

# PROPOSED DUAL OCCUPANCY No. 4 GWANDALAN ROAD PADSTOW

## Schedule of BASIX commitments - UNIT 01

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### Water Commitments

#### Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.

The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

#### Alternative water

#### Rainwater tank

The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- all toilets in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

#### General features

The dwelling must be a Class 1 dwelling according to the Building Code of Australia, and must not have more than 2 storeys.

The conditioned floor area of the dwelling must not exceed 300 square metres.

The dwelling must not contain open mezzanine area exceeding 25 square metres.

The dwelling must not contain third level habitable attic room.

#### Floor, walls and ceiling/roof

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table

#### Thermal Comfort Commitments

#### Windows, glazed doors and skylights

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door:

- For the following glass and frame types, the certifier check can be performed by visual inspection.

- Aluminium single clear
- Aluminium double (air) clear
- Timber/uPVC/fibreglass single clear
- Timber/uPVC/fibreglass double (air) clear

• For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.

• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.

#### Energy Commitments

#### Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.

#### Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 Star

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 Star

The cooling system must provide for day/night zoning between living areas and bedrooms.

#### Heating system

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The heating system must provide for day/night zoning between living areas and bedrooms.

#### Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a

Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a

Laundry: natural ventilation only, or no laundry; Operation control: n/a

#### Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- at least 4 of the bedrooms / study; dedicated
- at least 3 of the living / dining rooms; dedicated
- the kitchen; dedicated
- all bathrooms/toilets; dedicated
- the laundry; dedicated
- all hallways; dedicated

#### Natural lighting

The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.

#### Other

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.

The applicant must install a fixed outdoor clothes drying line as part of the development.

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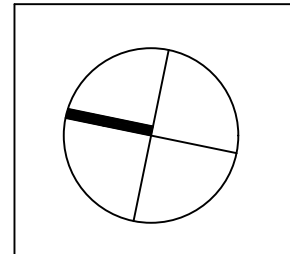
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| AMMENDMENTS |    |                          |
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| NOV 18      | 01 | CC APPLICATION           |
| JUN 19      | 02 | SECTION 96               |
| NOV 20      | 03 | SECTION 4.55 APPLICATION |
| SEP 21      | 04 | AS-BUILT PLANS           |
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THE WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES, AND OTHER BY-LAWS.

THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL'S AND CONSTRUCTION METHODS PRIOR TO THE START OF ANY WORK ON SITE. IF THERE ARE ANY DOUBTS ASK.

DIMENSIONS ON THE DRAWING ARE TO TAKE PREFERENCE OVER SCALED MEASUREMENTS.

ALL STRUCTURAL WORK TO STRUCTURAL ENGINEERS DETAIL'S.

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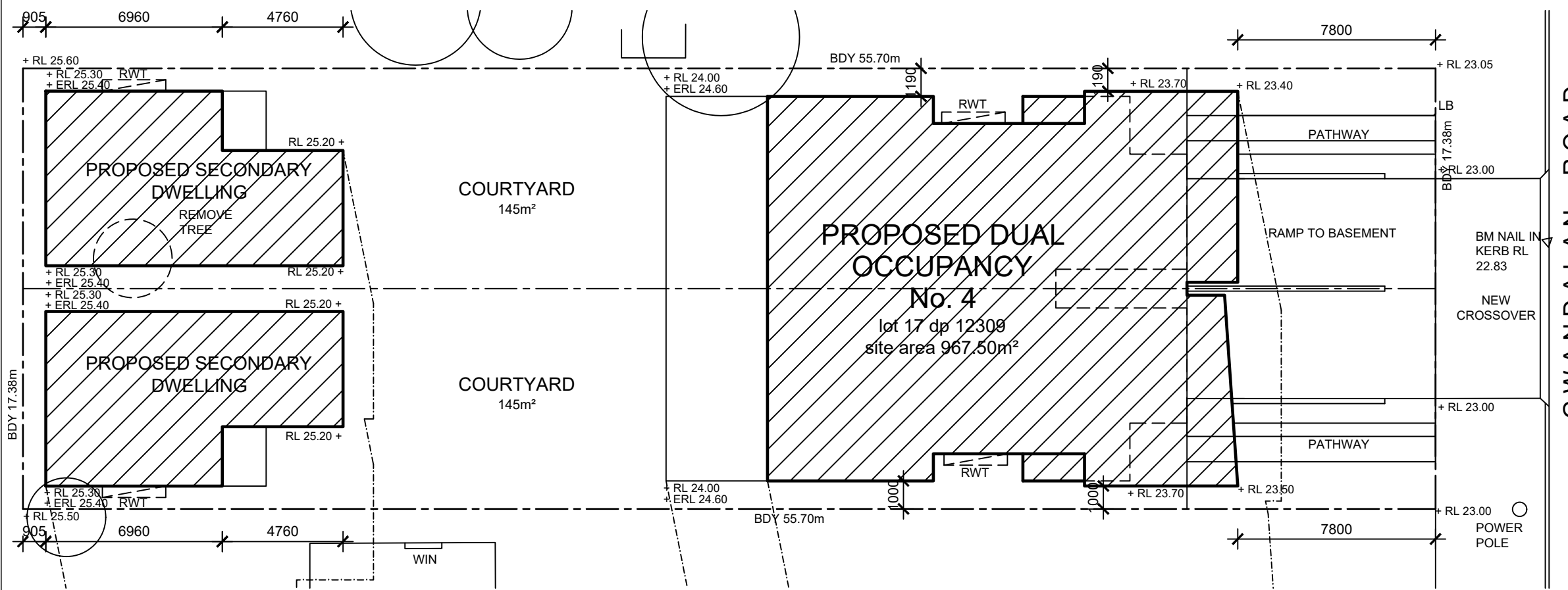
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**PROJECT**  
 PROPOSED DUAL OCCUPANCY

