

Clause 4.6 exception to development standard relating to “clause 4.1A(2)(a) minimum lot width at the front building line for dual occupancies pursuant the Bankstown Local Environmental Plan 2015

Address: Lot 32 DP 29957 – 21 Riga Avenue Greenacre



Source Google Maps 2022

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Proposal: Demolition of Existing Structures, construction of an attached dual occupancy with associated Torren's title subdivision

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1) Executive Summary

The proposal seeks consent for the “*demolition of existing structures, construction of an attached dual occupancy with associated Torren’s title subdivision*” at 21 Riga Avenue Greenacre, legally known as Lot 32 DP 29957.

A Clause 4.6 Exception to Development Standard has been prepared due to the subject allotment not having the minimum width of 15m at the front building line (FBL) in accordance with Clause 4.1A(2)(a) of the Bankstown Local Environmental Plan (BLEP) 2015. Clause 4.1A(2)(a) of the BLEP 2015 states the following;

“(2) Development consent must not be granted to development for the following purposes —

(a) a dual occupancy (attached) on a lot in Zone R2 Low Density Residential unless the lot has an area of at least 500 square metres and is at least 15 metres wide at the front building line,”

The subject allotment has a frontage at the FBL of 14.71m, which is 290mm (1.93%), short of the 15m stipulated by Clause 4.1A(2)(a). The extent of the deficiency is considered extremely minor and would not be readily discernible from the public domain.

This 4.6 variation will demonstrate that the proposed development is worthy of support in this instance. It is a development that is consistent with the relevant objectives of the zone, the objectives of the development standard and the legislative requirements of clause 4.6. The variation will also demonstrate that strict enforcement of the FBL development standard is unreasonable and unnecessary in this instance as the proposal provides a development that is of an appropriate bulk, scale and appearance with limited amenity impacts on future residents, existing adjoining properties, the streetscape and the locality.

2) Site and locality

The subject site is identified as 21 Riga Avenue Greenacre, legally known as Lot 32 DP 29957. The subject site is zoned R2-Low Density Residential pursuant to the BLEP 2015.

The site is benefited by a single storey detached dwelling. The site is a regular shaped allotment with a north-south orientation and a site area of 594.96m². The site has a frontage at the FBL of 14.71m along Riga Avenue, a southern rear boundary with a total length of 14.71m, an eastern side boundary of 40.088m and a western side boundary of 40.545m. The subject site is relatively flat with a slight slope across the site of approximately 950mm from the north-western front corner to the south-eastern rear corner. The slight slope is gradual and spans a distance 40m from the front to the rear and thus does not create any significant impediments to the site for future construction purposes.

The surrounding locality is characterised by predominately older style detached homes interspersed by more recent developments comprising of two storey dwellings and dual occupancies. The locality surrounding the subject site is predominately zoned R2-Low Density Residential pursuant to the BLEP 2015 and have a height of building of 9m and floor space ration (FSR) of 0.5:1 in accordance with Clauses 4.3 and 4.4 of the BLEP 2015 respectively.



Figure 1: Aerial view of the locality (Source Google Maps 2022)

3) Description of proposal

The proposed development consists of:

“demolition of existing structures, construction of an attached dual occupancy with associated Torren’s title subdivision”. A detailed description is provided below.

- The dwelling on Lot 21 (i.e., western lot), proposes a ground floor with a north facing living room, attached single garage, study nook, bathroom and a kitchen/dining/living room. The rear living room lead out to an alfresco area containing a laundry. The alfresco then leads onto a rear yard with a clothesline which has a total area of 95.8m². The proposed lot size of Lot 21 is 298.2m², exceeding the minimum subdivision lot size by 48.2m².
- The dwelling on Lot 21A (i.e., eastern lot), proposes a ground floor with a north facing living room, attached single garage, study nook, bathroom and a kitchen/dining/living room. The rear living room lead out to an alfresco area containing a laundry. The alfresco then leads onto

a rear yard with a clothesline which has a total area of 94.36m². The proposed lot size of Lot 21A is 296.76m², exceeding the minimum subdivision lot size by 46.76m².

- The subject development has proposed a maximum height under the 9m height limit, an FSR of 0.5:1 in accordance with FSR applicable to the site.
- The proposal has also incorporated a variety of building materials and articulation to add visual interest to the development from a streetscape perspective and to provide a development that is consistent with the bulk, scale and appearance that is consistent with the desired future character of the area.



Figure 2: Front perspective of proposal

4) Clause 4.6 Legislative Framework

The provisions of Clause 4.6 of the BLEP 2015 allow flexibility in the application of numeric development standards. Each of the elements of Clause 4.6 is discussed below.

4.1 - Subclause 4.6(1) – Flexibility in applying certain development standards

(1) The objectives of this clause are as follows—

(a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,



(b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.

Comment: Pertinent to subclause 1 it is required to be demonstrated the FBL width in question is a development standard. “Development Standards” is defined under section 1.4 of *Environmental Planning and Assessment Act (EP&A Act) 1979*, as follows;

“development standards means provisions of an environmental planning instrument or the regulations in relation to the carrying out of development, being provisions by or under which requirements are specified or standards are fixed in respect of any aspect of that development, including, but without limiting the generality of the foregoing, requirements or standards in respect of—

- (a) the area, shape or frontage of any land, the dimensions of any land, buildings or works, or the distance of any land, building or work from any specified point,*
- (b) the proportion or percentage of the area of a site which a building or work may occupy,*
- (c) the character, location, siting, bulk, scale, shape, size, height, density, design or external appearance of a building or work,*
- (d) the cubic content or floor space of a building,*
- (e) the intensity or density of the use of any land, building or work,*
- (f) the provision of public access, open space, landscaped space, tree planting or other treatment for the conservation, protection or enhancement of the environment,*
- (g) the provision of facilities for the standing, movement, parking, servicing, manoeuvring, loading or unloading of vehicles,*
- (h) the volume, nature and type of traffic generated by the development,*
- (i) road patterns,*
- (j) drainage,*
- (k) the carrying out of earthworks,*
- (l) the effects of development on patterns of wind, sunlight, daylight or shadows,*
- (m) the provision of services, facilities and amenities demanded by development,*
- (n) the emission of pollution and means for its prevention or control or mitigation, and*
- (o) such other matters as may be prescribed”.*

Having regard to the above definition it is considered Clause 4.1A(2)(a) provides a development standard for FBL width and is not considered a “prohibition” in respect of the development. It is therefore considered that Clause 4.1A(2)(a) of the BLP 2015 can be varied utilising Clause 4.6. It will also be demonstrated in this request that the development provides a design outcome that is consistent with the relevant objectives and provides a high level of residential amenity and is of an appropriate bulk and scale whilst limiting any detrimental impact on surrounding properties and thus would be considered appropriate to apply a degree of flexibility in this instance.

4.2 - Subclause 4.6(2) – Granting of Consent

Subclause 4.6(2) states;



(2) Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.

Comment: Clause 2.1A(2)(a) of the BLEP 2015 is not excluded expressly from Clause 4.6 and thus there is nothing inhibiting development consent being granted.

4.3 - Subclause 4.6(3) — Making a Written Request

Subclause **4.6(3)** states:

- (3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating—*
- (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*
 - (b) that there are sufficient environmental planning grounds to justify contravening the development standard.*

Comment: The written request under section 6 demonstrates that strict compliance with the FBL width control in Clause 4.1A(2)(a) is considered to be unreasonable and unnecessary in the circumstances of this case, and that there are sufficient environmental planning grounds to justify contravening the development standard.

4.4 - Subclause 4.6(4) — Making a Written Request

Subclause **4.6(4)** states;

- (4) Development consent must not be granted for development that contravenes a development standard unless—*
- (a) the consent authority is satisfied that—*
 - (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*
 - (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and*
 - (b) the concurrence of the Planning Secretary has been obtained.*



Comment: The written request under section 6 demonstrates that strict compliance with the FBL width control in Clause 4.1A(2)(a) is considered to be unreasonable and unnecessary in the circumstances of this case, and that there are sufficient environmental planning grounds to justify contravening the development standard.

Furthermore, the request in section 6 will demonstrate that the proposed development is consistent with the objectives of Clause 4.1A(2)(a) and the objectives of the R2 zone. Concurrence from the Planning Secretary is assumed in this instance.

4.5 - Subclause 4.6(5) — Secretary's Concurrence

Subclause **4.6(5)** states;

- (5) In deciding whether to grant concurrence, the Planning Secretary must consider—
- (a) *whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and*
 - (b) *the public benefit of maintaining the development standard, and*
 - (c) *any other matters required to be taken into consideration by the Planning Secretary before granting concurrence.*

Comment: The NSW Planning Circular issued 21/2/18 clarifies the matter on assumed concurrence for cl 4.6 variations to development standards.

It is stated that the Secretary's concurrence may not be assumed by a delegate of Council if the development contravenes a numerical standard by more than 10%. The proposed FBL width variation is 1.93% and doesn't exceed 10% and thus the Secretaries concurrence can be assumed in this instance.

4.6 - Subclause 4.6(6) — Subdivision of Certain Land

Subclause **4.6(6)** states;

- (6) *Development consent must not be granted under this clause for a subdivision of land in Zone RU1 Primary Production, Zone RU2 Rural Landscape, Zone RU3 Forestry, Zone RU4 Primary Production Small Lots, Zone RU6 Transition, Zone R5 Large Lot Residential, Zone C2 Environmental Conservation, Zone C3 Environmental Management or Zone C4 Environmental Living if—*
- (a) *the subdivision will result in 2 or more lots of less than the minimum area specified for such lots by a development standard, or*
 - (b) *the subdivision will result in at least one lot that is less than 90% of the minimum area specified for such a lot by a development standard.*

Comment: The subject allotment does not fall in any of the zones stipulated in Clause 4.6(6) and is therefore not applicable.



4.7 - Subclause 4.6(7) — Keeping a Record of Assessment

Subclause 4.6(7) states;

- (7) *After determining a development application made pursuant to this clause, the consent authority must keep a record of its assessment of the factors required to be addressed in the applicant's written request referred to in subclause (3).*

Comment: This is a matter for the relevant approval authority.

4.8 - Subclause 4.6(8) — Exclusions from 4.6

Subclause 4.6(8) states;

- (8) *This clause does not allow development consent to be granted for development that would contravene any of the following—*
- (a) *a development standard for complying development,*
 - (b) *a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which [State Environmental Planning Policy \(Building Sustainability Index: BASIX\) 2004](#) applies or for the land on which such a building is situated,*
 - (c) *clause 5.4,*
 - (caa) *clause 5.5,*
 - (ca) *clause 4.4, to the extent that it applies to land in Zone B4 Mixed Use that has a maximum floor space ratio of 3:1,*
 - (cb) *clause 4.4A.*

Comment: Clause 4.1A(2)(a) is not a clause listed that is excluded from a variation request pursuant to 4.6(8) and therefore can be varied through a 4.6 written request.

5. Relevant Case Law

5.1 – *Wehbe v Pittwater Council [2007] NSWLEC 827 (21 December 2007)*

The matter of *Wehbe v Pittwater Council* outlines 5 ways in which compliance with a development standard can be demonstrated to be unreasonable or unnecessary in the circumstances of the case. The 5 ways are;

- *If the development proffers an alternative means of achieving the objective, strict compliance with the standard would be unnecessary (it is achieved anyway) and unreasonable (no purpose would be served)*
- *the underlying objective or purpose is not relevant to the development with the consequence that compliance is unnecessary*



- *the underlying objective or purpose would be defeated or thwarted if compliance was required with the consequence that compliance is unreasonable*
- *the development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable*
- *the zoning of particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning was also unreasonable or unnecessary as it applied to that land and that "compliance with the standard in that case would also be unreasonable or unnecessary."*

Comment: The first test in *Wehbe* is relevant in this matter in that the proposal achieves the objectives of the development standard of Clause 4.1A despite the non-compliance with the FBL width standard. This is expanded on and clarified in section 6 of this request.

5.2 – *Four2Five Pty Ltd v Ashfield Council* [2015] NSWLEC 1009 (30 January 2015)

Comment: As a consequence of the matter of *Four2Five v Ashfield Council*, a key principle that stems from the decision is that more than achieving the objective of the standard there need to be sufficient environmental planning grounds specific to the proposed development.

Demonstrating how the subject proposal has sufficient environmental planning grounds to justify a variation to Clause 4.1A(2)(a) is expanded on and clarified in section 6 of this request.

5.3 - *Randwick City Council v Micaul Holdings Pty Ltd* [2016] NSW LEC 7

In *Randwick City Council v Micaul Holdings Pty Ltd* [2016] NSW LEC 7 Preston CJ noted at paragraph 7 that development consent cannot be granted for development that contravenes a development standard unless the consent authority:

- *"Considers the cl 4.6 objections (the requirement in cl 4.6(3)); and*
- *Was satisfied that, first, the cl 4.6 objections adequately addressed the matters required to be demonstrated by cl 4.6(3) (the requirement in cl 4.6(4)(a)(i)) and, second, the development will be in the public interest because it is consistent with the objectives of the standard and the objectives for development within the zone in which the development is proposed to be carried out (the requirement in cl 4.6(4)(a)(ii))."*

Comment: Preston CJ noted at paragraph 39 that "the [consent authority] does not have to be directly satisfied that compliance with each development standard is unreasonable or unnecessary in the circumstances of the case, but only indirectly by being satisfied that the applicant's written request has adequately addressed the matter in subclause (3)(a) that compliance with each development standard is unreasonable or unnecessary". In this respect, he also noted that in assessing whether compliance with the development standards was unreasonable or unnecessary an established test is consistency with the objectives of the standard and the absence of environmental harm.



Based on the assessment against the objectives of the zone and objectives of the development standard being varied namely Clause 4.1A(2)(a) of the BLEP 2015 it can be concluded that in accordance with the above judgement compliance with the relevant development standard is unreasonable and unnecessary in this instance as the proposal has demonstrated consistency with the objectives of the standard and proposes a development that is absent of any environmental harm. This is expanded on in section 6 of this variation request.

5.4 - *Moskovich v Waverley Council [2016] NSWLEC 1015*

Commissioner Tour reflected on the recent decisions considering Four2Five and said:

- *“Clause 4.6(3)(a) is similar to clause 6 of SEPP 1 and the Wehbe ways of establishing compliance are equally appropriate [at 50]. One of the most common ways is because the objectives of the development standard are achieved – as per Preston CJ in Wehbe at 42-43.*
- *Whereas clause 4.6(4)(a)(ii) has different wording and is focused on consistency with objectives of a standard. One is achieving, the other is consistency. Consequently, a consideration of consistency with the objectives of the standard required under clause 4.6(4)(a)(ii) to determine whether noncompliance with the standard would be in the public interest is different to consideration of achievement of the objectives of the standard under clause 4.6(3). The latter being more onerous requires additional considerations such as the matters outlined in Wehbe at 70-76. Such as consideration of whether the proposed development would achieve the objectives of the standard to an equal or better degree than a development that complied with the standard.*
- *Establishing compliance with the standard is unnecessary or unreasonable in 4.6(3)(a) may also be based on “tests” 2-5 in Wehbe either instead of achieving the objectives of the standard (Wehbe test 1) or in addition to that test. The list in Wehbe is not exhaustive but is a summary of the case law as to how “unreasonable or unnecessary” has been addressed to the meet the requirements of SEPP 1.*
- *It is best if the written request also addresses the considerations in the granting of concurrence under clause 4.6(5)”.*

5.5 - *Initial Action Pty Ltd v Woollahra Municipal Council (2018) NSWLEC 118*

Comment: This judgement confirmed that it is not necessary for a non-compliant scheme to be a better or neutral outcome and that an absence of impact is a way of demonstrating consistency with the objectives of a development standard. This decision is particularly important in this instance, and it is demonstrated in section 6 of this request that the proposed development does not generate an impact notwithstanding the non-compliant FBL width.

5.6 - *Al Maha Pty Ltd v Huajun Investments Pty Ltd [2018] NSWCA 245*

Comment: This decision adopted further consideration of the matter raised in *Initial Action v Woollahra* regarding the absence of impact of a way of demonstrating consistency with the objectives of a development standard and stipulates that a consent authority must be satisfied that:



- The written request addresses the relevant matters at Clause 4.6 (3) and demonstrates compliance is unreasonable or unnecessary and that there are sufficient environmental planning grounds; and
- The consent authority must consider that there are planning grounds to warrant the departure in their own mind and there is an obligation to give reasons in arriving at a decision.

5.7 – RebelMH Neutral Bay Pty Limited v North Sydney Council [2019] NSWCA 130

Comment: The approach in Al Maha was reinforced by this decision where it was found that:

... in order for a consent authority to be satisfied that an applicant's written request has "adequately addressed" the matters required to be demonstrated by cl 4.6(3), the consent authority needs to be satisfied that those matters have in fact been demonstrated. It is not sufficient for the request merely to seek to demonstrate the matters in subcl (3) (which is the process required by cl 4.6(3)), the request must in fact demonstrate the matters in subcl (3) (which is the outcome required by cl 4.6(3) and (4)(a)(i)).

5.8 - Baron Corporation Pty Limited v Council of the City of Sydney [2019] NSWLEC 61

Comment: This decision confirmed that the consent authority must be directly satisfied that the matters are adequately addressed in the written Clause 4.6 variation request.

On that basis it is necessary that the following be satisfied.

- The consent authority must be satisfied the written request demonstrates the matters in Clause 4.6(3).
- The consent authority be satisfied the proposed development will be in the public interest because it is "consistent with" the objectives of the development standard and zone is not a requirement to "achieve" those objectives. It is a requirement that the development be compatible with the objectives, rather than having to 'achieve' the objectives.
- Establishing that 'compliance with the standard is unreasonable or unnecessary in the circumstances of the case' does not always require the applicant to show that the relevant objectives of the standard are achieved by the proposal (Wehbe "test" 1). Other methods are available as per the previous 5 tests applying to SEPP 1, set out in Wehbe v Pittwater.
- The proposal is required to be in 'the public interest'.

5.9- Zhang v Georges River Council [2020] NSWLEC 1625

Comment: Commissioner Gray C found that a flexible approach to the application the existing non-compliance was acceptable in the case, and the proposal met the zone objectives and did not result in any unreasonable adverse impacts on the amenity of neighbouring properties.

5.10 - Botany Bay City Council v Saab Corp [2011] NSWCA 308



Comment: Comparably to Four2Five the Court of Appeal said that a requirement may be unreasonable when ‘the severity of the burden placed on the applicant is disproportionate to the consequences attributable to the proposed development’. This is further expanded on in section 6 of this variation request.

6. Clause 4.6 Request for Variation

6.1 - What is the name of the Environmental Planning Instrument (EPI) that applies to the Land?

Comment: The Bankstown Local Environmental Plan (BLEP) 2015.

6.2 – What is the development standard being varied?

Comment: Clause 4.1A(2)(a) of the BLEP 2015 states;

“(2) Development consent must not be granted to development for the following purposes —

(a) a dual occupancy (attached) on a lot in Zone R2 Low Density Residential unless the lot has an area of at least 500 square metres and is at least **15 metres wide at the front building line.**”

The variation pertains to the FBL width of 15m. The subject allotment has a FBL with of 14.71m.

6.3 – What is the extent of the variation?

Comment: The extent of the variation is 290mm which equates to a 1.93% variation.

6.4 – What are the objectives of the development standard being varied?

Comment: The objectives of Clause 2.1A are

- (a) to ensure that lot sizes are sufficient to accommodate development that is consistent with the objectives and planning provisions for dual occupancies,
- (b) to minimise any likely adverse impact of development on the amenity of the area.

6.5 – Consistency with the objectives of the development standard

Comment: The proposed development is considered consistent with the objectives of Clause 2.1A for the following reasons;

- The subject allotment has a site area of 594.96m², which exceeds the minimum lot size requirement for Dual Occupancy development by 94.96m² or 18.9%. The extra site area has enabled a development that can accommodate a Dual Occupancy development that is in full compliance the remaining development standards under the BLEP 2015 and Bankstown Development Control Plan (BDGP) 2015, specifically Part B1 – Residential Development. Tables 1 and 2 below demonstrate how the proposal complies.


