna	Sydney Blue Gum	SCRF
Eucalyptus sparsifolia	Narrow-leaved Stringybark	SSTF
<b>Shrubs and Groundcovers</b>		
Acacia longifolia	Sydney Golden Wattle	
Acacia parramattensis	Parramatta Wattle	SSTF
Backhousia myrtifolia	Grey Myrtle	
Bursaria spinosa	Sweet Bursaria	SCRF
Callistemon salignus	Willow Bottlebrush	
Ceratopetalum apetulum	NSW Christmas Bush	
Dodonaea triquetra	Common Hop Bush	SSTF
Hakea dactyloides	Broad-leaved Hakea	
Hakea dactyloides	Finger Hakea	SSTF
Kunzea ambigua	White Kunzea	SSTF
Leptospermum polygalifolium	Lemon Scented Tea Tree	
Ozothamnus diosmifolius	Rice Flower	SCRF
Themeda australis	Kangaroo Grass	SSTF

### Riverside Park South O/S 2

Botanical Name	Common Name	Vegetation Community
<b>Trees</b>		
Arucaria cunninghamii	Hoop Pine	SCRF
Backhousia myrtifolia	Grey Myrtle	SCRF
Eucalyptus fibrosa	Red Ironbark	SSTF
Eucalyptus paniculata	Grey Ironbark	SSTF
Eucalyptus resinifera	Red Mahogany	SSTF
<b>Shrubs and Groundcovers</b>		
Breynia oblongifolia	Coffee Bush	SCRF
Dichondra repens	Kidney Grass	SCRF
Leptospermum trinervium	Flaky-barked Tea-tree	SSTF
Lomandra filiformis	Wattle Mat Rush	SSTF
Lomandra longifolia	Spiny-Head Mat Rush	SSTF
Ozothamnus diosmifolius	Sago Bush	SCRF
Pratia purpurascens	Whiteroot	SCRF
Wahlenbergia gracili	Sprawling Bluebel	SSTF

### Riverside Park North OS1



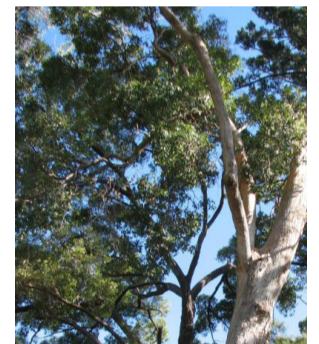
Isolepis nodosa



Acacia parramattensis



Lomandra longifolia  
'Tanika'



Angophora floribunda



Kunzea ambigua

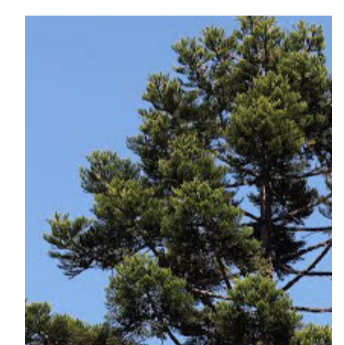


Themeda australis

### Riverside Park South OS2



Eucalyptus punctata



Arucaria cunninghamii



Lomandra longifolia



Wahlenbergia gracili

### Village Green O/S 3

Botanical Name	Common Name	Vegetation Community
<b>Trees</b>		
<i>Araucaria cunninghamii</i>	Hoop Pine	CLHA
<i>Ficus macrophylla</i>	Moreton Bay Fig	CLHA
<i>Jacaranda mimosifolia</i>	Jacaranda	CLHA
<i>Platinus orientalis</i>	Plane Tree	CLHA
<b>Shrubs and Groundcovers</b>		
<i>Anigozanthus</i> spp	Kangaroo Paw	
<i>Banksia serrata</i>	Coastal Banksia	
<i>Buxus macrophylla japonica</i>	Japanese Box	
<i>Callistemon</i> 'Little John'	Bottlebrush	
<i>Camellia</i> spp	Camellia	
<i>Clivea miniata</i>	Clivea	
<i>Dianella</i> spp	Flax Lily	
<i>Grevillea superb</i>	Grevillea	
<i>Lomandra longifolia</i> 'Tankia'	Lomandra	
<i>Rosa</i> spp	Roses	
<i>Syzigium hedgemaster</i>	Lilly Pilly	
<i>Trachelospermum jasminoides</i>	Star Jasmin	
<i>Westringea fruticosa</i>	Coastal Rosemary	

### Entry Park O/S 4

Botanical Name	Common Name	Vegetation Community
<b>Trees</b>		
<i>Angophora costata</i>	Sydney Red Gum	CLHA
<i>Ficus macrophylla</i>	Moreton Bay Fig	CLHA
<i>Jacaranda mimosifolia</i>	Jacaranda	CLHA
<i>Jubaea chilensis</i>	Chilean Wine Palm	CLHA
<i>Lagerstroemia indica</i>	Crepe Myrtle	
<i>Lophostemon confertus</i>	Brush Box	CLHA
<i>Magnolia</i> x 'Soulangeana'	Magnolia	
<i>Schinus ariera</i>	Peppercorn Tree	CLHA
<b>Shrubs and Groundcovers</b>		
<i>Correa alba</i>	White Correa	
<i>Syzygium</i> "Aussie Southern"	Lilly Pilly cultivar (LF)	
<i>Washingtonia robusta</i>	Washingtonia Palm	CLHA

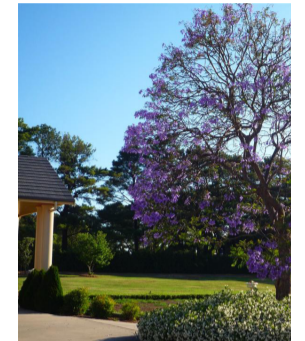
#### Abbreviations

- \* SSTF Sydney Sandstone Transition Forest
- \* SCRF Sydney Coastal Riverflat Forest
- \* CLHA Cultural Landscape Heritage Assessment Species

### Village Green OS3



*Anigozanthus* spp



*Jacaranda mimosifolia*



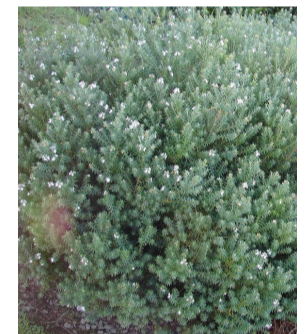
*Callistemon* 'Little John'



*Banksia*



*Ficus macrophylla*



*Westringea fruticosa*

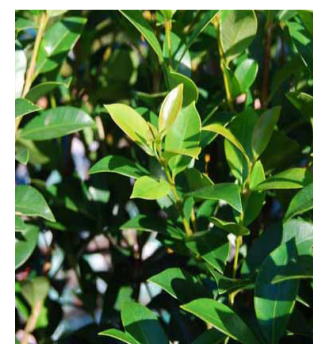
### Entry Park OS4



*Angophora costata*



*Correa alba*



*Syzygium* spp



*Jubaea chilensis*

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