**ADDRESS**  
 No. 4  
 GWANDALAN ROAD  
 PADSTOW

**CLIENT**  
 MR & MRS EL FELAK

|                |                |
|----------------|----------------|
| <b>DATE</b>    | <b>SCALE</b>   |
| 29.05.18       | SHOWN          |
| <b>DWG No.</b> | <b>JOB No.</b> |
| A01            | 1821           |



**SITE PLAN**  
SCALE 1:200

**GENERAL NOTES**

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY. IF IN DOUBT, ASK.

THE OWNER/BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS, REPORT ANY DISCREPANCIES TO THE OWNER OR CONTRACTOR.

ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE BUILDING CODE OF AUSTRALIAN AND THE AUSTRALIAN STANDARDS LISTED.

- AS 1288 - 1994 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
- AS 1562 - 1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS 1684 - 1999 NATIONAL TIMBER FRAMING CODE
- AS 2049 - 1992 ROOF TILES
- AS 2050 - 1995 INSTALLATION OF ROOF TILES
- AS 2870 - 1996 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION
- AS/NZS 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS
- AS 3600 - 1994 CONCRETE STRUCTURES
- AS 3660 - 2004 BARRIERS FOR SUBTERRANEAN TERMITES
- AS 3700 - 1998 MASONRY IN BUILDINGS
- AS 3740 - 1994 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS 3786 - 1993 SMOKE ALARMS
- AS 4055 - 1992 WIND LOADINGS FOR HOUSING
- AS 4100 - 1996 STEEL STRUCTURES

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY SOIL, STRUCTURAL AND CIVIL ENGINEERING CALCULATIONS AND DRAWINGS.

ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1 AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS.

SAFETY GLAZING TO BE USED IN THE FOLLOWINGS CASES -

- i) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR
- ii) BATHROOMS - WITHIN 1500mm VERTICAL OF THE BATH BASE
- iii) FULLY GLAZED DOORS
- iv) SHOWER SCREENS
- v) WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL
- vi) WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITH MANUFACTURER, AND ARE TO BE VERIFIED WITH SAME. FLASHING ALL ROUND.

TILED DECKS OVER LIVABLE AREAS ARE TO BE, IN THE FOLLOWING ORDER

OVER THE FLOOR JOISTS : 19mm COMPRESSED FIBRE CEMENT SHEET, WITH ONE LAYER OF PARCHEM EMERPROOF 750 WITH A SECOND LAYER OF SAND SEED WITH A DFT OF 1300 MICRON, INSTALLED TO MANUF. SPECIFICATIONS, AND FLOOR TILES OVER, ALL CORNERS TO HAVE 20mm MASTIC SEALANT UNDER THE PARCHEM EMERPROOF 750.

FOOTINGS ARE TO BE WHOLLY WITHIN TITLE BOUNDARIES AND ARE NOT TO ENCROACH EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENSED SURVEYOR.

ALL STEELWORK IN MASONRY TO BE HOT DIP GALVANISED.

ALL WET AREAS TO COMPLY WITH BCA 3.8.1.2 AND AS 3740. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF THE WALL.

PROVIDE WALL TIES AT 600mm SPACINGS BOTH VERTICAL AND HORIZONTAL AND WITHIN 300mm OF ARTICULATION JOINTS. BRICK TIES TO BE STAINLESS STEEL.

SUB-FLOOR VENTILATION MINIMUM 7500mm/sq FOR EXTERNAL WALLS AND 1500mm/sq FOR INTERNAL WALLS BELOW BEARER.

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- iii) FULLY GLAZED DOORS
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- v) WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL
- vi) WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITH MANUFACTURER, AND ARE TO BE VERIFIED WITH SAME. FLASHING ALL THERMAL INSULATION TO BE PROVIDED TO ACHIEVE MINIMUM REQUIREMENTS AS SPECIFIED BY LICENSED ASSESSOR.

STAIR REQUIREMENTS : MIN. TREAD 240mm, MIN. RISER 115mm, MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE.

BALUSTRADES : MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm AND IN ACCORDANCE WITH BCA 3.9.2

FOR STAINLESS STEEL BALUSTRADE, REFER TO Table 3.9.2.1 (WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION AND MAXIMUM PERMISSIBLE DEFLECTION) OF THE BCA.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGH-OUT CONSTRUCTION.