Table 1: Summary of the Development Standards Applicable under the BLEP 2015

| Development Provision | Requirement | Proposed |
|---|---|--|
| 4.1A(2)(a) Minimum lot sizes and special provisions for Dual Occupancies | A Dual Occupancy (attached) in an R2 zone must have a lot size of 500m ² | Complies Site area of 594.6m ² proposed |
| 4.1A(4)(a) Minimum lot sizes required for each created lot | Each created lot must be at least 250m ² | Complies Lot 21 = 298.2m ² Lot 21A = 296.76m ² |
| 4.3 Height of Buildings | Max Height 9m | Complies Maximum height = 8.224m |
| 4.3 (2B)(b) Wall height | Maximum wall height 7m | Complies Maximum wall height = 5.9m |
| 4.4 Floor Space Ratio | Max FSR 0.5:1 | Complies Lot 21 = 0.495:1 Lot 21A = 0.5:1 |

Table 2: Summary of the controls Applicable under the BLEP 2015, Part B1 Residential Development


| BDCP 2015 – Part B1 Residential Development | | |
|---|----------|----------|
| Section 4 – Dual occupancies | | |
| Control | Required | Complies |

| | | |
|-------------|---|--|
| Clause 4.1 | Minimum lot size of each created lot is 250m ² | Complies Lot 21 = 298.2m ² Lot 21A = 296.76m ² |
| Clause 4.4 | Storey limit for Dual Occupancies is 2 storeys | Complies Proposed development is a maximum of 2 storeys |
| Clause 4.6 | Any reconstituted ground level on the lot must not exceed a height of 600mm | Complies Subject proposal incorporates very limited fill across the site due the relatively flat nature of the site. |
| Clause 4.8 | Minimum setback for a building wall to the primary road frontage is 5.5m to the ground floor and 6.5m to the first floor | Complies A minimum setback of 7m to the building wall is proposed from the primary road frontage |
| Clause 4.10 | A minimum side boundary setback of 0.9m | Complies A setback of 0.9m is proposed from both side boundaries |
| Clause 4.14 | A minimum of 80m ² of POS per dwelling with a minimum dimension of 5m throughout | Complies Lot 21 = 95.8m ² with a minimum dimension of 7.355m Lot 21A = 94.36m ² with a minimum of 7.355m |
| Clause 4.15 | At least one living area of each dwelling must receive a minimum 3 hours of sunlight between 8:00am and 4:00pm at the mid-winter solstice | Complies Both Lot 21 and 21A provide a north facing front living area of over 20m ² that achieve solar access continuously well in excess of 3 hours between 8:00am and 4:00pm. Moreover both lots provide a living area at the rear of each dwelling that obtain between 2.5-3 hours of solar access between 8:00am and 4:00pm |

| | | |
|-------------|--|--|
| | | This is further expanded upon in this report |
| Clause 4.16 | At least one living area of a dwelling on an adjoining allotment must receive a minimum 3 hours of sunlight between 8:00am and 4:00pm at the mid-winter solstice | <p>Complies</p> <p>Given the north-south orientation of the allotment dwellings to the east and west of the subject allotment are provided with at least a minimum 3 hours to a living area located along the north elevation fronting Riga Avenue</p> |
| Clause 4.17 | A minimum 50% of the POS for each dwelling and the POS on an adjoining allotment must receive at least 3 hours of sunlight between 9:00am and 5:00pm at the equinox. | <p>Complies</p> <p>The POS of each dwelling receive in excess of 3 hours of sunlight at the equinox to an area in excess of 50%.</p> <p>Similarly given the north-south orientation of the subject allotment both adjoining dwellings to the east and west receive in excess of 3 hours to the POS of each dwelling.</p> |
| Clause 4.19 | <p>Where a development proposes a window that directly looks into the living area or bedroom window of an existing dwelling, the development must:</p> <ul style="list-style-type: none"> (a) Offset the windows between dwellings to minimise overlooking; or (b) Provide the window with a minimum sill height of 1.5m above floor level; or (c) Ensure the window cannot open and has obscure glazing to a minimum height of 1.5m above floor level; or (d) Use another form of screening | <p>Complies</p> <p>All first-floor side boundary windows have been designed with a minimum sill height of 1.5m to ensure privacy to adjoining properties is maintained.</p>  <p>All ground floor windows have incorporated privacy screening up to 1.5m from FGL or provided</p> |



| | | |
|------|---|--|
| | to the satisfaction of Council. | windows with sill heights of 1.5m to further alleviate privacy impacts on adjoining properties |
| 4.20 | <p>Where a development proposes a window that directly looks into the POS of an existing dwelling, the window does not require screening where:</p> <ul style="list-style-type: none"> (a) The window is to a bedroom, bathroom, toilet, laundry, storage room or other non-habitable room; or (b) The window has a minimum sill height of 1.5m above floor level; or (c) The window has translucent glazing to a minimum height of 1.5m above floor level; or (d) The window is designed to prevent overlooking of more than 50% of the POS of a low-level or adjoining dwelling | <p>Complies</p> <p>All first-floor windows along the front and rear elevations are limited to bedrooms or bathrooms consistent with the requirement in (a) some of which have also been designed with sill heights of 1.5m above floor level consistent with (b)</p> |
| 4.23 | Development for the purpose of dual occupancies must demolish all existing dwellings (not including any heritage items) on the allotment. | <p>Complies</p> <p>Approval is being sought for the demolition of all existing structures</p> |
| 4.24 | <p>The design of dual occupancies must ensure:</p> <ul style="list-style-type: none"> (a) The street façade of dual occupancies (attached) adopt an asymmetrical design to provide each dwelling with an individual identity when viewed from the street; or | <p>Complies</p> <p>In accordance with (a) the subject design has adopted an asymmetrical design that provides each dwelling with an individual identity.</p> |

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| | |  <p>With the utilisation of a variety of building materials, articulation, parapets and window designs the development has created an individual identity for both dwelling 21 and 21A.</p> <p>(b) The street façade of dual occupancies (attached) or dual occupancies (detached) incorporate architectural elements that are compatible with the asymmetrical appearance of neighbouring dwelling houses, particularly where a pattern is established by a group of adjoining dwelling houses; and</p> <p>(c) The front porch and one living area or bedroom window to each dwelling face the street; and</p> <p>(d) The garage, driveway and front fence do not dominate the front of the building and front yard; and</p> |
| | | <p>The street façade of the attached dual occupancy has incorporated building materials that are consistent along the existing streetscape including brick and cladding. The proposal has also incorporated a roof design and pitch that is consistent with dwellings along the street to ensure the proposal fits in with the existing and desired future character of the area.</p> <p>The front porch and a living area of each dwelling faces the street. Moreover first floor front facing master bedroom windows face the street. The proposal is therefore consistent with (c)</p> <p>The proposal has incorporated an innovative design method of a streamline garage door design for dwelling 21 so as to not give an outwardly appearance of a</p> |



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| | | <p>garage when viewed from the street. Moreover, the garages for both dwellings have been setback 1.5m behind the FBL which provides appropriate screening of the garages for both dwellings so as to not dominate the street façade. The dwellings are also setback 7m from the front boundary which is 1.5m above the required minimum setback to further reduce any identifiable impact of the façade on the streetscape. Overall, the garage is considered a minor element of the front façade and is consistent with the intent of (d).</p> <p>The proposal has also made a conscious effort to minimise the extent of driveway at the front of the site so as to not diminish the existing landscaped character and provide sufficient landscaped areas between the development and the front boundary to further improve the aesthetics of the development along the streetscape. The proposal has also incorporated a design that will enable the retention of an existing street tree to ensure the existing tree line along Riga Avenue is maintained.</p> |
| | (e) The 2 dwellings on a corner allotment each face a different frontage | N/A |
| 4.25 | Maximum roof pitch of 35 degrees | Maximum roof pitch of 22 degrees proposed |
| 4.30 | Development must locate the car parking spaces behind the FBL with at least one covered car parking space for | <p>Complies</p> <p>The proposal provides a single</p> |



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| | <p>weather protection. Despite this clause, Council may allow one car parking space per dwelling to locate forward of the building line provided:</p> <p>(a) The car parking space forward of the FBL is uncovered and located in a stacked arrangement on the driveway in front of the covered car parking space; and</p> <p>(b) The covered car parking space is setback a minimum 6m from the primary and secondary frontages.</p> | <p>car garage for each dwelling which is located 1.5m behind the FBL.</p> <p>A car parking space for each dwelling is also provided in a stacked arrangement on the driveway of each dwelling which is uncovered.</p> <p>The covered car space is setback 8.5m from the primary frontage.</p> |
| 4.33 | <p>Development must retain and protect any significant trees on the allotment and adjoining allotments. To achieve this clause, the development may require design alteration or a reduction in the size of the dual occupancy</p> | <p>Complies</p> <p>There are no significant trees on the allotment that are worthy of retention. However, the proposed design has enabled the retention of the existing street tree at the front of the site to maintain the existing tree canopy along Riga Avenue</p> |
| 4.34 | <p>Development must landscape the following areas on the allotment by way of trees shrubs with preference given to native vegetation endemic to the City of Bankstown:</p> <p>(a) A minimum 45% of the area between the dual occupancy and the primary road frontage; and</p> <p>(b) A minimum 45% of the area</p> | <p>Complies</p> <p>The development has provided 57.78% landscaped area for dwelling 21 and 57.78% landscaped area of dwelling 21A.</p> <p>N/A</p> |

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| | <p>between the dual occupancy and the secondary road frontage; and</p> <p>(c) Plant at least one 75 litre tree between the dual occupancy and the primary road frontage and;</p> <p>(d) For development in the foreshore protection area, plant native trees with a mature height greater than 12m adjacent to the waterbody.</p> | <p>This can be accommodated due to the amount of landscaped area provided.</p> <p>N/A</p> |
|--|---|---|

Note: Only relevant clauses applicable to dual occupancy (attached), have been included in the tables above the remaining clauses of the BLEP 2015 and BDCP 2015, Part B1, Section 4 have been excluded.

It is evident from the tables above that despite the subject site not having the 15m width at the FBL, it is still able to accommodate a dual occupancy design that is compliant and, in some cases, exceeding the requirements of the BLEP 2015 and the BDCP 2015. It is on this basis that the proposal is considered consistent with objective (a) of Clause 2.1A.

- Having regard to both objectives (a) and (b) of Clause 2.1A, it is considered important to make reference to the objectives for dual occupancies as contained within the BDCP 2015, Part B1, section 4 to demonstrate how the proposed development is consistent with the objectives for dual occupancies as stipulated in Clause 4.1A(1)(a), and how the design has incorporated design techniques to ensure the amenity of future residents, neighbouring properties and the locality is maintained as stipulated by Clause 4.1A(b).

The objectives of dual occupancies as listed in the BDCP 2015 are outlined (a) to (f) below along with an explanation as to how the proposal is consistent with the objectives.

(a) To ensure lot sizes provide adequate space for dwellings, setbacks to adjoining residential land, landscaped areas, open space, driveways, vehicle manoeuvring areas and the like.



Comment: As indicated in the tables 1 and 2 above the lot size of 594.96m², is sufficient area to provide a dual occupancy development that is compliant and, in some cases, exceeding the requirements of the BDCP 2015, including setbacks, landscaped areas, open space, driveways and vehicle manoeuvring.

(b) To ensure the building form, building design and landscaping of dual occupancies are compatible with the prevailing suburban character of the residential areas, particularly the single dwelling suburban character of the low-density residential areas.

Comment: It is considered that the building form and design is compatible with the suburban character. The proposal has a built form that is compliant with the FSR, lot size, height and wall height controls which demonstrates that it is a built form that is compatible with the bulk and scale of development that is envisaged within the R2 zone and that locality.

The proposal has also adopted generous front setbacks, generous landscaped areas between the FBL and the primary frontage and appropriate roof form and pitch that is compatible with the current surrounding residential development and is a design that is consistent with the desired future residential character of the area evidenced by some of the redeveloped sites along Riga Avenue.

The proposal has also incorporated innovative design techniques including streamline garages, a variety of building materiality including brick, render and cladding along with appropriate articulation that reduces the visual dominance of the development and presents outwardly as a detached dwelling when viewed from the street.

The proposal has made a conscious effort to alleviate the garage dominance along the street to further reduce the detrimental impact along the street scape.



Figure 3 – Streetscape appearance

(c) To ensure the building form and building design of dual occupancies provide appropriate amenity to residents in terms of private open space, access to sunlight and privacy.

The design of the dual occupancy has ensured it provides appropriate amenity to future residents and limits any detrimental amenity impacts on adjoining residents. Firstly, the subject development provides generous outdoor POS areas for both dwelling 21 and 21A. The POS areas for both dwelling well exceeds the 80m² requirement under the BDCP 2015. Dwelling 21 is proposed to have a POS area 95.8m² and Dwelling 21A provides a POS area of 94.36m², exceeding the requirement by 15.8m² and 14.36m² respectively.

It is also noteworthy to point out the POS provided for each dwelling in this development exceeds the POS requirement for standard detached dwellings within the R2 zone.

The proposal ensures the dwellings have more than adequate access to sunlight throughout the day to ensure amenity of future residents. Recent amendments to the architectural plans have provided for a north facing living area of 15.78m² excluding study nook and 22.07m² including study nook for each dwelling that receives sunlight continuously throughout the day as indicated in the figure below;

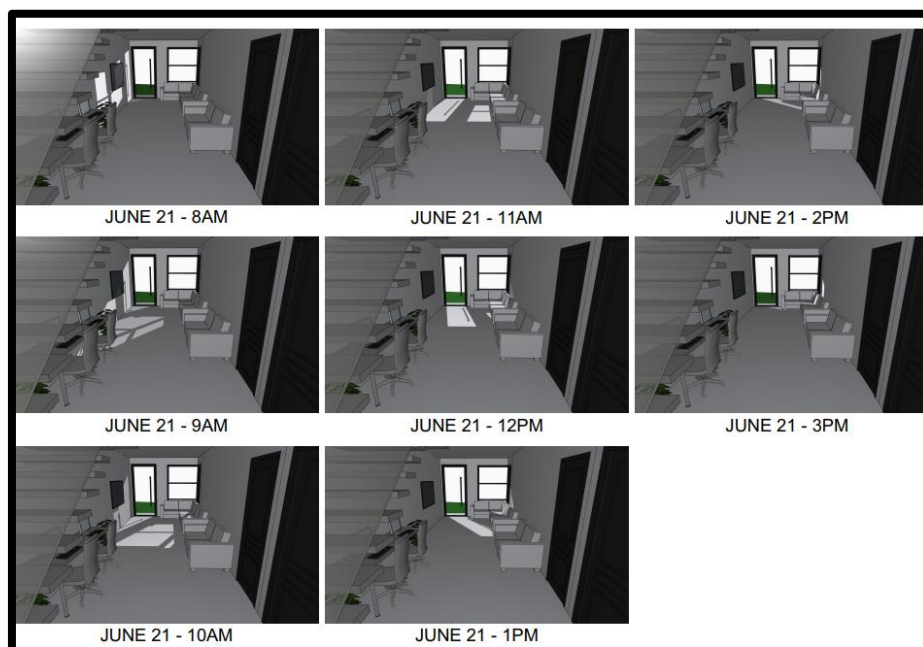


Figure 4 – Sunlight Access to front living areas

It is considered that these living areas are functional and useable and have an appropriate size to enable future residents to utilise effectively.



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Moreover, with recent amendments to the architectural plans and the incorporation of additional windows along the east and west side elevations of the rear living areas and an addition of a north facing window adjacent to the kitchen the rear living areas, both rear living areas receive between 2.5-3hours of solar access in either the morning or afternoon. This is in addition to the sunlight provided to the north facing front living areas of both dwellings. This is demonstrated in figures 5 and 6 below.

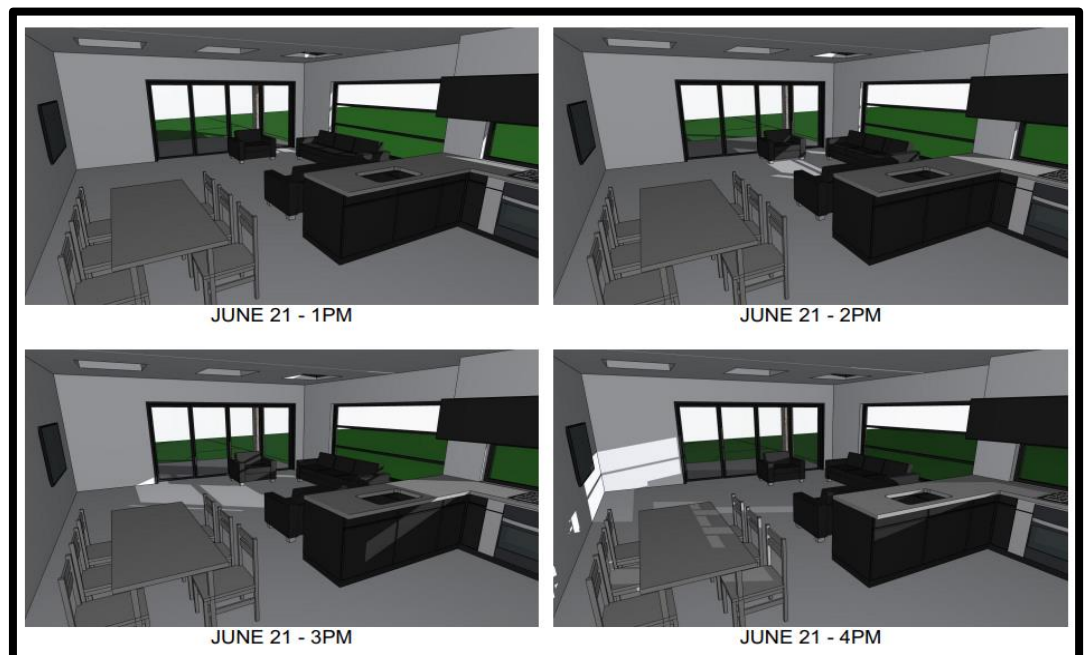


Figure 5 – Sunlight Access to rear living area dwelling 21

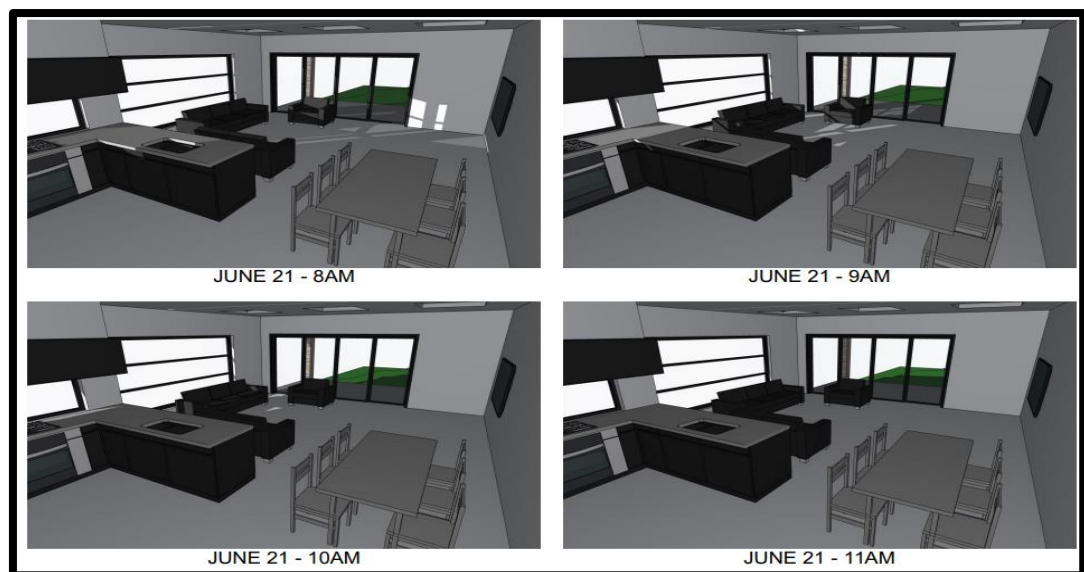


Figure 6 – Sunlight Access to rear living area dwelling 21A

Having regard to privacy the proposed design has incorporated high sill windows to habitable rooms along the first floor to alleviate privacy impacts on adjoining properties while maintaining privacy for any future residents of the development.

- (d) *To ensure the building form and building design of dual occupancies do not adversely impact on the amenity of neighbouring properties in terms of visual bulk, access to sunlight and privacy.*

Comment: The proposed design does not impact the amenity of the neighbouring properties. With regards to visual bulk, the development has been designed to comply with the applicable development standards such as FSR, Height, Wall Height and Lot size, which demonstrates the proposal is within the parameters of what is expected in terms of built form within the R2 residential area. The proposal has also ensured privacy impacts to adjoining properties is maintained by providing high sill windows along the side elevations to habitable rooms. It also proposes appropriate window screening and high sill windows along the side elevations of the ground floor.

Given the north-south orientation of the site, the neighbouring properties still achieve the required solar access to living areas and POS areas as indicated by the shadow diagram below.

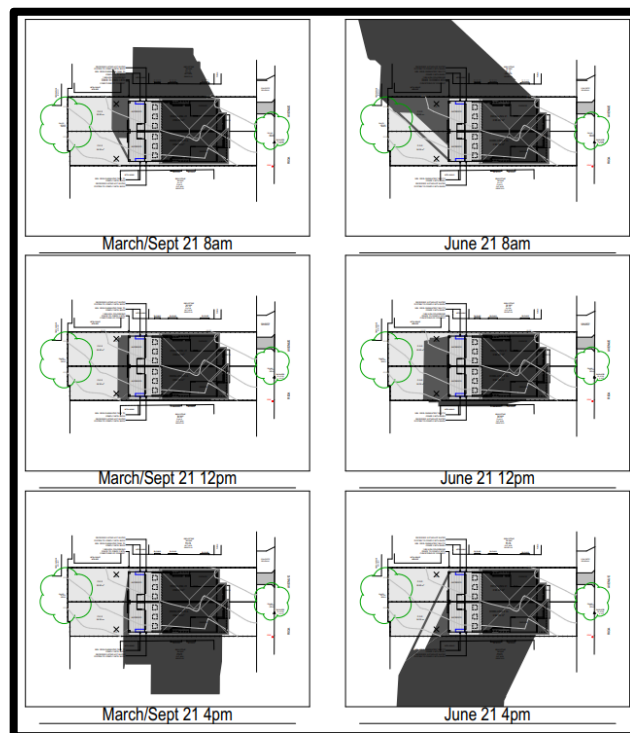


Figure 7 – Shadow Diagrams



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The proposed development has also provided increased front setbacks, more landscaped area between the FBL and the primary frontage to reduce visual impact on adjoining properties.

- (e) *To ensure the building form of dual occupancies in the foreshore protection area preserves the existing topography, land and rock formations, and the unique ecology of natural bushland and mangrove areas.*

Comment: The development is not in a foreshore area.

- (f) *To minimise the visual impact of off-street parking on the streetscape.*

Comment: As indicated previously the proposed development has made a conscious effort of reducing the visual bulk of off-street parking on the streetscape by providing a setback from the primary frontage in excess of the required minimum setback. The design has also incorporated appropriate articulation and building materiality to reduce the visual dominance of the garages along the streetscape.

The garages of both dwellings have been setback 1.5m behind the front building line to improve the visual prominence of the front façade while reducing the visual impact of the garages on the streetscape. The design has also incorporated streamlined garage design to dwelling 21 which results in the garage for dwelling 21 not having the outwardly appearance as a garage but instead a design element that is well integrated into the front façade.

Conclusion: Having regards to the objectives stated in Clause 2.1A(a) and (b) it is clear the proposal has put forth a design that is consistent with the objectives as it has demonstrated compliance with all remaining development standards in the BLP 2015 and BDCP 2015. The design has been well thought out and incorporates design techniques that ensure the amenity of future residents, neighbouring properties and the locality in general is not adversely effected.

The proposal is of a bulk and scale that is consistent with the current and intended future character of the area. It is on this basis the development is considered consistent with the relevant objectives despite the non-compliant FBL width and can be supported.



6.6 Consistency with the objectives of the zone

Comment: The objectives of the R2-Low Density Residential zone pursuant to the BEMP 2015 are as follows;

- *To provide for the housing needs of the community within a low-density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To allow for certain non-residential development that is compatible with residential uses and does not adversely affect the living environment or amenity of the area.*
- *To allow for the development of low-density housing that has regard to local amenity.*
- *To require landscape as a key characteristic in the low-density residential environment.*

The proposed development is consistent with the objectives of the R2 zoning in that it enables a development that will provide for the housing needs of the community within low-density residential environment.

As indicated previously the design has given due consideration to ensure that it does not present a development with a bulk and a scale that is inconsistent with the surrounding local street context and the R2 – Low Density environment. The proposal has incorporated design techniques to ensure any detrimental impacts on neighbouring properties is avoided. The design is compliant with the FSR, height, wall height and lot size which ensures a development that is a bulk and scale that is consistent with the desired future character of the R2 zone. The proposal has also incorporated generous setbacks from the front and rear that will reduce the visual impact on the streetscape and on adjoining properties. Given the north-south orientation of the allotment, all adjoining properties receive the required solar access to living areas and POS areas at the solstice and equinox.

The development has given careful consideration in the design to maintaining existing street trees and maintain the existing street tree streetscape along Riga Avenue. The proposal has also incorporated a generous landscaped area for each dwelling between the front boundary and the building to enable a significant amount of planting and improve the landscaped environment along Riga Avenue. The development has also provided POS areas in excess of the requirement to ensure future residents have an adequate outdoor area for recreation and entertaining in a low-density environment, whilst also providing sufficient landscaped areas within the rear setback for tree planting.

Based on the information above it is considered that the proposed design and development maintains consistency with the relevant objectives of the R2-Low Density Residential Zone and is considered worthy of support in this instance.



6.7 How is compliance with the development standard unreasonable or unnecessary in the circumstances of this particular case?

The NSW Land and Environment Court in *Four2Five Pty LTD v Ashfield Council* [2015] NSWLEC 90, considered how this question may be answered and referred to the earlier Court decision in *Wehbe v Pittwater Council* [2007] NSWLEC 827.

The court provided five tests as follows;

Comment: In applying the principles established in the NSW Land and Environment Court judgements outlined in Section 6, compliance with the height of building development standard is considered unreasonable or unnecessary as:

Returning to Clause 4.6(3)(a), in *Wehbe V Pittwater Council* (2007) NSW LEC 827 Preston CJ sets out ways of establishing that compliance with a development standard is unreasonable or unnecessary. It states, inter alia:

“An objection under State Environmental Planning Policy (SEPP) 1 may be well founded and be consistent with the aims set out in clause 3 of the Policy in a variety of ways. The most commonly invoked way is to establish that compliance with the development standard is unreasonable or unnecessary because the objectives of the development standard are achieved notwithstanding non-compliance with the standard.”

The judgement goes on to state that:

“The rationale is that development standards are not ends in themselves but means of achieving ends. The ends are environmental or planning objectives. Compliance with a development standard is fixed as the usual means by which the relevant environmental or planning objective is able to be achieved. However, if the proposed development proffers an alternative means of achieving the objective strict compliance with the standard would be unnecessary (it is achieved anyway) and unreasonable (no purpose would be served).”

However, in *Four2Five v Ashfield Council* [2015] NSWLEC 90 the Land and Environment Court said that whether something was ‘unreasonable or unnecessary’ is now addressed specifically in Clause 4.6(4)(a)(ii), with separate attention required to the question of whether compliance is unreasonable or unnecessary. Accordingly, while the objectives of the standard are achieved despite non-compliance with the standard, this request goes further. It seeks to demonstrate that requiring strict adherence to the standard would be ‘unreasonable or unnecessary’ for reasons that are additional to mere consistency with the development standard.

Preston CJ in the judgement then expressed the view that there are 5 different ways in which an objection may be well founded, and that approval of the objection may be consistent with the aims of the policy, as follows (with emphasis placed on number 1 for the purposes of this Clause 4.6 variation [our underline]):



1. *The objectives of the standard are achieved notwithstanding non-compliance with the standard;*
2. *The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary;*
3. *The underlying object of purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable;*
4. *The development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable;*
5. *The zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land and compliance with the standard that would be unreasonable or unnecessary. That is, the particular parcel of land should not have been included in the particular zone.*

Additionally, in a comparable context, in *Botany Bay City Council v Saab Corp* [2011] NSWCA 308 Court of Appeal said that a requirement may be unreasonable when 'the severity of the burden placed on the applicant is disproportionate to the consequences attributable to the proposed development'. In support of this point:

- The proposed FBL width non-compliance of 290mm or 1.93% will be visually imperceptible when viewed from the adjoining properties and the surrounding public domain.
- As demonstrated in section 6.5 of this report, the proposed development meets the objectives of Clause 2.1A of the BLEP 2015 and strict compliance with the control would undermine or thwart its objectives, or the zone's objectives (or both); and

Given that compliance with the zone and development standard objectives is achieved and that the building complies with the FSR, height limit, wall height, lot size, setbacks, POS, solar access, landscaped area etc. insistence on strict compliance with the FBL width control is considered to be unreasonable and unnecessary in the circumstances.

The proposal is compliant and consistent with the relevant objectives and will have no adverse environmental or amenity impacts. The proposal is therefore justified on environmental planning grounds. For the reasons above, the proposed FBL width variation is consistent with the requirements of Clause 4.6(3) of the BLEP 2015).

On this basis, the requirements of Clause 4.6(3) are satisfied.

The proposal will provide a residential development with superior amenity and streetscape presentation. This is achieved by well-planned and functional built form. This will provide significant high-quality amenity to the current and future occupants of the development with minimal impact on surrounding development. There would be no broader environmental planning benefit achieved in requiring compliance.



Accordingly, for the reasons stated above, it is considered that compliance with the development standard is unreasonable or unnecessary in the circumstances of this particular case.

6.8 Does the proposal provide sufficient environmental planning grounds to justify contravening the development standard?

The proposed variation does not result in any significant adverse environmental impacts. There are sufficient environmental planning grounds to support a variation of the development standard, as outlined below:

Having regard to Clause 4.6(3)(b) and the need to demonstrate that there are sufficient environmental planning grounds to justify contravening the development standard, as discussed above it is considered that there is an absence of significant impacts of the proposed non-compliance on the amenity of future building occupants, on area character and on neighbouring properties. The assessment of this numerical non-compliance is guided by the decision of the *NSW LEC Four2Five Pty Ltd v Ashfield Council [2015] NSWLEC 90* whereby Justice Pain ratified the decision of Commissioner Pearson.

On planning grounds and to satisfy that the proposal meets objective 1(b) of Clause 4.6 in that allowing flexibility in the particular circumstances of this development will achieve a better outcome for and from development, it is considered that the current proposal will facilitate greater amenity for future residents on a site that is highly suited for such purpose.

The development non-compliance is isolated to a minor element of 290mm or 1.93% of the FBL width. In having regard to the site attributes notwithstanding the non-compliance the proposal has been designed in a configuration that will not detract from the existing approved developments or future anticipated development on neighbouring properties.

There are sufficient environmental planning grounds to justify the variation of the FBL width control, particularly given that:

- The development has been designed to minimise impacts on neighbouring properties and likely future adjoining properties.
- Strict compliance with the FBL width standard would result in no material-built form benefits.
- Despite the non-compliance the development does not adversely contribute to overshadowing or loss of privacy; and
- The proposed design is considered to be a development form that is consistent with the existing and desired future character of the area.

For the reasons stated above, this would not result in an unreasonable development outcome and has proposed a design that is given due consideration to the amenity of the area, the



streetscape and the objectives of the development standard being varied and the applicable objectives of the R2 zone. The development as a whole is not considered objectionable and the lack of impact on adjoining properties, the streetscape and future desired character has demonstrated that there are sufficient environmental planning grounds to support the variation to the FBL width.

6.9 Will the proposed development be in the public interest?

The proposed variation to the FBL width control satisfies the objectives of the development standard and the relevant R2- Low Density zone objectives by providing a residential development that is consistent with the existing and future built form established. The proposal is also consistent with the objectives of the development standard to which the variation is sought. There are sufficient environmental planning grounds established in this case that demonstrates the variation to Clause 4.3(2B) (b) remains within the public interest.

7. Conclusion

For the above reasons the proposal is considered to adequately satisfy the objectives of the R2 Low Density Residential Zone and the corresponding objectives of Clause 4.1A under the BLEP 2015. The extent of the variation has been adequately justified and would result in a negligible planning impact. Furthermore, strict numerical compliance would not result in a better design outcome or material significant reduction of impacts. It is therefore considered that the proposed development has merit and that the variation to the FBL width standard is considered worthy of support in this instance and is within the public interest.

Kind Regards

George Nehme
Director
Pivotal Planning Pty Ltd

This letter is dated as above in 2022 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of the authors' opinion in this letter. The individual whom prepared this letter on the instructions, and for the benefit only, of the applicant for the purpose of planning advice any other purpose or use. To the extent permitted by applicable law, the authors expressly disclaim all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose). In preparing this letter, the individuals were required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment. All surveys, forecasts, projections and recommendations contained in or associated with this letter are made in good faith and on the basis of information supplied to the author at the date of this report, and upon which the author relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which the author has no control. In preparing this letter, the author may rely on or refer to documents in a language other than English, which the author may arrange to be translated. The author is not responsible for the accuracy or completeness of such translations and disclaims any liability for any statement or opinion made in this letter being inaccurate or incomplete arising from such translations. Whilst the author has made all reasonable inquiries it believes necessary in preparing this letter, it is not responsible for determining the completeness or accuracy of information provided to it. The author (including its members and personnel) is not liable for any errors or omissions, including in information provided by the Instructing Party or another person or upon which the author relies, provided that such errors or omissions are not made by the author recklessly or in bad faith. This letter has been prepared

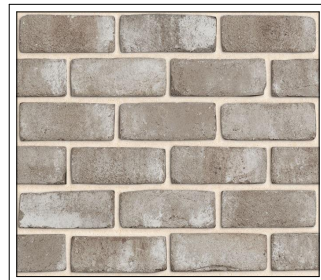
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with due care and diligence by the author and the statements and opinions given by the author in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above. This letter has been prepared by Pivotal Planning Pty. To the best of our knowledge, the information contained herein is neither false nor misleading and the contents are based on information and facts that were correct at the time of writing. Pivotal Planning Pty Ltd accepts no responsibility or liability for any errors, omissions or resultant consequences including any loss or damage arising from reliance in information in this publication.

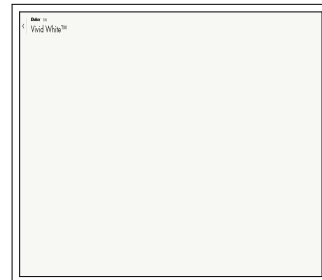
FRONT PERSPECTIVE



PGH BRICKS - HONESTLY
ARTISAN BESPATTERED



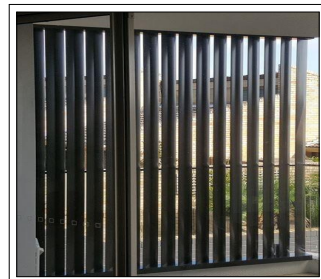
COLORBOND ROOF
- MONUMENT



DULUX VIVID
WHITE



WHITE CLADED SEAMLESS
GARAGE DOOR



ADJUSTABLE
ALUMINIUM LOUVRES



BLACK ALUMINIUM
FRONT DOOR



JAMES HARDIE
MATRIX CLADDING



BLACK GARAGE
DOOR

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LEGEND

| | |
|-------|----------------------|
| S | SINK |
| + | REDUCED LEVEL |
| S/O | STOVE/OVEN COOKTOP |
| (SA) | SMOKE ALARM |
| W | WASHING MACHINE |
| D | DRYER |
| F | FRIDGE |
| DW | DISHWASHER |
| (DP) | DOWNPIPE |
| T.O.R | TOP OF ROOF |
| T.O.P | TOP OF PARAPET |
| B.I.R | BUILD IN ROBE |
| W.I.R | WALK IN ROBE |
| → | WATER FLOW DIRECTION |
| X° | ROOF PITCH |
| (FW) | FLOOR WASTE |
| L/C | LINEN CUPBOARD |
| P.O.S | PRIVATE OPEN SPACE |
| LP | LIGHT POLE |

GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.

- CHECK ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCEMENT OF KITCHEN DRAWINGS OR FABRICATION. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO COMMENCEMENT OF WORK.

- ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, HNSW DESIGN STANDARDS, THE LOCAL COUNCIL AND AUSTRALIAN STANDARDS.

- ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATION AND SCHEDULES, CONSULTANTS DOCUMENTATION.

- DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONING PURPOSES. FIGURED DIMENSIONS SHALL PREVAIL.

- FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.

- TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

- PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

- WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

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| REVISION G | O.S | 15/03/22 |


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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

Drawing Title:
- Front Perspective - Schedule of Finishes

BDA ACCREDITATION NO:
6455

Scale: As Noted
Checked By: M.N

Project No:
J0186

Drawing No.:
01

Date: 15/03/2022

Building works specifications

Property address: 21 RIGA AVE. GREENACRE

Proposal: CONSTRUCTION OF A DUAL OCCUPANCY

The building works included in the subject application will comply with the relevant deemed to satisfy provision of the Building Code of Australia 2019 (volume 2- housing provisions) and relevant standards of construction.

Particular reference is made to the following BCA provisions and Australian standards, which will form part of the application and will be complied with:-

Demolition:

Demolition work is to be carried out in accordance with Australian Standard AS2601: The demolition of structures (AS 2601). If the work is not covered by or included in AS 2601, the work must be done in a manner acceptable to the Safework NSW.

Site Preparation:

- **Earthworks:** to be carried out in accordance with the requirements of the EP&A Act 1979, conditions of the development consent and relevant requirements of Part 3.1.1 of the NCC 2019 (volume 2).
- **Earth retaining structures:** constructed in accordance with AS 4678 and requirements of Part 3.1.2 of NCC 2019 (volume 2)
- **Drainage:** is to be is to be designed and constructed in accordance with one of the following: AS/NZS 3500.3. Section 5 of AS/NZS 3500.5. and relevant requirements of Part 3.1.3.0 of the NCC 2019 (volume 2)
- **Termite risk management:** will comply with Part 3.1.4.0 of NCC 2019 (volume 2)and AS3660.1 (2000)

Footings and slabs:

All construction of any footings and slabs to comply with the following:

- All parts of Part 3.2 of NCC 2019 (volume 2)
- AS2870 Residential Slabs & Footings
- AS 3600-2009 Concrete structures
- AS 2159-2009 Piling Design and installation
- Excavation to be carried out in accordance with part 3.2.2 of NCC 2019 (volume 2)

Masonry:

All masonry construction is to comply with the following:

- All requirements of Part 3.3 of NCC 2019 (volume 2)
- AS 3700-2011 Masonry structures
- AS 4773 Parts 1 and 2.

Framing

- Timber Framing (wall, roof and floor) to comply with BCA (vol 2) Part 3.4.3 and AS1684
- Subfloor ventilation to comply with Part 3.4.1 of the NCC 2019 (volume 2)
- All framing components to comply with Part 3.4 of NCC 2019 (volume 2) and relevant AS
- Steel framing is to comply with: Steel structures- AS 4100, Cold-formed steel structures- AS/NZS 4600 and Part 3.4.2 of the NCC 2019 (volume 2)
- Structural steel members to comply with Part 3.4.4 of the NCC 2019 (volume 2)

Roof and Wall Cladding

- **Sheet Roofing** to construction to comply with NCC 2019 (volume 2) part 3.5.1 and Metal roofing: AS 1562.1.
- **Roof tiles** installation and construction to comply withAS4597 AS 2050 and part 3.5.2 of NCC 2019 (volume 2)
 - Plastic sheet roofing: AS/NZS 4256 Parts 1, 2, 3 and 5; and AS/NZS 1562.3.
 - Corrugated fibre-reinforced cement sheet roofing: AS/NZS 1562.2.
 - Asphalt shingles: ASTM D3018-90.
 - Pliable membrane and underlay: AS/NZS 4200 Parts 1 and 2.
- **Gutters and downpipes installation** to comply with NCC 2019 (volume 2) 3.5.3 and
 - AS/NZS 3500 part 3 and 5
- **Timber and composite Wall cladding** to comply with Part 3.5.4 NCC 2019 (volume 2) and
 - AS 1562.1.
 - AS 4200.1
 - Autoclaved aerated concrete: AS 5146.1.

Glazing

All Glazing to comply with Part 3.6 of the NCC 2019 (volume 2), AS 1288 & AS 2074

Fire Safety

- **General concession - non-combustible materials:** to comply with all Part 3.7.1 of NCC 2019 (volume 2)
- **Fire separation of external walls :** construction to comply with requirements of Part 3.7.2 of NCC 2019 (volume 2)
- **Fire protection of separating walls and floors:** construction to comply with Part 3.7.3 of NCC 2019 (volume 2)
- **Fire separation of garage top dwellings** construction to comply with Part 3.7.4 of NCC 2019 (volume 2)
- **Smoke alarms and evacuation lighting:** to be installed in accordance with Part 3.7.5 of of NCC 2019 (volume 2) and AS 3786,

Health and Amenity:

- **WET AREAS AND EXTERNAL WATERPROOFING:** PART 3.8.1 of of NCC 2019 (volume 2) Building elements in wet areas within a building must-
 - be waterproof or water resistant in accordance with Table 3.8.1.1 of the BCA; and
 - Comply with AS 3740.
- **Room Heights:** to comply with part 3.8.2 of of NCC 2019 (volume 2)
- **Construction of sanitary compartments:** to be constructed in accordance with 3.8.3.3 of NCC 2019 (volume 2)
- **Light:** to comply with Parts 3.8.4 and 3.8.4.3 of NCC 2019 (volume 2)
- **Ventilation:** comply with Part 3.8.5 of NCC 2019 (volume 2)
- **Sound insulation :** to comply with Part 3.8.6 of NCC 2019 (volume 2)

Safe movement and access:

- **Stairway and ramp construction** to be constructed and comply with Part 3.9.1 of NCC 2019 (volume 2) and accordance with AS/NZS 1170.1
- **BARRIERS, BALASTRADES AND HANDRAILS:** to comply with all requirements Part 3.9.2 of NCC 2019 (volume 2)
- **Protection of openable window:** to be installed as required under part 3.9.2.5 of NCC 2019 (volume 2)

Energy efficiency:

- **Building Fabric:** Part 3.12.1 of the BCA (vol 2)
- **Building sealing:** Part 3.12.3 of the BCA (vol 2)
- **Services:** Part 3.12.5 of the BCA (vol 2)

MECHANICAL VENTILATION INSTALLED

DUCTED FAN INSTALLED

LIFT OFF HINGES TO BE INSTALLED ON BATH DOORS

PARTIAL OPENABLE WINDOWS FOR NATURAL VENTILATION REQUIREMENTS

DRIVEWAYS SHALL COMPLY WITH COUNCIL'S ACCESS DRIVEWAY SPECIFICATIONS AS 2890.1-2004

GROUND SURFACE LEVEL OF THE REQUIRED POS WILL NOT BE STEEPER THAN A 1:50 GRADIENT

LEGEND

S SINK
⬆️ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W/ WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
➡️ WATER FLOW DIRECTION
X° ROOF PITCH
(FW) FLOOR WASTE
L/C LINEN CUPBOARD
P.O.S PRIVATE OPEN SPACE
LP LIGHT POLE

GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.