SMOKE DETECTORS (refer electrical layout plans), TO BE HARD WIRED WITH EMERGENCY BACK-UP AND COMPLY WITH AS 3786.

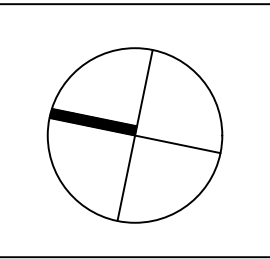
PROVIDE LIFT OFF HINGES, OPEN OUT DOOR OR MIN 1200mm CLEARANCE FROM DOOR TO PAN IN WATER CLOSETS.

EXHAUST FANS FROM SANITARY COMPARTMENTS ARE TO BE DUCTED EXTERNALLY OR TO A VENTED ROOF SPACE IN COMPLIANCE WITH AS 1668.2

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS.

THESE PLANS ARE PROTECTED BY COPY RIGHT AND ARE THE PROPERTY OF THE AUTHOR.

| AMMENDMENTS |    |                          |  |
|-------------|----|--------------------------|--|
| NOV 18      | 01 | CC APPLICATION           |  |
| JUN 19      | 02 | SECTION 96               |  |
| NOV 20      | 03 | SECTION 4.55 APPLICATION |  |
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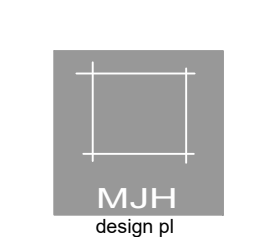
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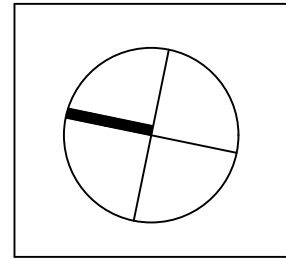
Ph: 9018 9321  
Fax: 90120912  
info@mjhdesign.com.au

**PROJECT**  
PROPOSED DUAL OCCUPANCY

**ADDRESS**  
No. 4  
GWANDALAN ROAD  
PADSTOW

**CLIENT**  
MR & MRS EL FELAK  
DATE 29.05.18 SCALE SHOWN  
DWG No. A01 JOB No. 1821

| AMMENDMENTS |    |                          |  |
|-------------|----|--------------------------|--|
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| JUN 19      | 02 | SECTION 96               |  |
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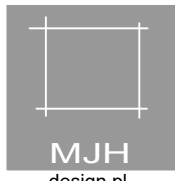
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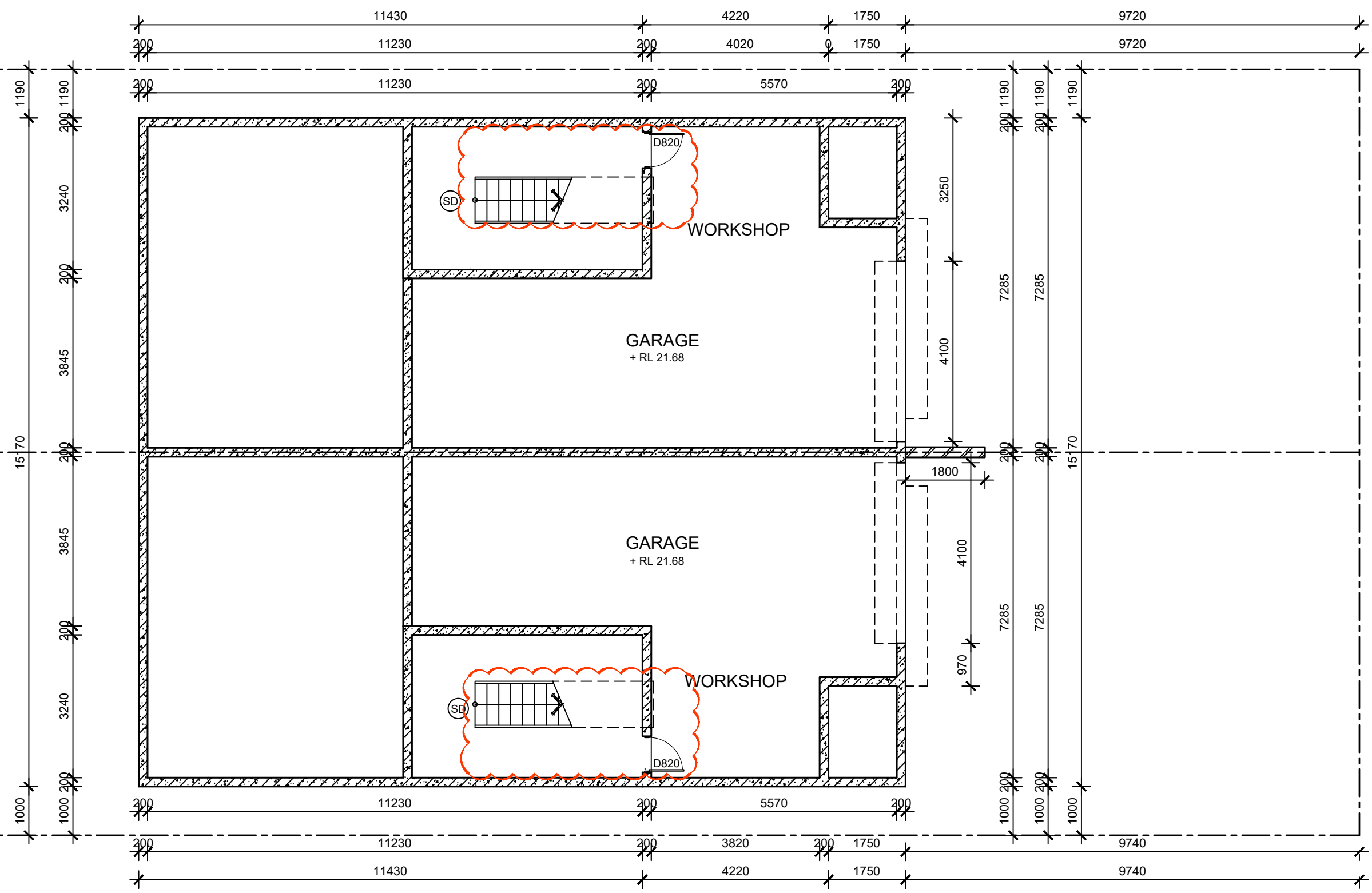
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DATE: 29.05.18      SCALE: SHOWN  
 DWG No. A02      JOB No. 1821