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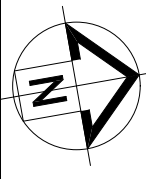
Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

Drawing Title:
- Notes/Requirements

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| BDAA ACCREDITATION NO: | Scale: As Noted |
| 6455 | Checked By: M.N |
| Project No: J0186 | Drawing No.: 02 |
| Date: | 15/03/2022 |



LEGEND

- S SINK
+ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
→ WATER FLOW DIRECTION
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L/C LINEN CUPBOARD
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BDA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

Drawing Title:
- Site Plan
Site Plan

| | |
|------------------------|-----------------|
| BDAA ACCREDITATION NO: | Scale: As Noted |
| 6455 | Checked By: M.N |

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|-------------|--------------|
| Project No: | Drawing No.: |
| J0186 | 03 |

Date: 15/03/2022

DWELLING AREAS

SITE DETAILS

LOT NUMBER: 32
DP NUMBER: 29957
SITE AREA (DP): 594.00m²
SITE AREA (CALC): 594.96m²

DWELLING 21

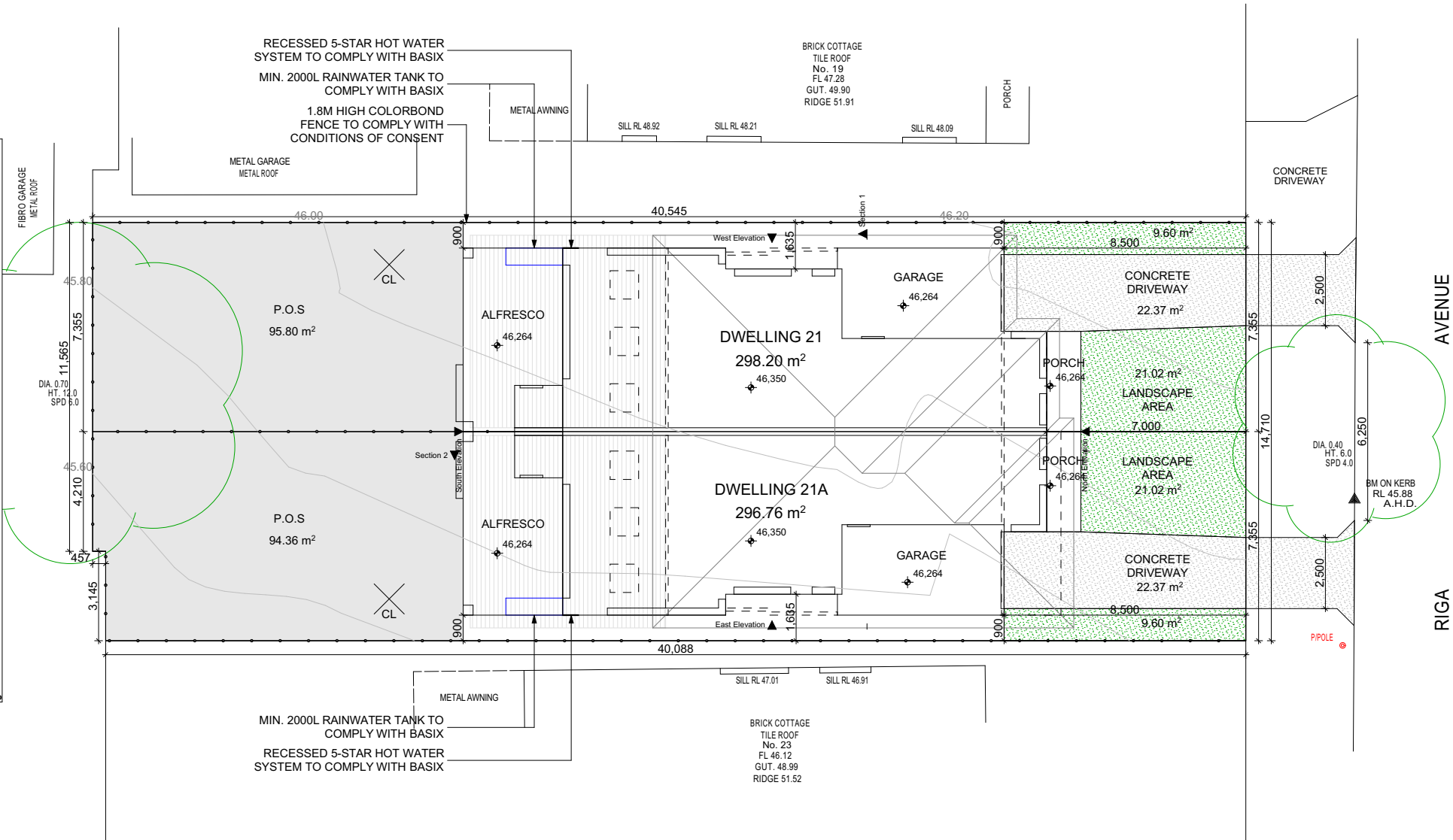
TOTAL SUBDIVIDED AREA: 298.20m²
GROUND FLOOR LIVING: 82.37m²
FIRST FLOOR LIVING: 65.83m²
STAIRCASE VOID: 7.51m²
GARAGE: 16.50m²
PORCH: 4.23m²
ALFRESCO: 19.85m²
BALCONY: 4.71m²
PRIVATE OPEN SPACE: 95.80m²
DRIVEWAY: 22.37m²
TOTAL ROOF AREA: 141.09m²

DWELLING 21A

TOTAL SUBDIVIDED AREA: 296.76m²
GROUND FLOOR LIVING: 82.37m²
FIRST FLOOR LIVING: 65.83m²
STAIRCASE VOID: 7.51m²
GARAGE: 16.50m²
PORCH: 4.23m²
ALFRESCO: 19.85m²
BALCONY: 11.11m²
PRIVATE OPEN SPACE: 94.36m²
DRIVEWAY: 22.37m²
TOTAL ROOF AREA: 148.70m²

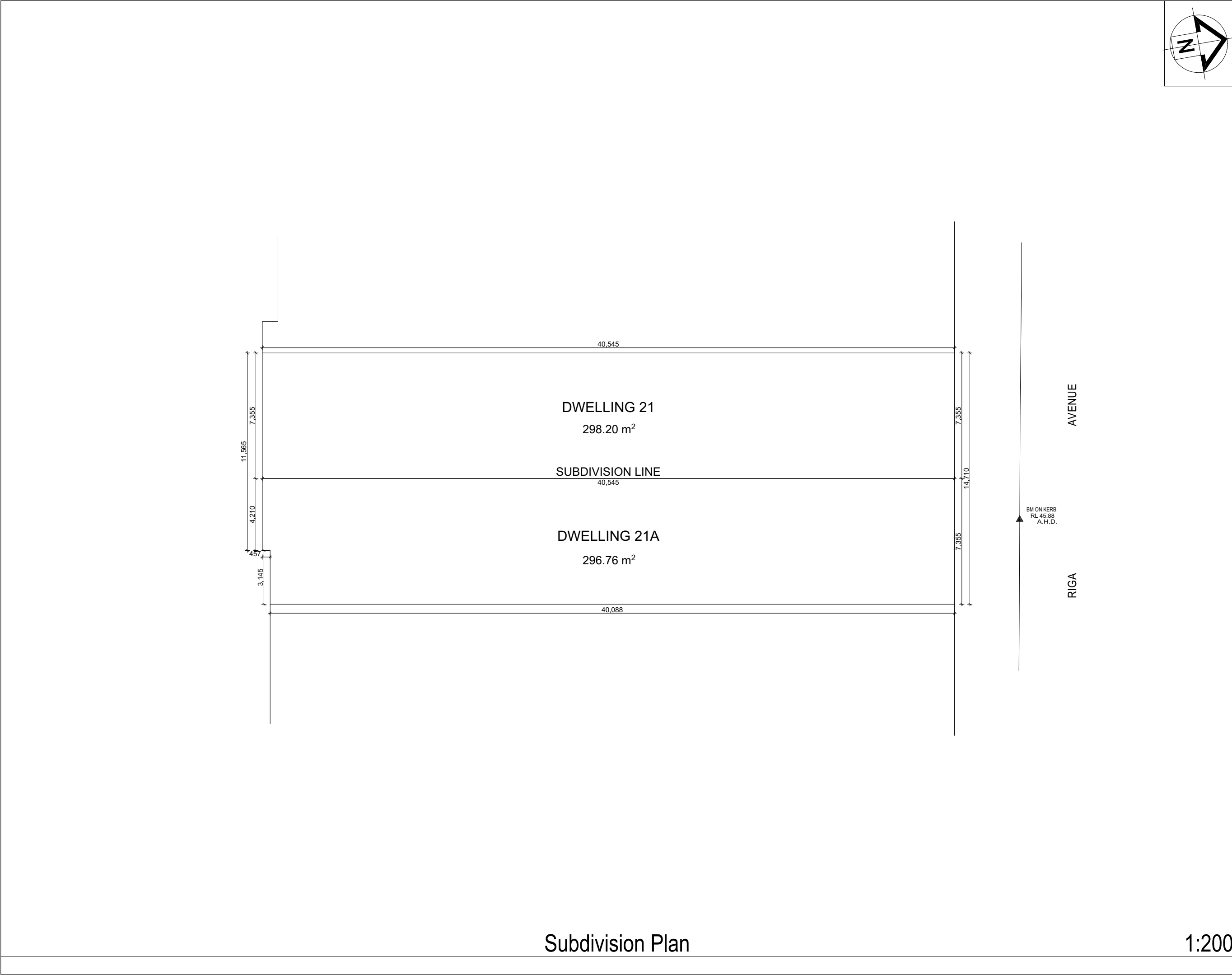
LANDSCAPE RATIO:

REQUIRED (min.): 45% Between dual occupancy and the primary frontage.
Proposed for DWELLING 21: 30.62m² 57.78%
Proposed for DWELLING 21A: 30.62m² 57.78%



Site Plan

1:200



LEGEND

S SINK
+ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
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L/C LINEN CUPBOARD
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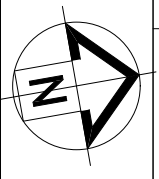
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MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

Drawing Title:
- Subdivision Plan
Subdivision Plan

| | |
|---------------------------------------|------------------------------------|
| BDAA ACCREDITATION NO: 6455 | Scale: As Noted Checked By: M.N |
| Project No: J0186 | Drawing No.: 04 |
| Date: | 15/03/2022 |



LEGEND

- S SINK
- + REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- Water flow direction
- X° ROOF PITCH
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Project Name
DUAL OCCUPANCY

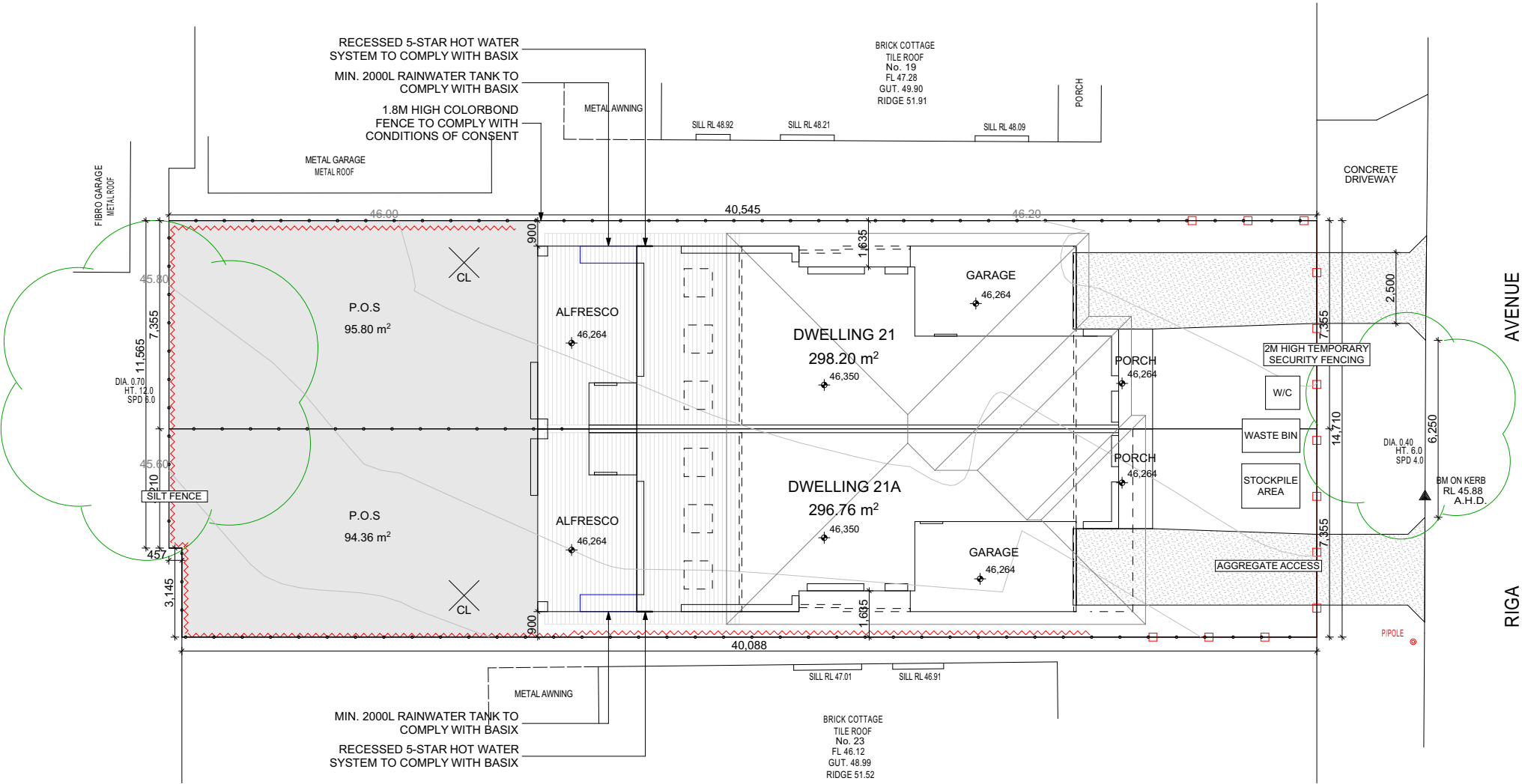
At
21 RIGA AVE, GREENACRE

Drawing Title:
- Sediment Control Plan
Sediment Control Plan

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| BDAA ACCREDITATION NO: | Scale: As Noted |
| 6455 | Checked By: M.N |

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| Project No: | Drawing No.: |
| J0186 | 05 |

Date: 15/03/2022



STANDARD LINE TYPES AND SYMBOLS:

| | |
|--|--------------------------------|
| | PROPOSED KERB & GUTTER |
| | EXISTING KERB & GUTTER |
| | PROPOSED BELOW GROUND PIPELINE |
| | PROPOSED SUSPENDED PIPELINE |
| | EXISTING PIPELINE |
| | SUBSOIL DRAINAGE LINE |
| | PROPOSED KERB INLET PIT |
| | EXISTING KERB INLET PIT |
| | PROPOSED JUNCTION OR INLET PIT |
| | EXISTING JUNCTION OR INLET PIT |
| | DESIGN CENTRELINE |
| | EXISTING EDGE OF BITUMEN |
| | TELECOMMUNICATION CONDUIT |
| | GAS MAIN |
| | WATER MAIN |
| | SEWER MAIN |
| | UNDERGROUND ELECTRICITY CABLES |
| | PERMANENT MARK & S.S.M. |
| | BENCHMARK, SURVEY STATION |

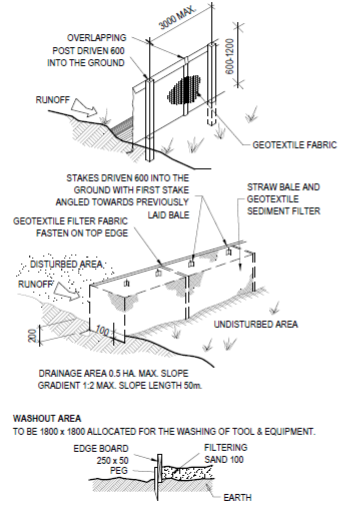
SEDIMENT AND EROSION CONTROL NOTES

- SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE SUPERINTENDENT'S SATISFACTION.
- A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED AT THE FRONT OF THE PROPERTY CONSISTING OF 50-75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAID OVER NEEDLE-PUNCHED GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.
- THE CONTRACTOR SHALL ENSURE THAT NO SPOIL OR FILL ENROACHES UPON ADJACENT AREAS FOR THE DURATION OF WORKS.
- THE CONTRACTOR SHALL ENSURE THAT KERB INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE.
- SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STAR PICKETS ARE USED PLASTIC SAFETY CAPS SHALL BE USED) AT 2000 INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL.
- ALL TOPSOIL STRIPPED FROM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND WILL BE SUITABLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING.
- SOIL CONSERVATION NOTE:**
PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE', 'SEDIMENT TRAP' AND 'WASHOUT' AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.
- MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP' AFTER EACH STORM.

SEDIMENT TRAP
1000 x 1000 WIDE 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.

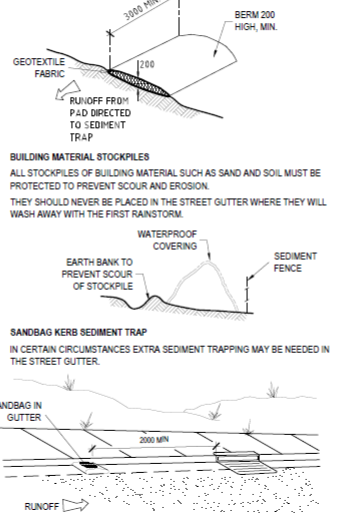
SEDIMENT FENCE

PROVIDE 'SEDIMENT FENCE' ON DOWN SLOPE BOUNDARY AS SHOWN ON PLAN. FABRIC TO BE BURIED BELOW GROUND AT LOWER EDGE.



VEHICLE ACCESS TO SITE

VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



GENERAL NOTES

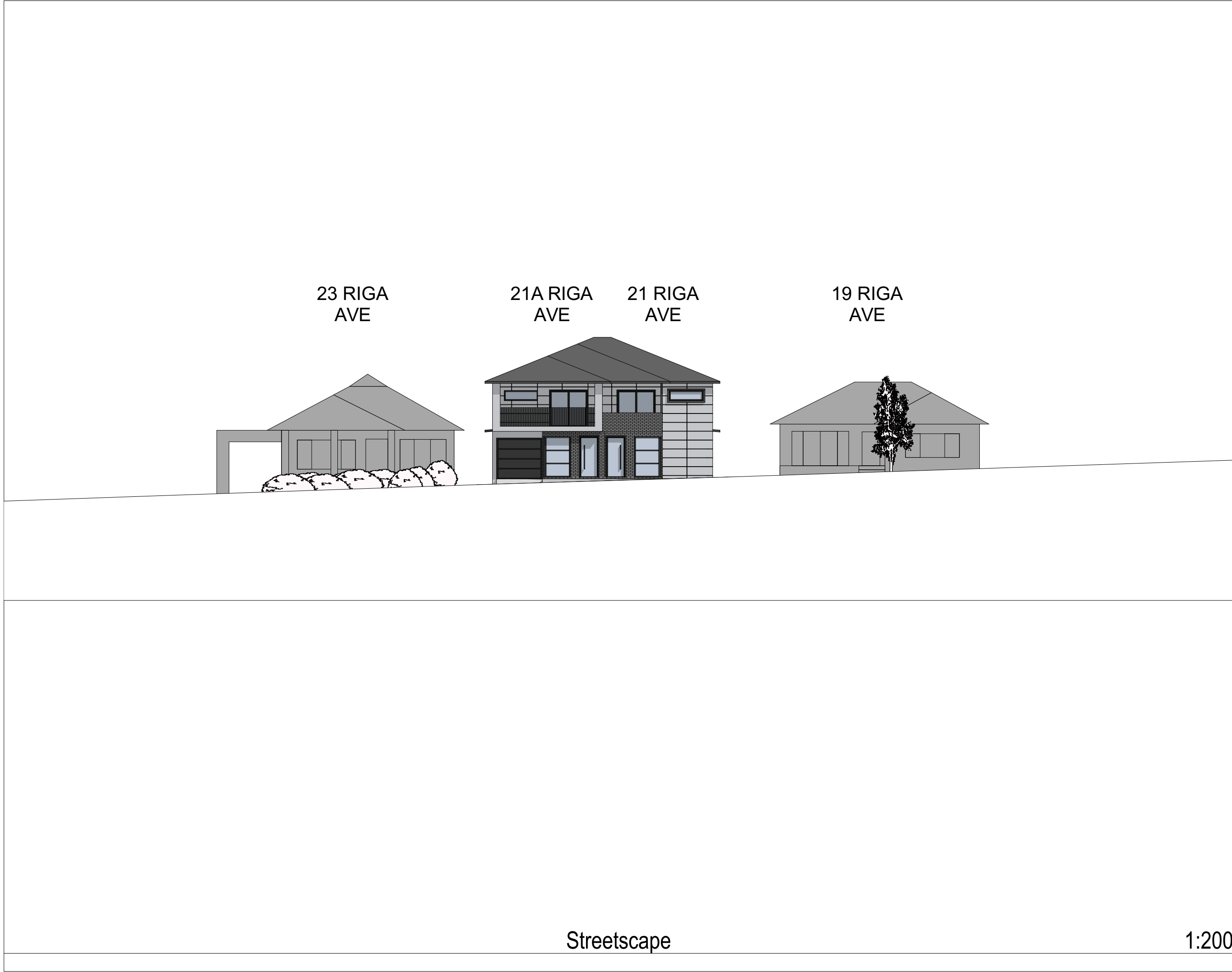
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE IN MILLIMETRES & ALL LEVELS ARE IN METRES, UNO (UNLESS NOTED OTHERWISE).
- NO DIMENSION SHALL BE OBTAINED BY SCALING THE DRAWINGS.
- ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK.
- DURING EXCAVATION WORK THE STRUCTURE SHALL BE MAINTAINED IN A STABLE AND NO PART SHALL BE OVERSTRESSED.
- ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE SPECIFICATION.
- EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK.
- ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACK FILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL.
- ALL TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS, UNLESS DIRECTED OTHERWISE.
- CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS UNLESS DIRECTED OTHERWISE.

STORMWATER DRAINAGE

- THE STORMWATER DRAINAGE DESIGN HAS BEEN CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500.3 - 1990 'STORMWATER DRAINAGE' & AS/NZS 3500.3.2-1998 'STORMWATER DRAINAGE - ACCEPTABLE SOLUTIONS'.
- ANY VARIATIONS TO THE NOMINATED LEVELS SHALL BE REFERRED TO ENGINEER IMMEDIATELY.
- ANY VARIATIONS TO SPECIFIED PRODUCTS OR DETAILS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.
- DOWN PIPES SHALL BE A MINIMUM OF DN100 SW GRADE UPVC OR 100X100 COLORBOND/ZINCALUME STEEL, UNO.
- BOX COLORBOND OR ZINCALUME STEEL. GUTTERS SHALL BE A MINIMUM OF 450 WIDE X 150 DEEP.
- EAVES GUTTERS SHALL BE A MINIMUM OF 125 WIDE X 100 DEEP (OR OF EQUIVALENT AREA) COLORBOND OR ZINCALUME STEEL.
- SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.

Sediment Control Plan

1:200



LEGEND

S SINK
⬆️ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
➡️ WATER FLOW DIRECTION
X° ROOF PITCH
(FW) FLOOR WASTE
L/C LINEN CUPBOARD
P.O.S PRIVATE OPEN SPACE
LP LIGHT POLE

GENERAL NOTES

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- CHECK ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCEMENT OF KITCHEN DRAWINGS OR FABRICATION. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO COMMENCEMENT OF WORK.

- ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, HNSW DESIGN STANDARDS, THE LOCAL COUNCIL AND AUSTRALIAN STANDARDS.

- ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATION AND SCHEDULES, CONSULTANTS DOCUMENTATION.

- DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONING PURPOSES. FIGURED DIMENSIONS SHALL PREVAIL.

- FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.

- TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

- PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

- WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.


- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786. ALARMS TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE 300mm FROM ANY WALL.

- ALL GROUND LINES ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE


- ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER

- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

| REVISION | NAME | DATE |
|------------|------|----------|
| REVISION A | M.N | 13/10/20 |
| REVISION B | O.S | 16/09/21 |
| REVISION C | M.N | 28/09/21 |
| REVISION D | M.N | 09/12/21 |
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| REVISION F | M.N | 15/02/22 |
| REVISION G | O.S | 15/03/22 |
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CAMPBELL HILL
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Email: campbellhillgroup@hotmail.com



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

Drawing Title:
- Streetscape
Streetscape

BDAA ACCREDITATION NO:
6455

Scale: As Noted
Checked By: M.N

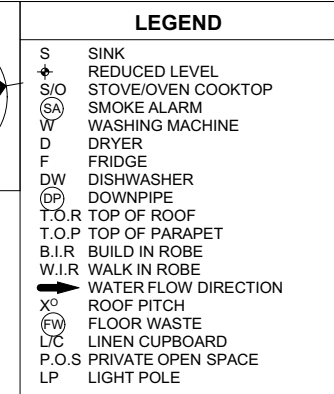
Project No:
J0186

Drawing No.:
06

Date:
15/03/2022

Streetscape

1:200



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DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONING
PURPOSES. FIGURED DIMENSIONS SHALL PREVAIL.

FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND
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PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

WET AREAS TO BE IN ACCORDANCE WITH AS3740
WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL
BUILDINGS.

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CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

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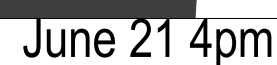
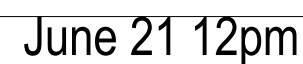
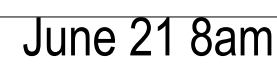
At
21 RIGA AVE. GREENACRE

Drawing Title:
- Sun Study
 March/Sept 21 12pm, March/Sept 21 4pm, March/Sept 21 8am, June 21 12pm
 June 21 4pm, June 21 8am

| | |
|------------------------|-----------------|
| BDAA ACCREDITATION NO: | Scale: As Noted |
| 6455 | Checked By: M.N |

| | |
|--------------|--------------|
| Project No: | Drawing No.: |
| J0186 | 07 |

Date: 15/03/2022



DETAILED SUN STUDY

DETAILED SUN STUDY SHOWING MIN. 3 HOUR COMPLIANCE IN FRONT LIVING ROOM
(7 HOURS COMPLIANT)



JUNE 21 - 8AM



JUNE 21 - 11AM



JUNE 21 - 2PM



JUNE 21 - 9AM



JUNE 21 - 12PM



JUNE 21 - 3PM



JUNE 21 - 10AM



JUNE 21 - 1PM

LEGEND

S

SINK

+

REDUCED LEVEL

S/O

STOVE/OVEN COOKTOP

(SA)

SMOKE ALARM

W

WASHING MACHINE

D

DRYER

F

FRIDGE

DW

DISHWASHER

(DP)

DOWNPIPE

T.O.R

TOP OF ROOF

T.O.P

TOP OF PARAPET

B.I.R

BUILD IN ROBE

W.I.R

WALK IN ROBE

→

WATER FLOW DIRECTION

X°

ROOF PITCH

(FW)

FLOOR WASTE

L/C

LINEN CUPBOARD

P.O.S

PRIVATE OPEN SPACE

LP

LIGHT POLE

GENERAL NOTES

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- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

| REVISION | NAME | DATE |
|------------|------|----------|
| REVISION A | M.N | 13/10/20 |
| REVISION B | O.S | 16/09/21 |
| REVISION C | M.N | 28/09/21 |
| REVISION D | M.N | 09/12/21 |
| REVISION E | A.H | 21/12/21 |
| REVISION F | M.N | 15/02/22 |
| REVISION G | O.S | 15/03/22 |
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CAMPBELL HILL

GROUP PTY LTD.

Contact: 0433 375 386

Email: campbellhillgroup@hotmail.com



BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA

Client

MOUNIR

Project Name

DUAL OCCUPANCY

At

21 RIGA AVE, GREENACRE

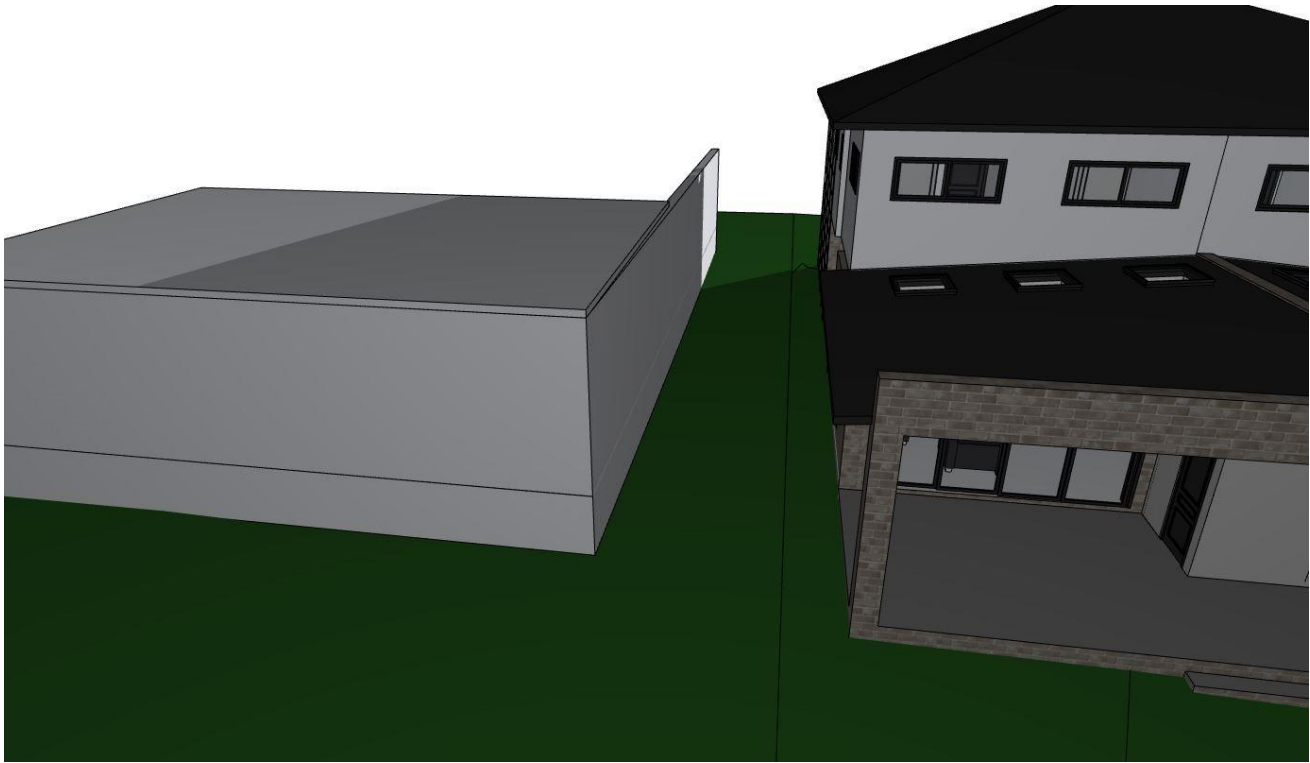
Drawing Title:

- Detailed Sun Study - Front Living Room

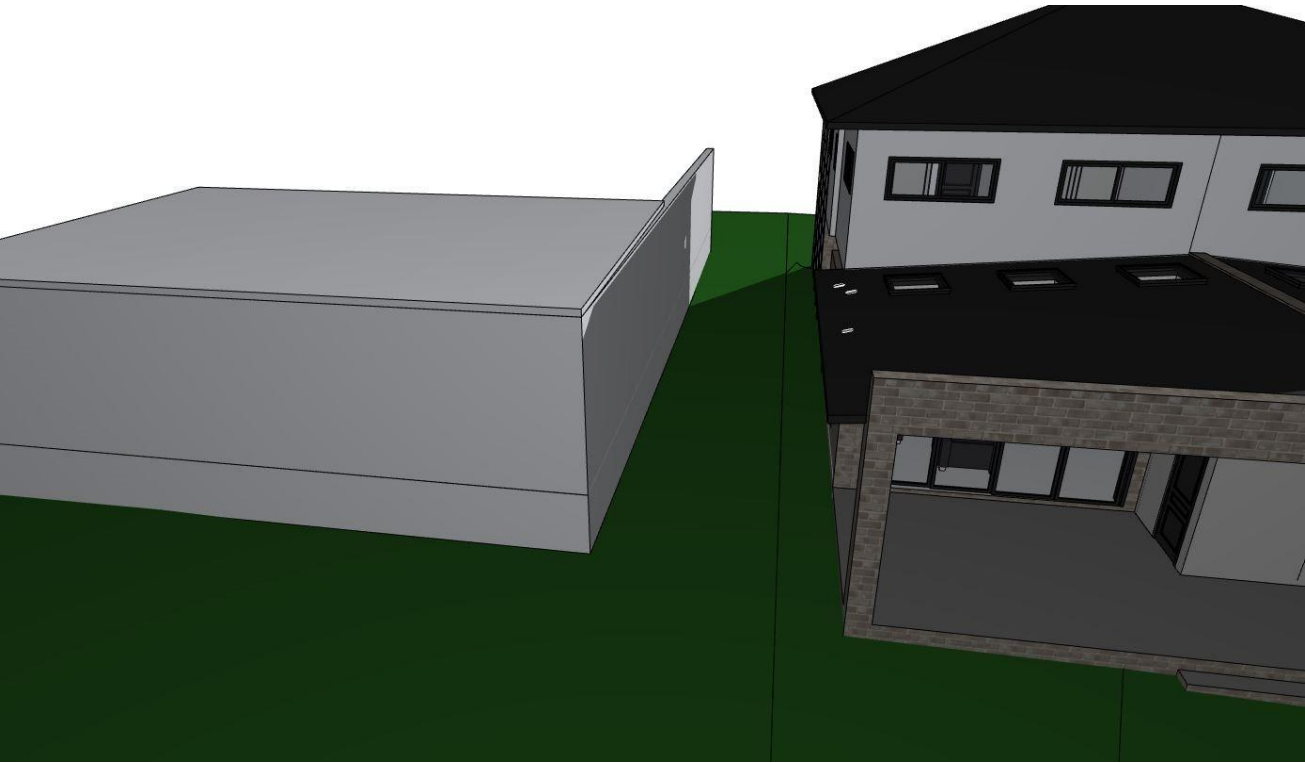
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| BDAA ACCREDITATION NO: | Scale: As Noted |
| 6455 | Checked By: M.N |
| Project No: | Drawing No.: |
| J0186 | 08 |
| Date: | 15/03/2022 |

DETAILED SUN STUDY

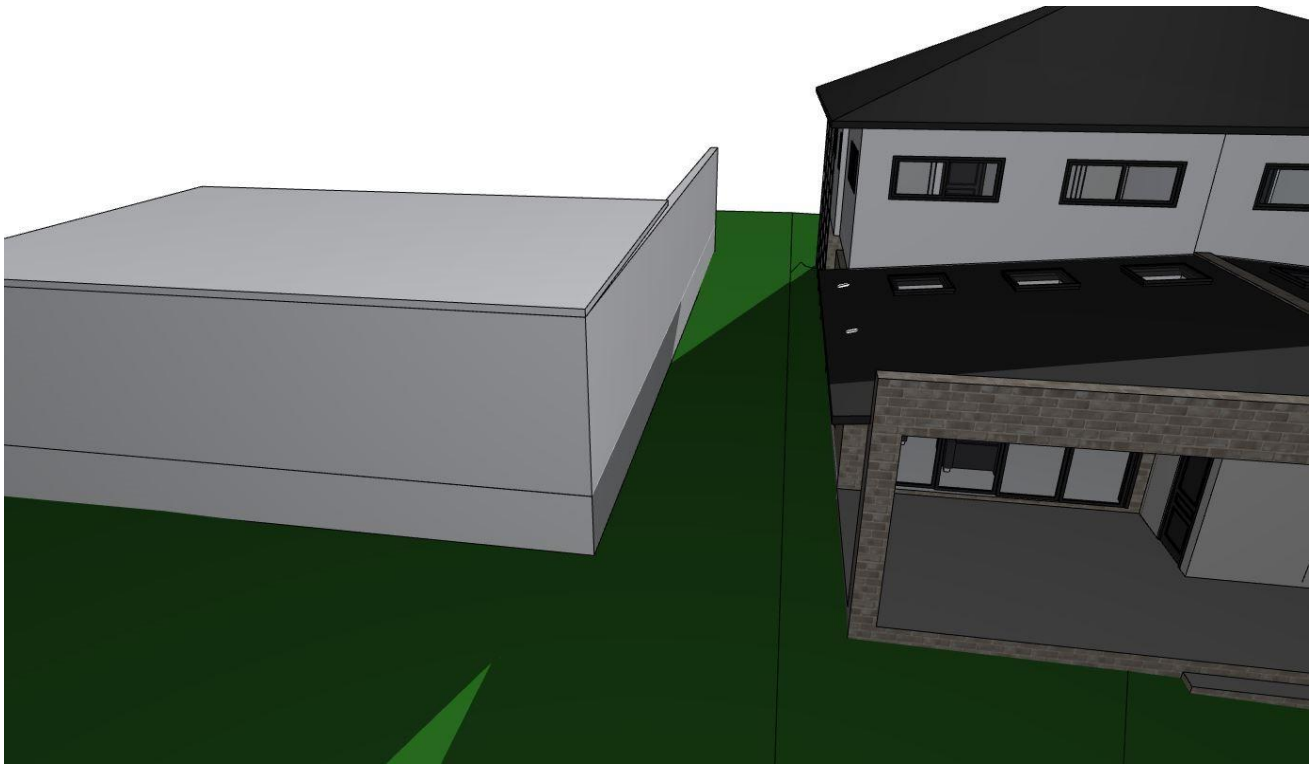
DETAILED SUN STUDY SHOWING MIN. 3 HOUR
COMPLIANCE TO NEIGHBOURING SOLAR PANELS



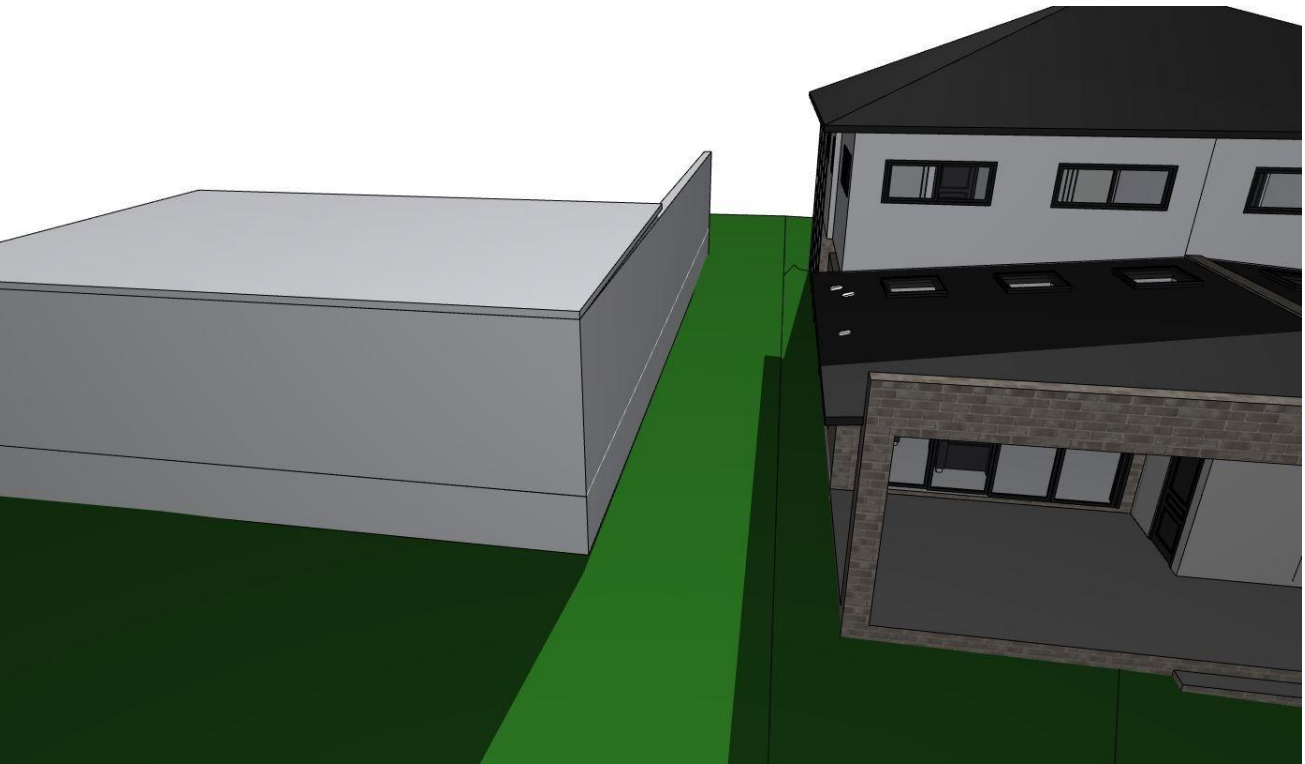
JUNE 21 - 8AM



JUNE 21 - 9AM



JUNE 21 - 10AM



JUNE 21 - 11AM

LEGEND

| | |
|-------|----------------------|
| S | SINK |
| + | REDUCED LEVEL |
| S/O | STOVE/OVEN COOKTOP |
| (SA) | SMOKE ALARM |
| W | WASHING MACHINE |
| D | DRYER |
| F | FRIDGE |
| DW | DISHWASHER |
| (DP) | DOWNPIPE |
| T.O.R | TOP OF ROOF |
| T.O.P | TOP OF PARAPET |
| B.I.R | BUILD IN ROBE |
| W.I.R | WALK IN ROBE |
| → | WATER FLOW DIRECTION |
| X° | ROOF PITCH |
| (FW) | FLOOR WASTE |
| L/C | LINEN CUPBOARD |
| P.O.S | PRIVATE OPEN SPACE |
| LP | LIGHT POLE |

GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.
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- TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.
- PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).
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- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786. ALARMS TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE 300mm FROM ANY WALL.
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| REVISION | NAME | DATE |
|------------|------|----------|
| REVISION A | M.N | 13/10/20 |
| REVISION B | O.S | 16/09/21 |
| REVISION C | M.N | 28/09/21 |
| REVISION D | M.N | 09/12/21 |
| REVISION E | A.H | 21/12/21 |
| REVISION F | M.N | 15/02/22 |
| REVISION G | O.S | 15/03/22 |
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CAMPBELL HILL
GROUP PTY LTD.
Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com


BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

| | |
|--|--------------------|
| Drawing Title: - Detailed Sun Study - Neighbour Solar Panel | |
| BDAA ACCREDITATION NO: 6455 | Scale: As Noted |
| Project No: J0186 | Checked By: M.N |
| Date: | Drawing No.: 09 |
| 15/03/2022 | |

DETAILED SUN STUDY

DWELLING 21

DETAILED SUN STUDY SHOWING MIN. 3 HOUR
COMPLIANCE IN REAR LIVING ROOM



JUNE 21 - 1PM



JUNE 21 - 2PM



JUNE 21 - 3PM



JUNE 21 - 4PM

LEGEND

- S SINK
- ⬆️ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- ➡️ WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

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CAMPBELL HILL
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BDAA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

| | |
|--|------------------------------------|
| Drawing Title: - Detailed Sun Study - Dwelling 21 | |
| BDAA ACCREDITATION NO: 6455 | Scale: As Noted Checked By: M.N |
| Project No: J0186 | Drawing No.: 10 |
| Date: | 15/03/2022 |

DETAILED SUN STUDY

DWELLING 21A

DETAILED SUN STUDY SHOWING MIN. 3 HOUR
COMPLIANCE IN REAR LIVING ROOM



JUNE 21 - 8AM



JUNE 21 - 9AM



JUNE 21 - 10AM



JUNE 21 - 11AM

LEGEND

| | |
|-------|----------------------|
| S | SINK |
| + | REDUCED LEVEL |
| S/O | STOVE/OVEN COOKTOP |
| (SA) | SMOKE ALARM |
| W | WASHING MACHINE |
| D | DRYER |
| F | FRIDGE |
| DW | DISHWASHER |
| (DP) | DOWNPIPE |
| T.O.R | TOP OF ROOF |
| T.O.P | TOP OF PARAPET |
| B.I.R | BUILD IN ROBE |
| W.I.R | WALK IN ROBE |
| → | WATER FLOW DIRECTION |
| X° | ROOF PITCH |
| (FW) | FLOOR WASTE |
| L/C | LINEN CUPBOARD |
| P.O.S | PRIVATE OPEN SPACE |
| LP | LIGHT POLE |

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- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

| REVISION | NAME | DATE |
|------------|------|----------|
| REVISION A | M.N | 13/10/20 |
| REVISION B | O.S | 16/09/21 |
| REVISION C | M.N | 28/09/21 |
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| REVISION G | O.S | 15/03/22 |


CAMPBELL HILL
GROUP PTY LTD.
Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com


BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

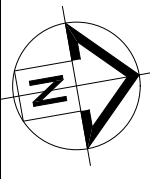
At
21 RIGA AVE, GREENACRE

Drawing Title:
- Detailed Sun Study - Dwelling 21A

| | |
|------------------------|-----------------|
| BDAA ACCREDITATION NO: | Scale: As Noted |
| 6455 | Checked By: M.N |

| | |
|--------------|--------------|
| Project No: | Drawing No.: |
| J0186 | 11 |

Date: 15/03/2022



LEGEND

- S SINK
- + REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- Water flow direction
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.
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| REVISION G | O.S | 15/03/22 |