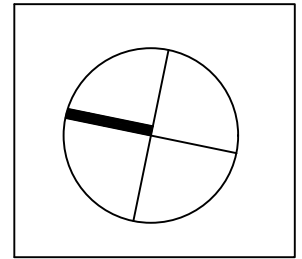
NOTE:  
 CONSTRUCTION TO COMPLY WITH PART 3.8.6 SOUND INSULATION AND TO ACHIEVE A MINIMUM LEVEL OF  $R_w + C_{tr} 50$

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA

ALL BEDROOM WINDOWS TO COMPLY WITH PART 3.9.2.5 PROTECTION OF OPENABLE WINDOWS

**BASEMENT FLOOR PLAN**  
 SCALE 1:100

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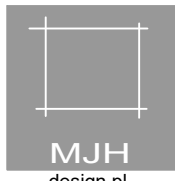
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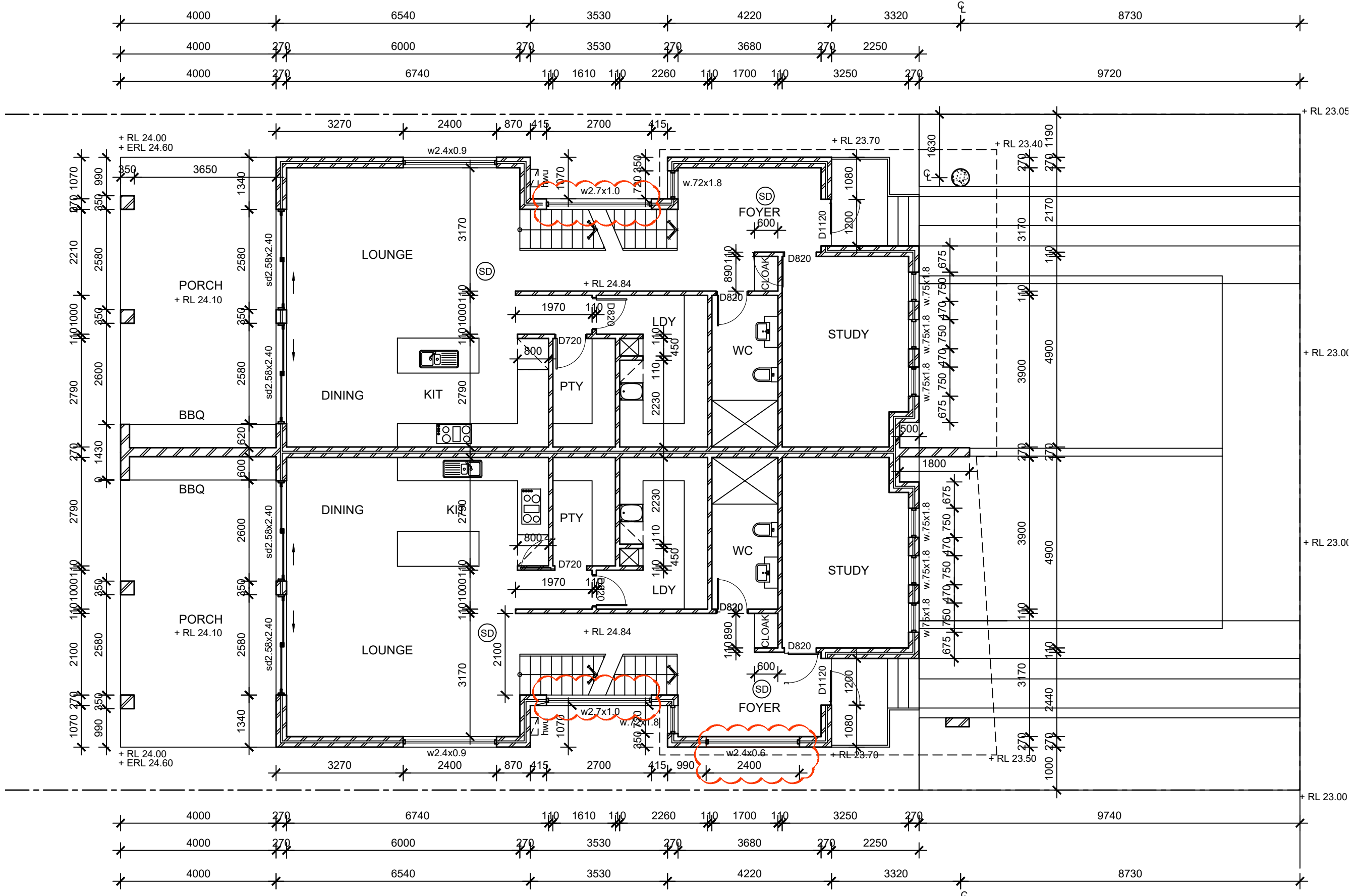
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

DWG No. A03  
 JOB No. 1821



NOTE:  
 CONSTRUCTION TO COMPLY WITH PART 3.8.6 SOUND INSULATION AND TO ACHIEVE A MINIMUM LEVEL OF  $R_w + C_{tr} 50$

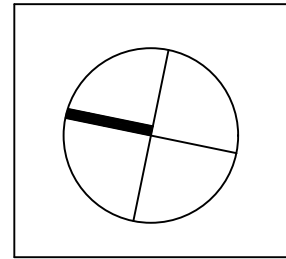
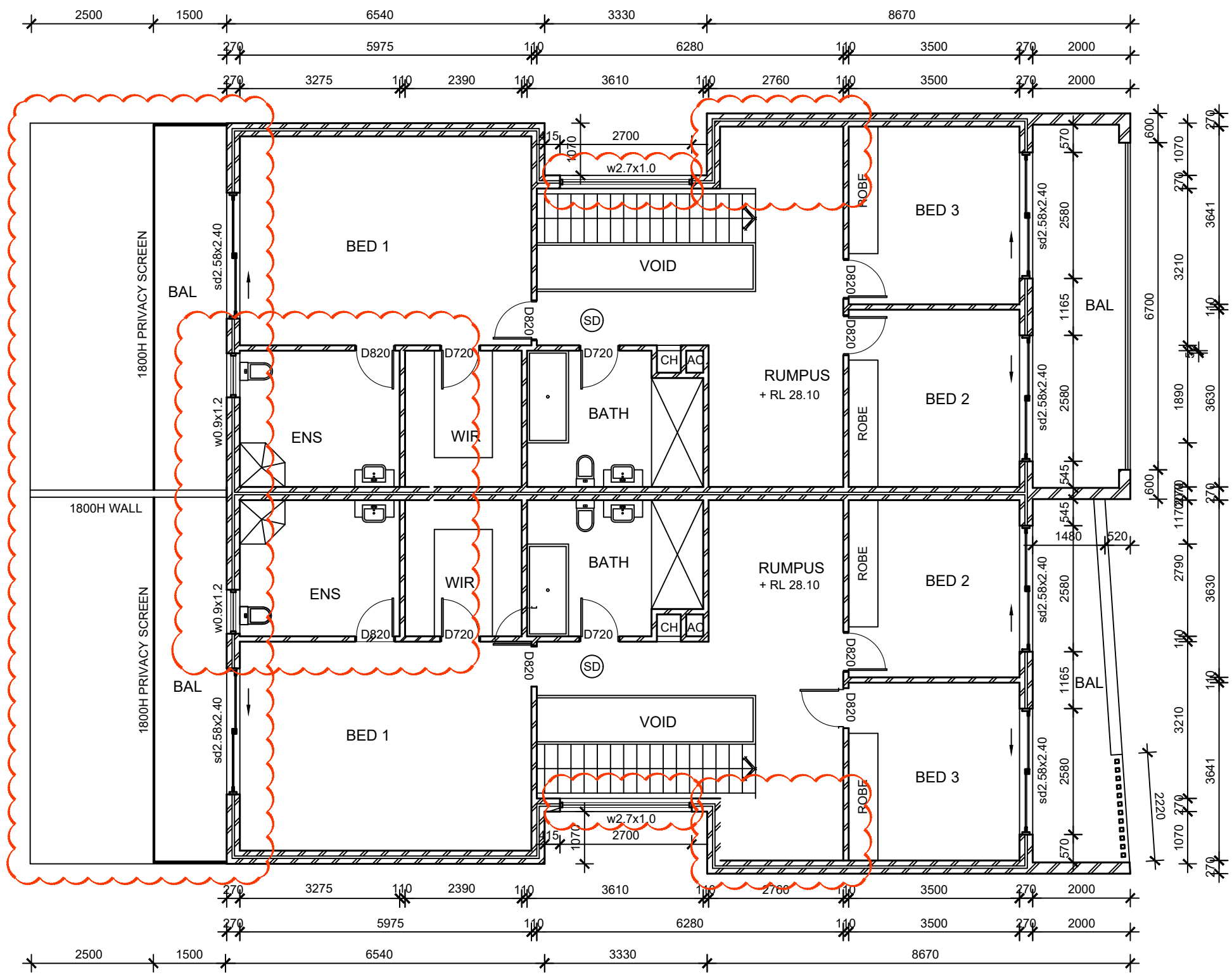
ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA

ALL BEDROOM WINDOWS TO COMPLY WITH PART 3.9.2.5 PROTECTION OF OPENABLE WINDOWS

-  - 6 STAR INSTANTANEOUS GAS HOT WATER UNIT
-  - SMOKE ALARM

**GROUND FLOOR PLAN**  
 SCALE 1:100

| AMMENDMENTS |    |                          |  |
|-------------|----|--------------------------|--|
| NOV 18      | 01 | CC APPLICATION           |  |
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**PROJECT**  
 PROPOSED DUAL OCCUPANCY

**ADDRESS**  
 No. 4  
 GWANDALAN ROAD  
 PADSTOW

**CLIENT**  
 MR & MRS EL FELAK

**DATE** 29.05.18  
**SCALE** SHOWN

**DWG No.** A04  
**JOB No.** 1821

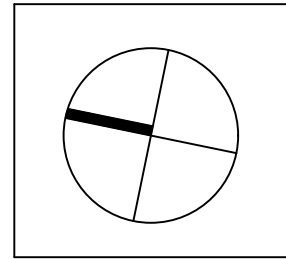
**FIRST FLOOR PLAN**  
 SCALE 1:100

NOTE:  
 CONSTRUCTION TO COMPLY WITH PART 3.8.6 SOUND INSULATION AND TO ACHIEVE A MINIMUM LEVEL OF  $R_w + C_{tr} 50$

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA

ALL BEDROOM WINDOWS TO COMPLY WITH PART 3.9.2.5 PROTECTION OF OPENABLE WINDOWS

| AMMENDMENTS |    |                          |  |
|-------------|----|--------------------------|--|
| NOV 18      | 01 | CC APPLICATION           |  |
| JUN 19      | 02 | SECTION 96               |  |
| NOV 20      | 03 | SECTION 4.55 APPLICATION |  |
| SEP 21      | 04 | AS-BUILT PLANS           |  |
|             |    |                          |  |
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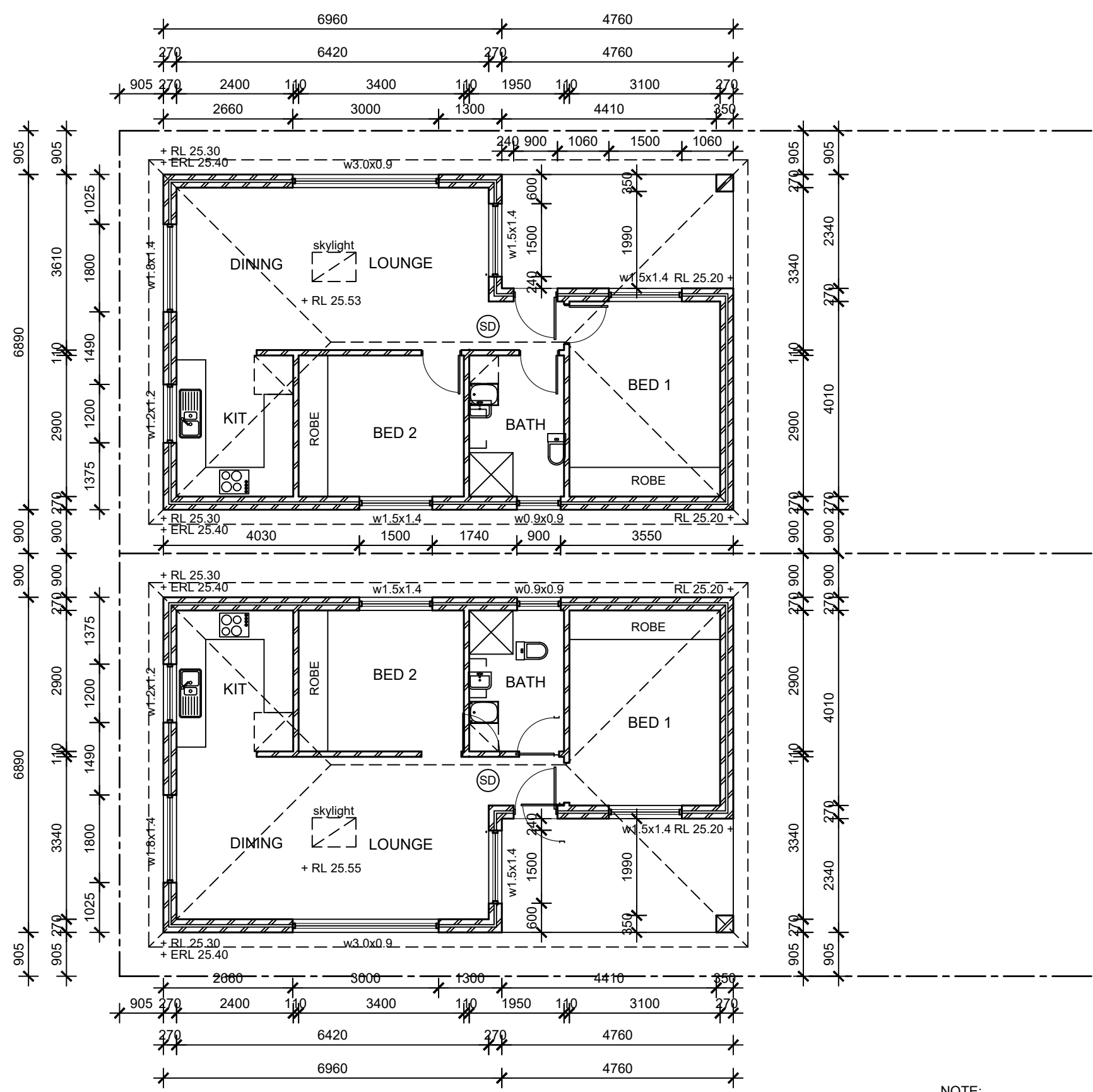
**PROJECT**  
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**CLIENT**  
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DATE: 29.05.18  
 SCALE: SHOWN