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

Drawing Title:
- Site Analysis
Site Analysis Plan

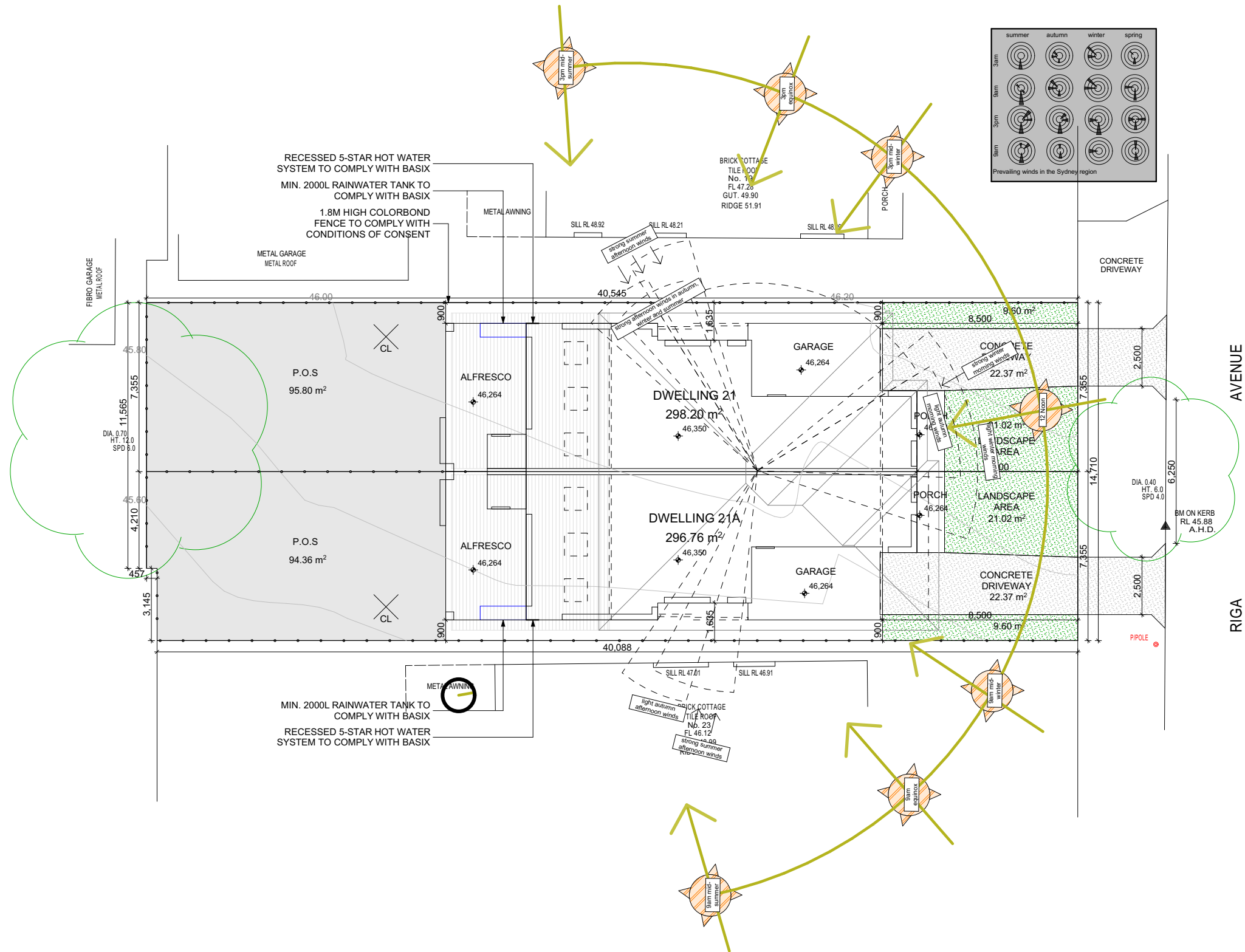
BDAA ACCREDITATION NO:
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Scale: As Noted
Checked By: M.N

Project No:
J0186

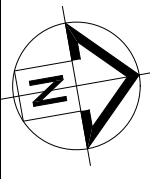
Drawing No.:
12

Date: 15/03/2022



Site Analysis Plan

1:200



LEGEND

| | |
|-------|----------------------|
| S | SINK |
| + | REDUCED LEVEL |
| S/O | STOVE/OVEN COOKTOP |
| (SA) | SMOKE ALARM |
| W | WASHING MACHINE |
| D | DRYER |
| F | FRIDGE |
| DW | DISHWASHER |
| (DP) | DOWNPIPE |
| T.O.R | TOP OF ROOF |
| T.O.P | TOP OF PARAPET |
| B.I.R | BUILD IN ROBE |
| W.I.R | WALK IN ROBE |
| → | WATER FLOW DIRECTION |
| X° | ROOF PITCH |
| (FW) | FLOOR WASTE |
| L/C | LINEN CUPBOARD |
| P.O.S | PRIVATE OPEN SPACE |
| LP | LIGHT POLE |

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

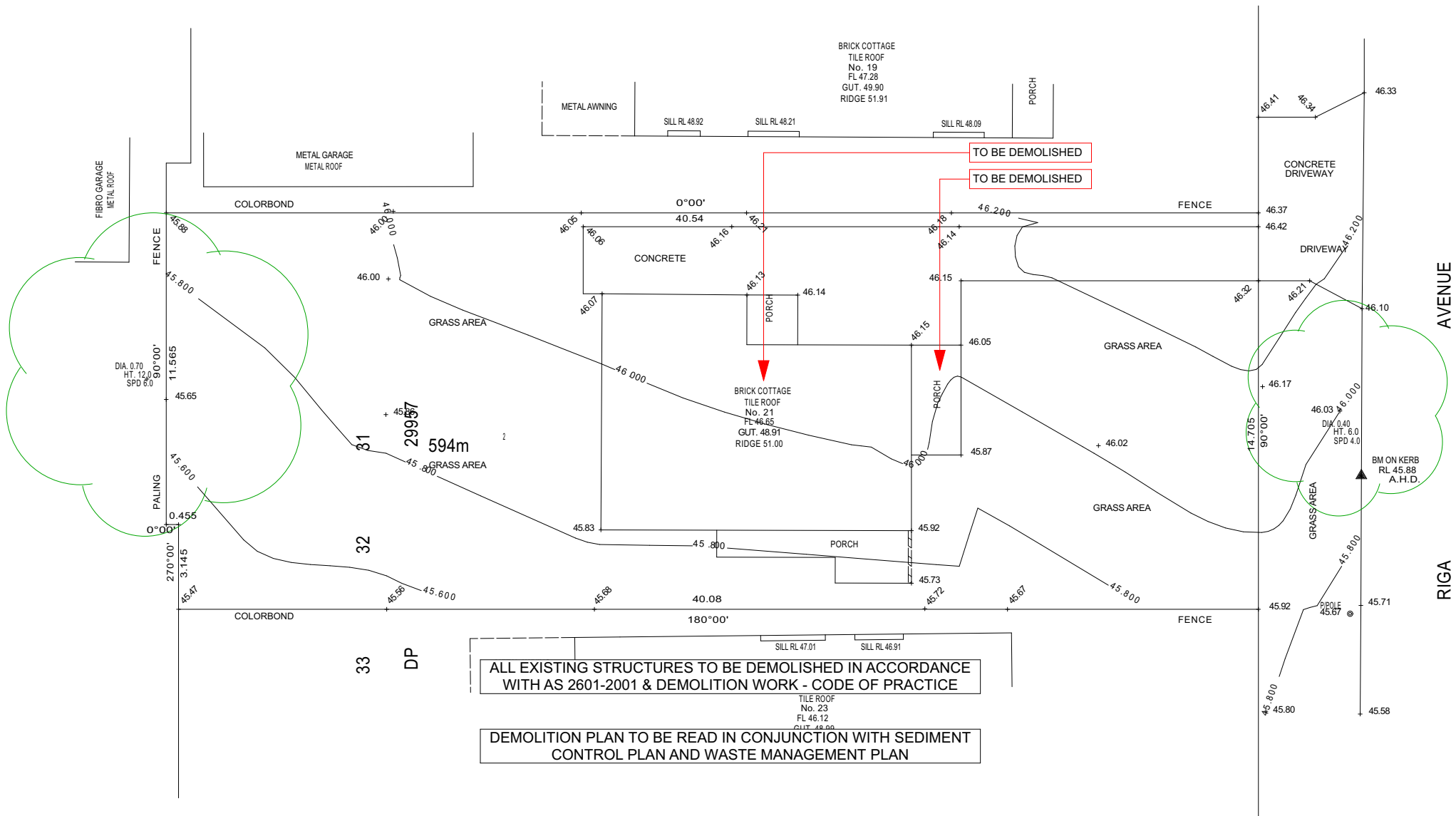
At
21 RIGA AVE, GREENACRE

Drawing Title:
- Demolition Plan
Demolition Plan

| | |
|------------------------|-----------------|
| BDAA ACCREDITATION NO: | Scale: As Noted |
| 6455 | Checked By: M.N |

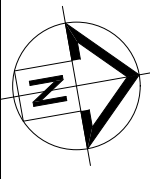
| | |
|-------------|--------------|
| Project No: | Drawing No.: |
| J0186 | 13 |

Date: 15/03/2022



Demolition Plan

1:200



LEGEND

| | |
|-------|----------------------|
| S | SINK |
| + | REDUCED LEVEL |
| S/O | STOVE/OVEN COOKTOP |
| (SA) | SMOKE ALARM |
| W | WASHING MACHINE |
| D | DRYER |
| F | FRIDGE |
| DW | DISHWASHER |
| (DP) | DOWNPIPE |
| T.O.R | TOP OF ROOF |
| T.O.P | TOP OF PARAPET |
| B.I.R | BUILD IN ROBE |
| W.I.R | WALK IN ROBE |
| → | WATER FLOW DIRECTION |
| X° | ROOF PITCH |
| (FW) | FLOOR WASTE |
| L/C | LINEN CUPBOARD |
| P.O.S | PRIVATE OPEN SPACE |
| LP | LIGHT POLE |

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Email: campbellhillgroup@hotmail.com


BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

Drawing Title:
- Ground Floor Plan
Ground Floor

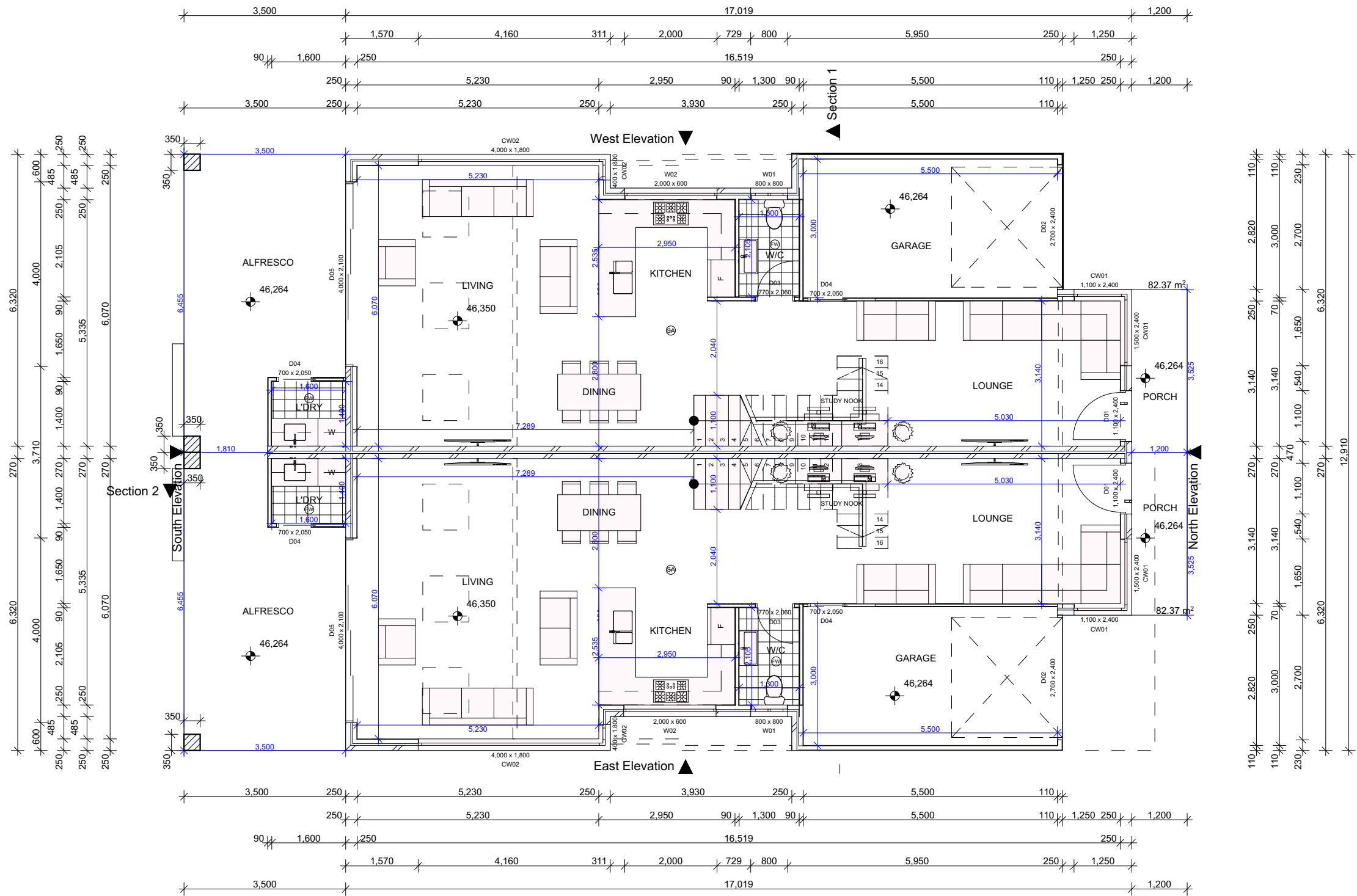
BDAA ACCREDITATION NO:
6455

Scale: As Noted
Checked By: M.N

Project No:
J0186

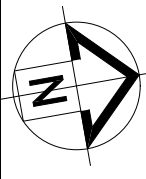
Drawing No.:
14

Date: 15/03/2022



Ground Floor

1:100



LEGEND

- S SINK
- ♦ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- ➔ WATER FLOW DIRECTION
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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

Drawing Title:
- First Floor Plan
First Floor

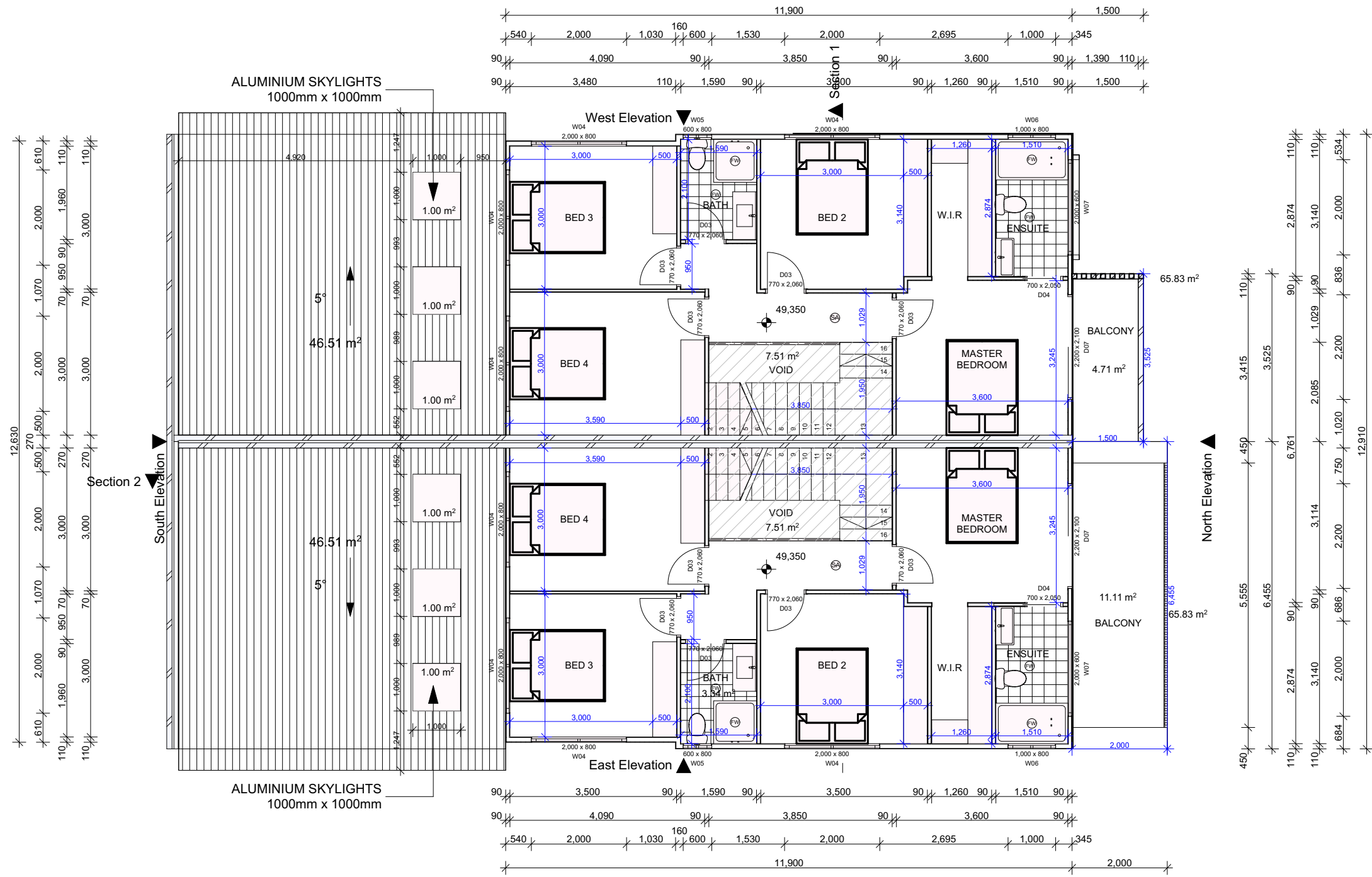
BDAA ACCREDITATION NO:
6455

Scale: As Noted
Checked By: M.N

Project No:
J0186

Drawing No.:
15

Date: 15/03/2022



First Floor

1:100

DWELLING 21

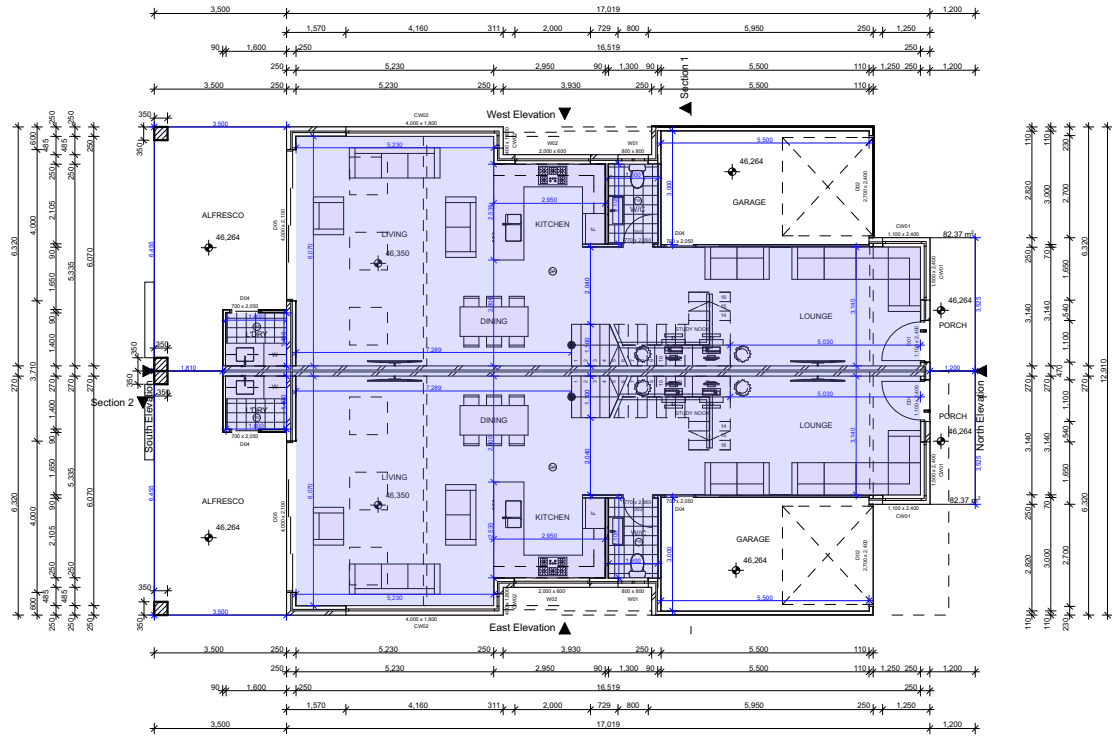
TOTAL SUBDIVIDED AREA: 298.20m²
MAX FSR ALLOWED (50%) = 149.10m²

GROUND FLOOR LIVING: 82.37m²
FIRST FLOOR LIVING: 65.83m²
TOTAL FSR = 148.20m²

DWELLING 21A

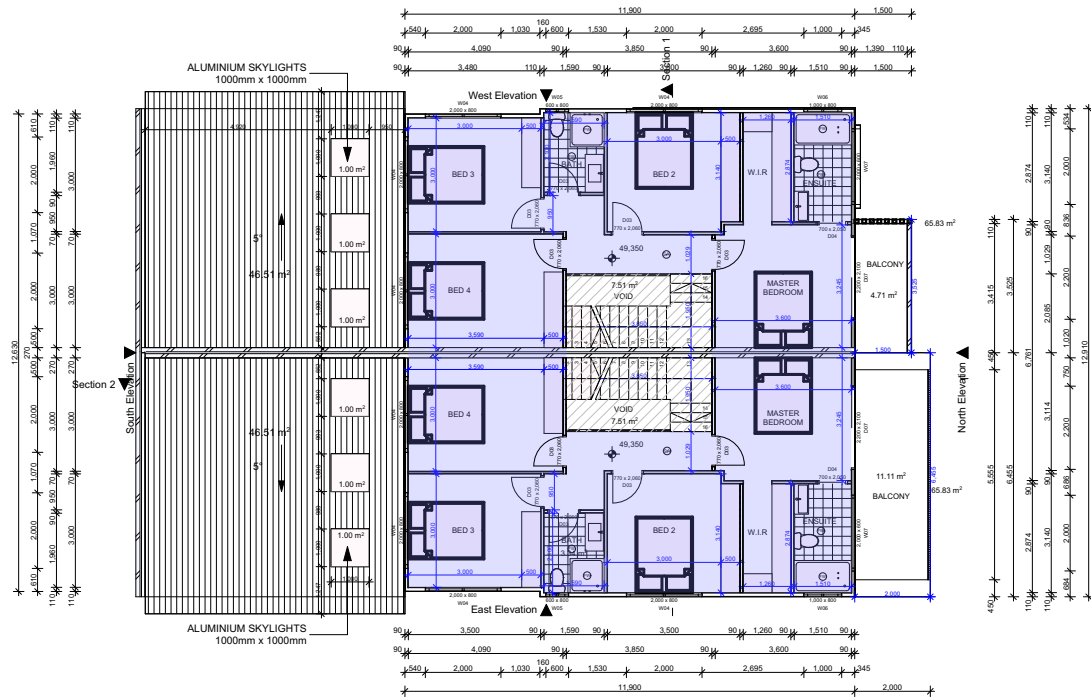
TOTAL SUBDIVIDED AREA: 296.76m²
MAX FSR ALLOWED (50%) = 148.38m²

GROUND FLOOR LIVING: 82.37m²
FIRST FLOOR LIVING: 65.83m²
TOTAL FSR = 148.20m²



Ground Floor

1:200



First Floor

1:200

LEGEND

S SINK
+ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
Water Flow Direction
X° ROOF PITCH
(FW) FLOOR WASTE
L/C LINEN CUPBOARD
P.O.S PRIVATE OPEN SPACE
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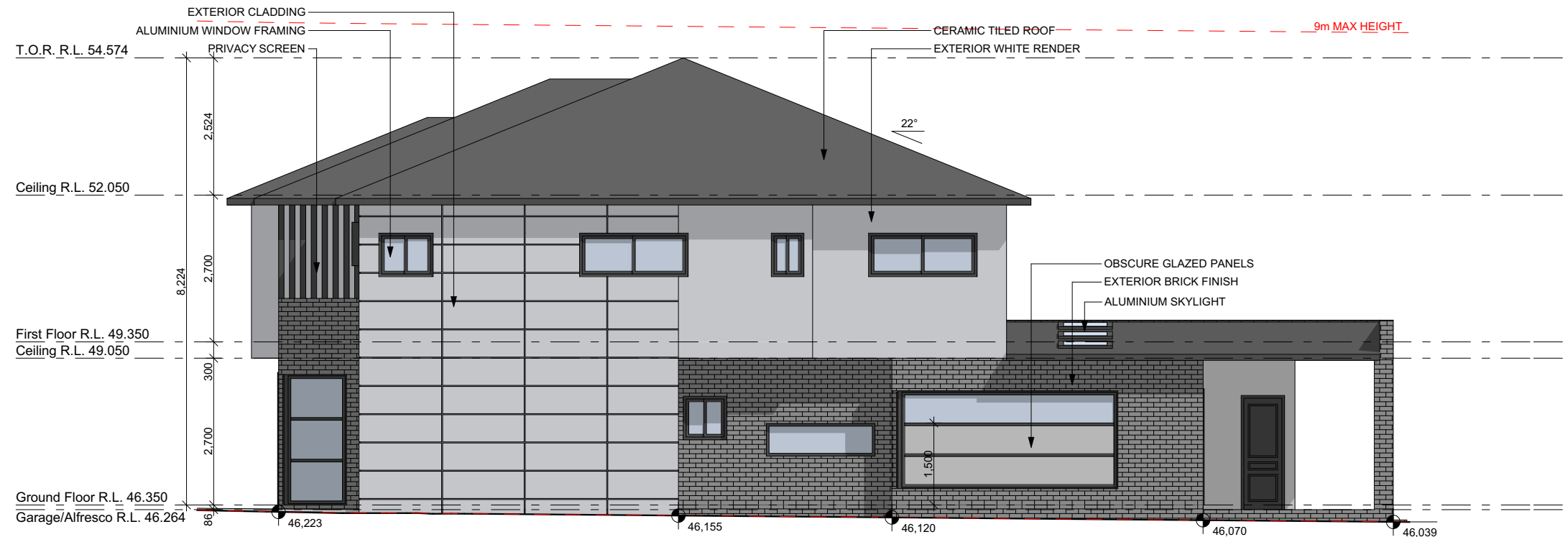
Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
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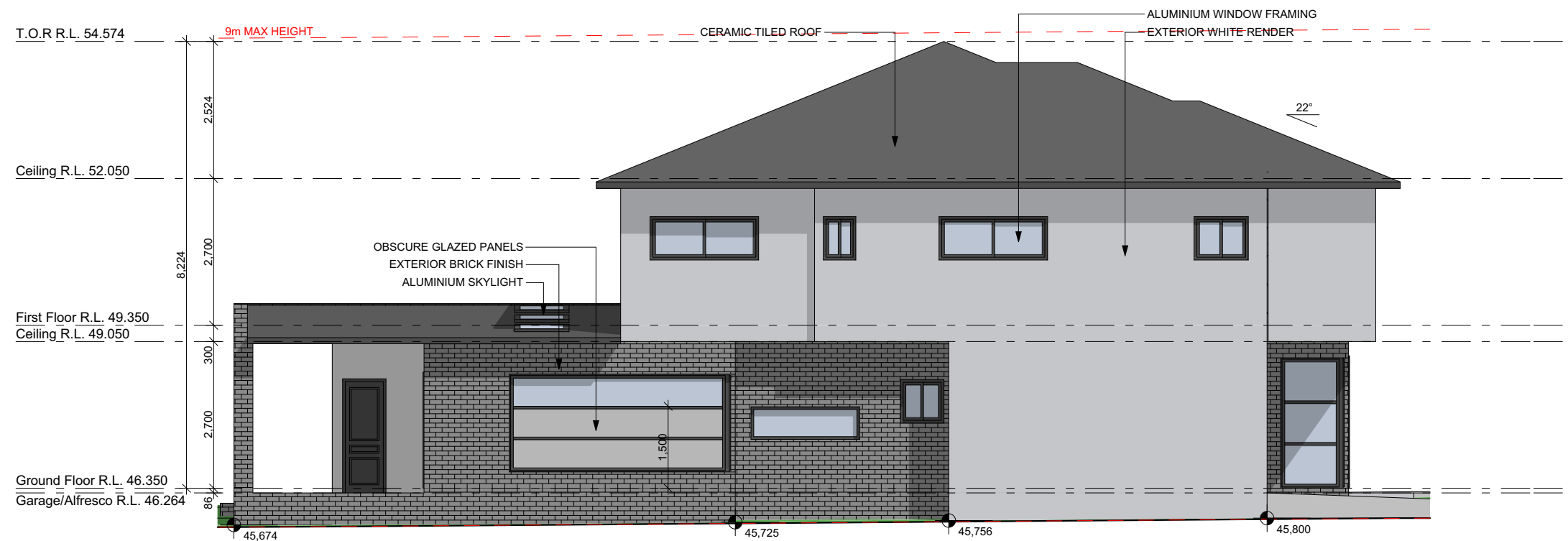
Drawing Title:
- FSR Calculation Plan
Ground Floor, First Floor

| | |
|--------------------------------|------------------------------------|
| BDAA ACCREDITATION NO: 6455 | Scale: As Noted Checked By: M.N |
| Project No: J0186 | Drawing No.: 16 |
| Date: | 15/03/2022 |



West Elevation

1:100



East Elevation

1:100


LEGEND

- S SINK
- ⬆️ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- ➡️ WATER FLOW DIRECTION
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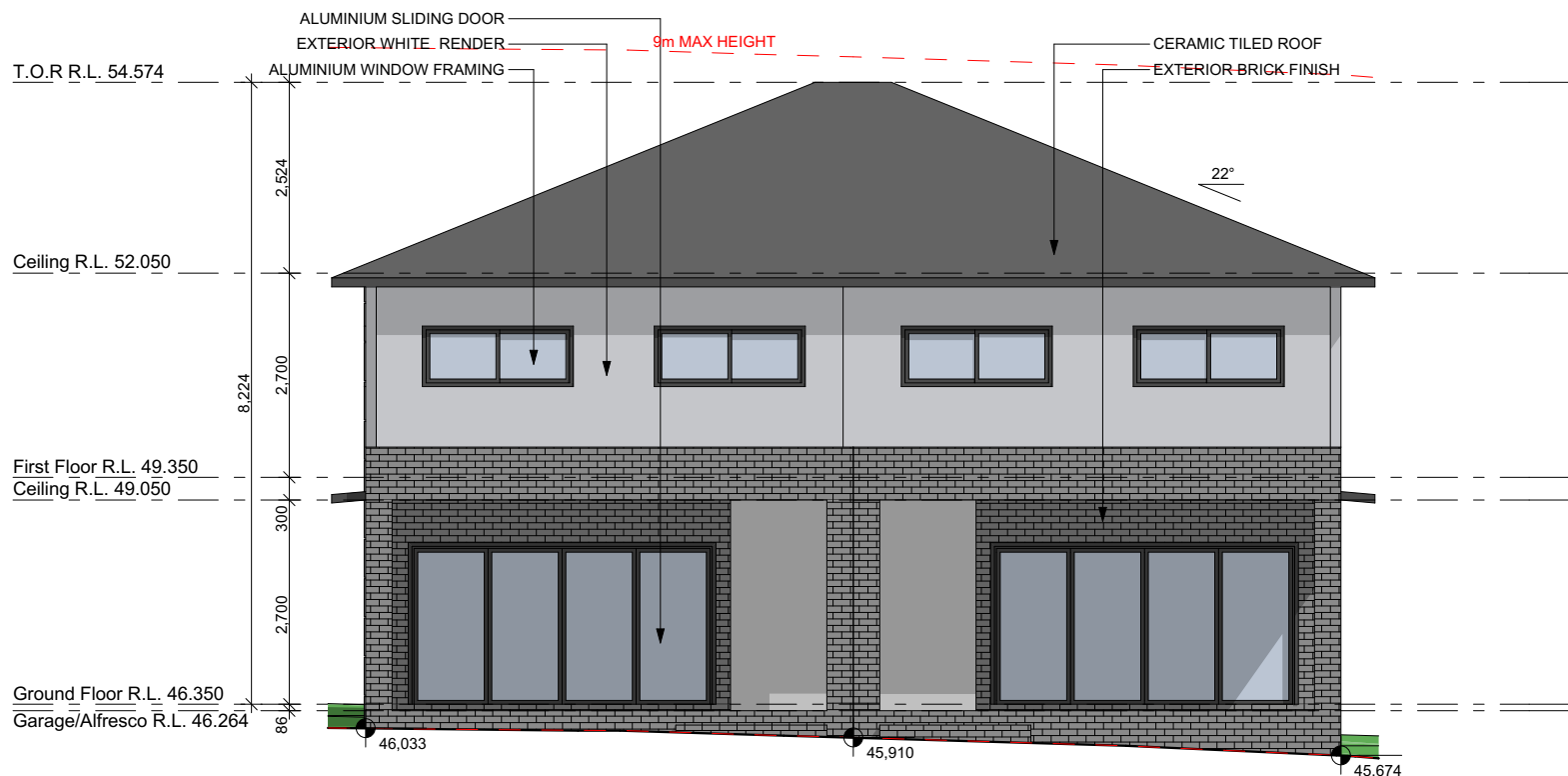
| | |
|--|--------------------|
| Drawing Title: - Elevations West Elevation, East Elevation | Scale: As Noted |
| BDAA ACCREDITATION NO: 6455 | Checked By: M.N |
| Project No: J0186 | Drawing No.: 17 |
| Date: | 15/03/2022 |



North Elevation



1:100



South Elevation

1:100

LEGEND

- S SINK
- + REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- Water flow direction
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.
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- FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.
- TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.
- PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).
- WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.
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- ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER.
- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING.

| REVISION | NAME | DATE |
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| REVISION A | M.N | 13/10/20 |
| REVISION B | O.S | 16/09/21 |
| REVISION C | M.N | 28/09/21 |
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| REVISION F | M.N | 15/02/22 |
| REVISION G | O.S | 15/03/22 |

CAMPBELL HILL
GROUP PTY LTD.
Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

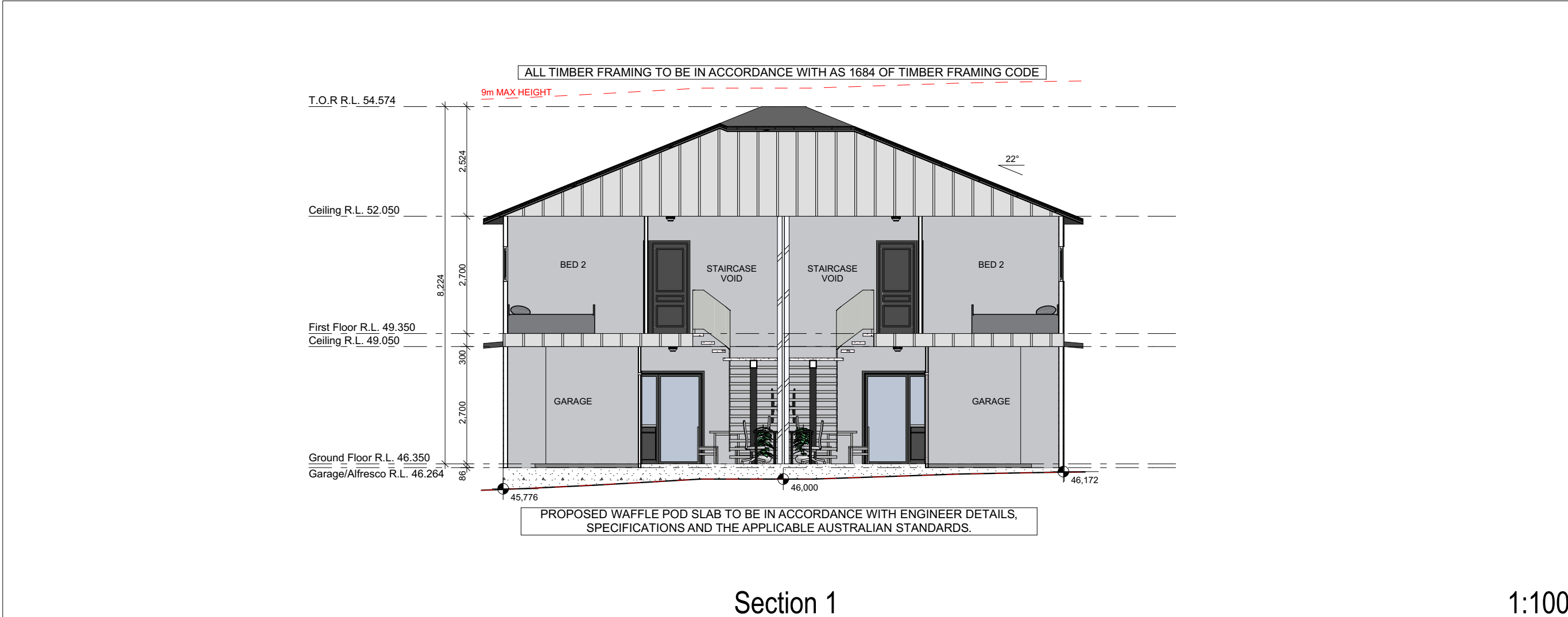
At
21 RIGA AVE, GREENACRE

Drawing Title:
- Elevations
North Elevation, South Elevation

BDAA ACCREDITATION NO: 6455
Scale: As Noted
Checked By: M.N

Project No: J0186
Drawing No.: 18

Date: 15/03/2022



LEGEND
S SINK
+ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
Water flow direction
X° ROOF PITCH
(FW) FLOOR WASTE
L/C LINEN CUPBOARD
P.O.S PRIVATE OPEN SPACE
LP LIGHT POLE

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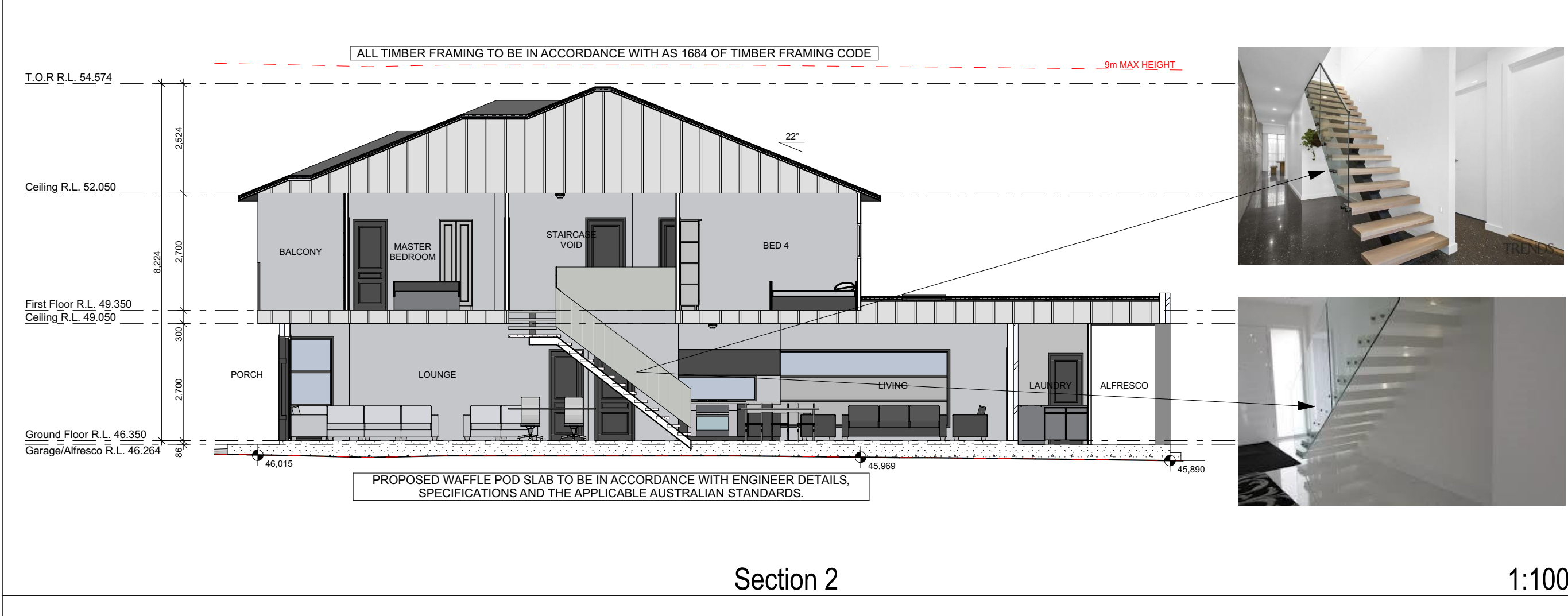
CAMPBELL HILL
GROUP PTY LTD.
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Email: campbellhillgroup@hotmail.com

BDA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR
Project Name
DUAL OCCUPANCY
At
21 RIGA AVE, GREENACRE

Drawing Title:
- Sections
Section 2, Section 1

| | |
|---------------------------------------|------------------------------------|
| BDAA ACCREDITATION NO: 6455 | Scale: As Noted Checked By: M.N |
| Project No: J0186 | Drawing No.: 19 |
| Date: | 15/03/2022 |



1:100

3D INTERNAL IMAGES



LEGEND

S

SINK

⬆

REDUCED LEVEL

S/O

STOVE/OVEN COOKTOP

(SA)

SMOKE ALARM

W

WASHING MACHINE

D

DRYER

F

FRIDGE

DW

DISHWASHER

(DP)

DOWNPIPE

T.O.R

TOP OF ROOF

T.O.P

TOP OF PARAPET

B.I.R

BUILD IN ROBE

W.I.R

WALK IN ROBE

➡

WATER FLOW DIRECTION

X°

ROOF PITCH

(FW)

FLOOR WASTE

L/C

LINEN CUPBOARD

P.O.S

PRIVATE OPEN SPACE

LP

LIGHT POLE

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| REVISION F | M.N | 15/02/22 |
| REVISION G | O.S | 15/03/22 |
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| | | |

CAMPBELL HILL

GROUP PTY LTD.