DWG No. A05  
 JOB No. 1821



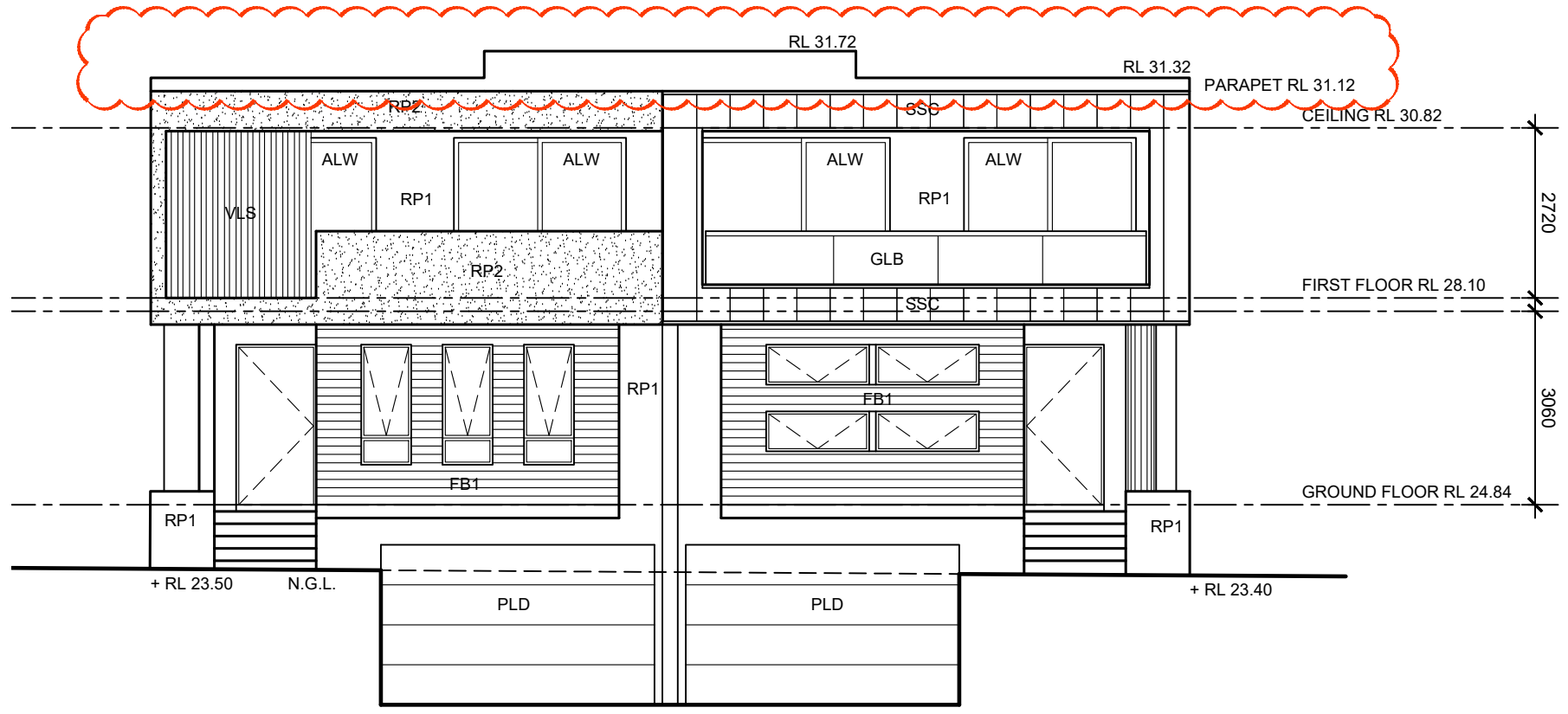
NOTE:  
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ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA

ALL BEDROOM WINDOWS TO COMPLY WITH PART 3.9.2.5 PROTECTION OF OPENABLE WINDOWS

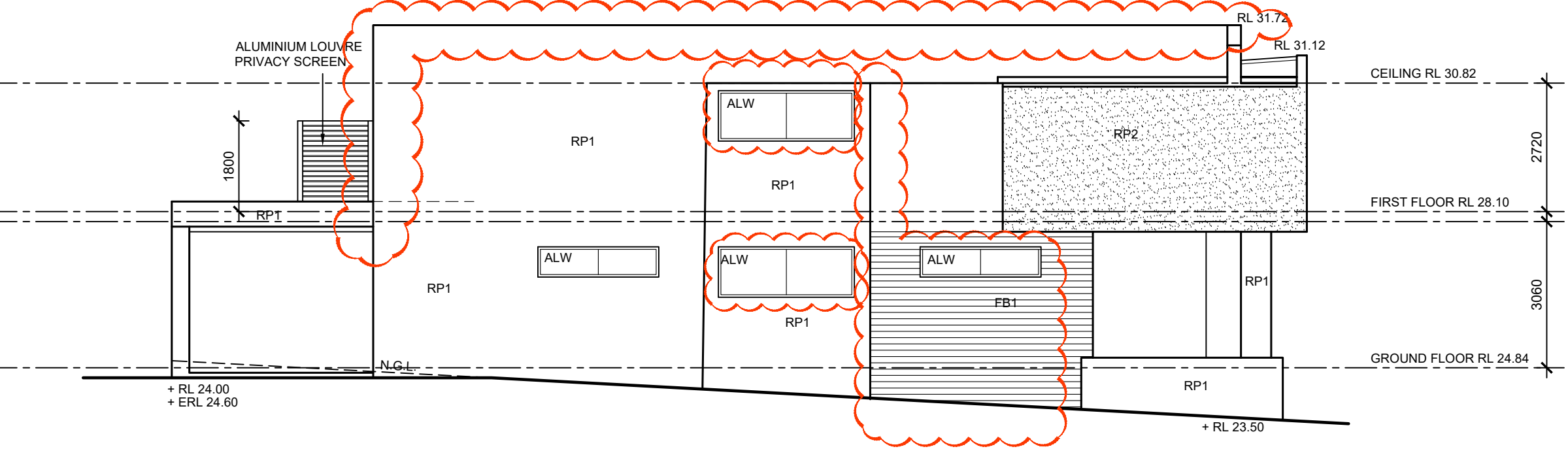
# SECONDARY DWELLING FLOOR PLAN

SCALE 1:100



**SOUTH ELEVATION**  
SCALE 1:100

| FINISHES SCHEDULE |                        |
|-------------------|------------------------|
| ALH               | SUNSHADE HOOD          |
| ALW               | AWNING WINDOW          |
| FB1               | FACE BRICK 1           |
| GLB               | GLASS BALUSTRADE       |
| MDR               | METAL DECK ROOF        |
| OP                | OPAQUE GLASS           |
| QGR               | QUAD GUTTER            |
| PLD               | PANEL LIFT DOOR        |
| RP1               | RENDER AND PAINT 1     |
| RP1               | RENDER AND PAINT 1     |
| VLS               | VERTICAL LOUVRE        |
| SSC               | STANDING SEAM CLADDING |



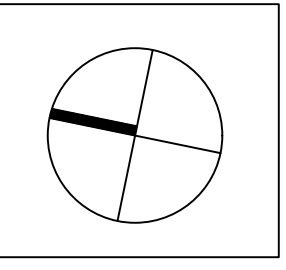
**WEST ELEVATION**  
SCALE 1:100

NOTE:  
CONSTRUCTION TO COMPLY WITH PART 3.8.6 SOUND INSULATION AND TO ACHIEVE A MINIMUM LEVEL OF  $R_w + C_{tr} 50$

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA

ALL BEDROOM WINDOWS TO COMPLY WITH PART 3.9.2.5 PROTECTION OF OPENABLE WINDOWS

| AMMENDMENTS |    |                          |  |
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|             |    |                          |  |
|             |    |                          |  |
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**PROJECT**  
PROPOSED DUAL OCCUPANCY

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PADSTOW

**CLIENT**  
MR & MRS EL FELAK

DATE: 29.05.18  
SCALE: SHOWN

DWG No. A06  
JOB No. 1821