Contact: 0433 375 386

Email: campbellhillgroup@hotmail.com

bdaa

BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA

Client

MOUNIR

Project Name

DUAL OCCUPANCY

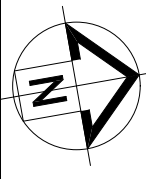
At

21 RIGA AVE, GREENACRE

Drawing Title:

- 3D Internal Images

| | |
|------------------------|-----------------|
| BDAA ACCREDITATION NO: | Scale: As Noted |
| 6455 | Checked By: M.N |
| Project No: | Drawing No.: |
| J0186 | 20 |
| Date: | 15/03/2022 |



| LEGEND | |
|--------|----------------------|
| S | SINK |
| ⬆ | REDUCED LEVEL |
| S/O | STOVE/OVEN COOKTOP |
| (SA) | SMOKE ALARM |
| W | WASHING MACHINE |
| D | DRYER |
| F | FRIDGE |
| DW | DISHWASHER |
| (DP) | DOWNPIPE |
| T.O.R | TOP OF ROOF |
| T.O.P | TOP OF PARAPET |
| B.I.R | BUILD IN ROBE |
| W.I.R | WALK IN ROBE |
| ➡ | WATER FLOW DIRECTION |
| X° | ROOF PITCH |
| (FW) | FLOOR WASTE |
| L/C | LINEN CUPBOARD |
| P.O.S | PRIVATE OPEN SPACE |
| LP | LIGHT POLE |

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Contact: 0433 375 386
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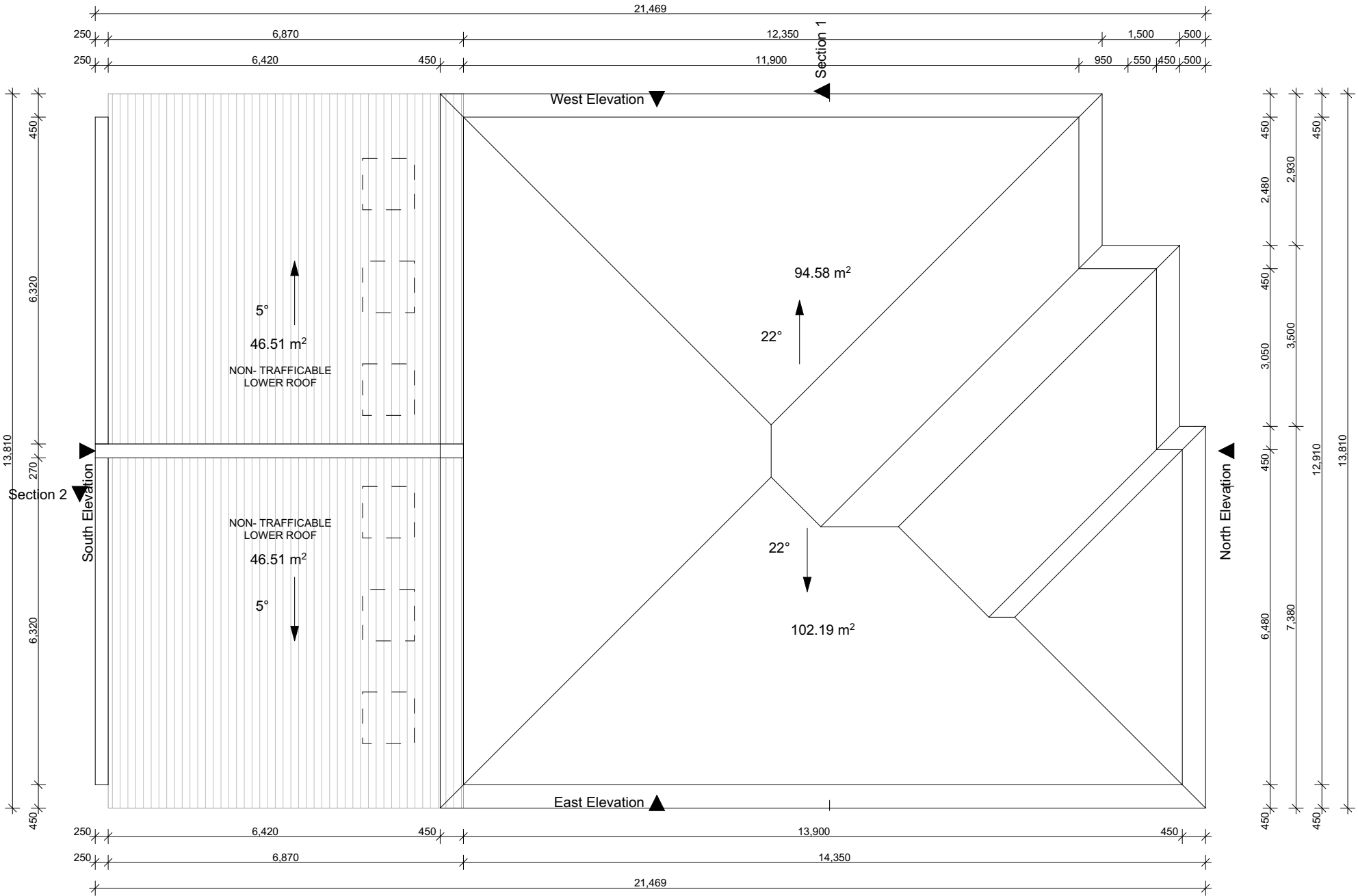
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

| | |
|---|------------------------------------|
| Drawing Title: - Roof Plan Roof Plan | |
| BDAA ACCREDITATION NO: 6455 | Scale: As Noted Checked By: M.N |
| Project No: J0186 | Drawing No.: 21 |
| Date: 15/03/2022 | |



Roof Plan

1:100

DWELLING AREAS

SITE DETAILS

LOT NUMBER: 32
DP NUMBER: 29957
SITE AREA (DP): 594.00m²
SITE AREA (CALC): 594.96m²

DWELLING 21

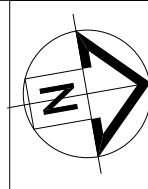
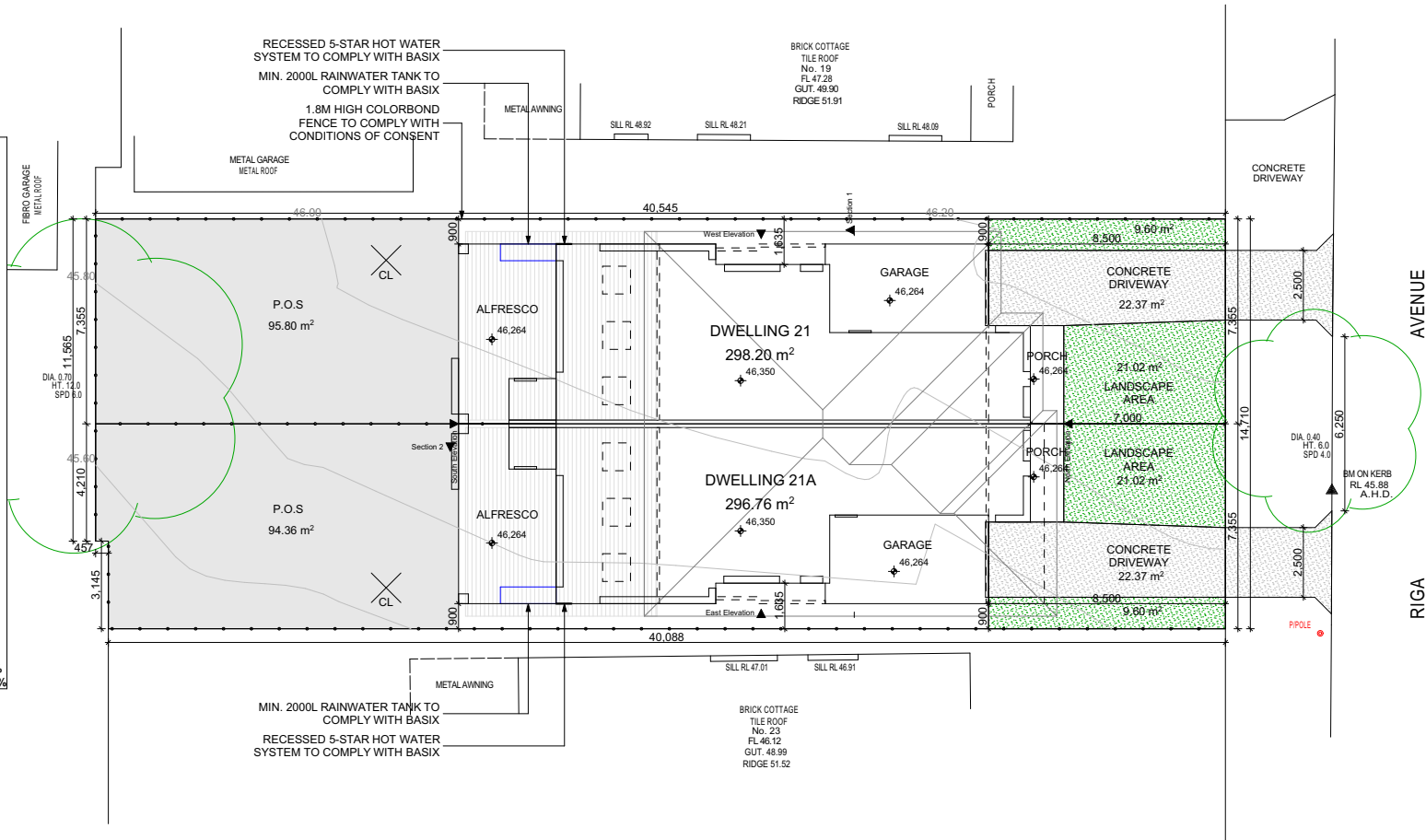
TOTAL SUBDIVIDED AREA: 298.20m²
GROUND FLOOR LIVING: 82.37m²
FIRST FLOOR LIVING: 65.83m²
STAIRCASE VOID: 7.51m²
GARAGE: 16.50m²
PORCH: 4.23m²
ALFRESCO: 19.85m²
BALCONY: 4.71m²
PRIVATE OPEN SPACE: 95.80m²
DRIVEWAY: 22.37m²
TOTAL ROOF AREA: 141.09m²

DWELLING 21A

TOTAL SUBDIVIDED AREA: 296.76m²
GROUND FLOOR LIVING: 82.37m²
FIRST FLOOR LIVING: 65.83m²
STAIRCASE VOID: 7.51m²
GARAGE: 16.50m²
PORCH: 4.23m²
ALFRESCO: 19.85m²
BALCONY: 11.11m²
PRIVATE OPEN SPACE: 94.36m²
DRIVEWAY: 22.37m²
TOTAL ROOF AREA: 148.70m²

LANDSCAPE RATIO:

REQUIRED (min.): 45% Between dual occupancy and the primary frontage.
Proposed for DWELLING 21: 30.62m² 57.78%
Proposed for DWELLING 21A: 30.62m² 57.78%



LEGEND

- S SINK
- ★ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- ➔ WATER FLOW DIRECTION
- X/ ROOF PITCH
- (FW) FLOOR WASTE
- LC LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

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bdqa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client

MOUNIR

Project Name

DUAL OCCUPANCY

At

21 RIGA AVE, GREENACRE

Drawing Title:

- A4 Notification Plan

Site Plan

BDAA ACCREDITATION NO:

6455

Project No:

J0186

Date:

15/03/2022

Scale: As Noted

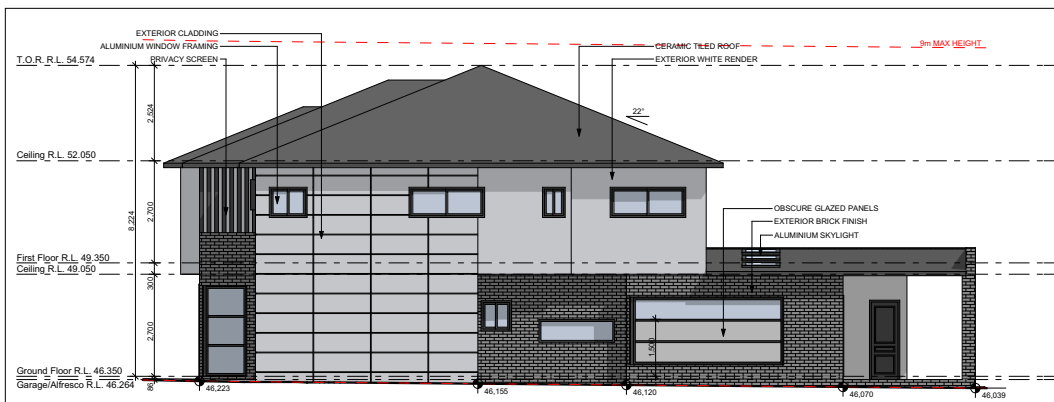
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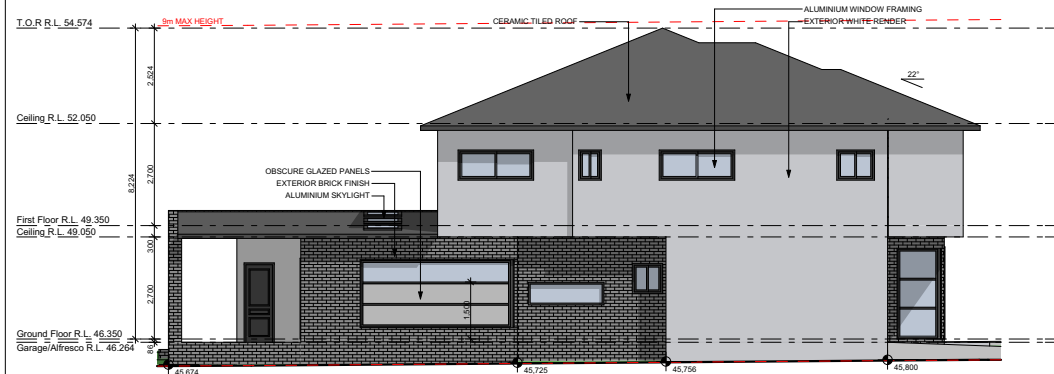
22

Site Plan

1:250



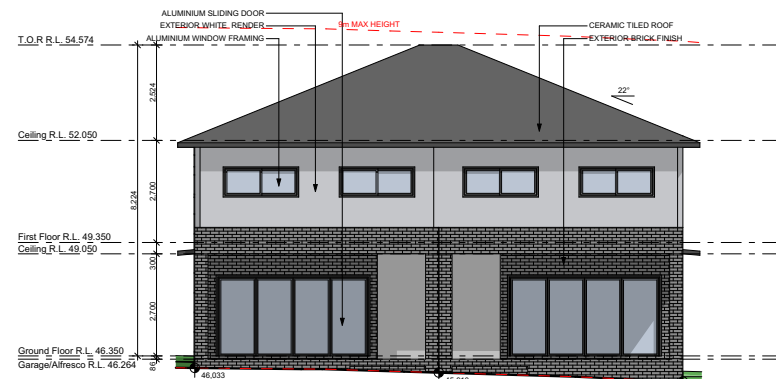
West Elevation



East Elevation



North Elevation



South Elevation

LEGEND

- S SINK
- REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
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- T.O.R TOP OF ROOF
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bdqa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MOUNIR

Project Name
DUAL OCCUPANCY

At
21 RIGA AVE, GREENACRE

Drawing Title:
- A4 Notification Plan
West Elevation, North Elevation, East Elevation, South Elevation

BDAA ACCREDITATION NO: 6455
Scale: As Noted
Checked By: M.N

Project No: J0186
Drawing No.: 23

Date: 15/03/2022

Single Dwelling




Certificate number: 12408185_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 15 March 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning, Industry & Environment

| Project summary | | | |
|---------------------------|---|------|-------------|
| Project name | 21 Riga Avenue, Greenacre_03 | | |
| Street address | 21 Riga Avenue Greenacre 2190 | | |
| Local Government Area | Canterbury-Bankstown Council | | |
| Plan type and plan number | deposited 29957 | | |
| Lot no. | 32 | | |
| Section no. | - | | |
| Project type | attached dwelling house | | |
| No. of bedrooms | 4 | | |
| Project score | | | |
| Water |  | 43 | Target 40 |
| Thermal Comfort |  | Pass | Target Pass |
| Energy |  | 54 | Target 50 |

Certificate Prepared by

Name / Company Name: isa darwish

ABN (if applicable): N/A

Description of project

| Project address | | Assessor details and thermal loads | |
|---|-------------------------------|---|------------------|
| Project name | 21 Riga Avenue, Greenacre_03 | Assessor number | n/a |
| Street address | 21 Riga Avenue Greenacre 2190 | Certificate number | n/a |
| Local Government Area | Canterbury-Bankstown Council | Climate zone | n/a |
| Plan type and plan number | Deposited Plan 29957 | Area adjusted cooling load (MJ/m ² /year) | n/a |
| Lot no. | 32 | Area adjusted heating load (MJ/m ² /year) | n/a |
| Section no. | - | Cooling ten in at least one bedroom | n/a |
| Project type | attached dwelling house | Cooling ten in at least one living room or other conditioned area | n/a |
| Project type | | Project score | |
| No. of bedrooms | 4 | Water | 43 Target 40 |
| Site details | | Thermal Comfort | Pass Target Pass |
| Site area (m ²) | 298 | Energy | 54 Target 50 |
| Roof area (m ²) | 141 | | |
| Conditioned floor area (m ²) | 142.12 | | |
| Unconditioned floor area (m ²) | 6.58 | | |
| Total area of garden and lawn (m ²) | 146 | | |

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Fixtures | | | |
| The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 Litres plus spray force and/or coverage tests) in all showers in the development. | | ✓ | ✓ |
| The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. | | ✓ | ✓ |
| The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. | | ✓ | |
| The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development. | | ✓ | |
| Alternative water | | | |
| Rainwater tank | | | |
| The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✓ | ✓ | ✓ |
| The applicant must configure the rainwater tank to collect rain runoff from at least 94.58 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). | | ✓ | ✓ |
| The applicant must connect the rainwater tank to: | | | |
| • all toilets in the development | | ✓ | ✓ |
| • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) | | ✓ | ✓ |

LEGEND

| | |
|-------|----------------------|
| S | SINK |
| + | REDUCED LEVEL |
| S/O | STOVE/OVEN COOKTOP |
| (SA) | SMOKE ALARM |
| W | WASHING MACHINE |
| D | DRYER |
| F | FRIDGE |
| DW | DISHWASHER |
| (DP) | DOWNPIPE |
| T.O.R | TOP OF ROOF |
| T.O.P | TOP OF PARAPET |
| B.I.R | BUILD IN ROBE |
| W.I.R | WALK IN ROBE |
| → | WATER FLOW DIRECTION |
| X° | ROOF PITCH |
| (FW) | FLOOR WASTE |
| L/C | LINEN CUPBOARD |
| P.O.S | PRIVATE OPEN SPACE |
| LP | LIGHT POLE |

GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.

- CHECK ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCEMENT OF KITCHEN DRAWINGS OR FABRICATION. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO COMMENCEMENT OF WORK.

- ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, HNSW DESIGN STANDARDS, THE LOCAL COUNCIL AND AUSTRALIAN STANDARDS.

- ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATION AND SCHEDULES, CONSULTANTS DOCUMENTATION.

-DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONING PURPOSES, FIGURED DIMENSIONS SHALL PREVAIL.

-FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.

-TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

-PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

-WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

-SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786. ALARMS TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE 300mm FROM ANY WALL.

-ALL GROUND LINES ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE

-ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER

-CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

| REVISION | NAME | DATE |
|------------|------|----------|
| REVISION A | M.N | 13/10/20 |
| REVISION B | O.S | 16/09/21 |
| REVISION C | M.N | 28/09/21 |
| REVISION D | M.N | 09/12/21 |
| REVISION E | A.H | 21/12/21 |
| REVISION F | M.N | 15/02/22 |
| REVISION G | O.S | 15/03/22 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |


CAMPBELL HILL
GROUP PTY LTD.
Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com


BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client

MOUNIR

Project Name

DUAL OCCUPANCY

At

21 RIGA AVE, GREENACRE

Drawing Title:

- Basix Requirements

A3 Basix - 21 Riga Ave

BDAA ACCREDITATION NO:

6455

Project No:

J0186

Date:

15/03/2022

Scale: As Noted

Checked By: M.N

Drawing No.:

24




| Thermal Comfort Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|--|------------------------------|---|
| General features | | | |
| The dwelling must not have more than 2 storeys. | ✓ | ✓ | ✓ |
| The conditioned floor area of the dwelling must not exceed 300 square metres. | ✓ | ✓ | ✓ |
| The dwelling must not contain open mezzanine area exceeding 25 square metres. | ✓ | ✓ | ✓ |
| The dwelling must not contain third level habitable attic room. | ✓ | ✓ | ✓ |
| Floor, walls and ceiling/roof | | | |
| The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |
| Construction | Additional insulation required (R-Value) | | Other specifications |
| Floor - concrete slab on ground | nil | | |
| external wall - brick veneer | 1.86 (or 2.40 including construction) | | |
| external wall - other/undecided | 2.40 (including construction) | | |
| internal wall shared with garage - plasterboard | nil | | |
| ceiling and roof - flat ceiling / pitched roof | ceiling 2.75 (up), roof: full-raking | | gable end vents; light (solar absorbance < 0.475) |
| Note | • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia. | | |
| Note | • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials. | | |

| Thermal Comfort Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|---|----------------------------|
| Windows, glazed doors and skylights | | | |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door. | ✓ | ✓ | ✓ |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table. | | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | ✓ | ✓ | ✓ |
| • For the following glass and frame types, the certifier check can be performed by visual inspection. | | | ✓ |
| - Aluminium single clear | | | ✓ |
| - Aluminium double (air) clear | | | ✓ |
| - Timber/UPVC/thermoglass single clear | | | ✓ |
| - Timber/UPVC/thermoglass double (air) clear | | | ✓ |
| • For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. | | | ✓ |
| The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metres limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table). | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each skylight: | | | ✓ |
| • External awnings and louvers must fully shade the skylight above which they are situated when fully drawn or closed | | ✓ | ✓ |
| Skylight no. | | | |
| Maximum area (square metres) | Type | Shading device | |
| 001 | 1.50 | aluminium, moulded plastic single clear | adjustable awning or blind |
| 002 | 1.50 | aluminium, moulded plastic single clear | adjustable awning or blind |

| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type | Shading Device (Dimension within 15%) | Overshadowing |
|------------------------|---------------------|--------------------|---|---|------------------|
| W04 | 800 | 2000 | aluminium, single, clear | eave 450 mm, 518 mm above head of window or glazed door | not overshadowed |
| W05 | 800 | 600 | aluminium, single, clear | solid overhang 450 mm, 518 mm above head of window or glazed door | not overshadowed |
| CW01 | 2400 | 1100 | U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint) | none | not overshadowed |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Hot water | | | |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars. | ✓ | ✓ | ✓ |
| Cooling system | | | |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only. Energy rating: n/a | | ✓ | ✓ |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only. Energy rating: n/a | | ✓ | ✓ |
| Heating system | | | |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only. Energy rating: n/a | | ✓ | ✓ |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only. Energy rating: n/a | | ✓ | ✓ |
| Ventilation | | | |
| The applicant must install the following exhaust systems in the development: | | | |
| At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off | | ✓ | ✓ |
| Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off | | ✓ | ✓ |
| Laundry: individual fan, ducted to facade or roof. Operation control: manual switch on/off | | ✓ | ✓ |
| Artificial lighting | | | |
| The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps. | | | |
| • at least 4 of the bedrooms / study; dedicated | | ✓ | ✓ |
| • at least 2 of the living / dining rooms; dedicated | | ✓ | ✓ |
| • the kitchen; dedicated | | ✓ | ✓ |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| • all bedrooms/toilets; dedicated | | | ✓ |
| • the laundry; dedicated | | | ✓ |
| • all hallways; dedicated | | | ✓ |
| Natural lighting | | | |
| The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. | | ✓ | ✓ |
| The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting. | | ✓ | ✓ |
| Other | | | |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. | | | |
| The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions. | | ✓ | |
| The applicant must install a fixed outdoor clothes drying line as part of the development. | | ✓ | |

| Legend |
|--|
| In these commitments, "applicant" means the person carrying out the development. |
| Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). |
| Commitments identified with a  in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. |
| Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued. |

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1240894S_05

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 15 March 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning, Industry & Environment

| Project summary | | | |
|---------------------------|--------------------------------|--------|------|
| Project name | 21A Riga Avenue, Greenacre _05 | | |
| Street address | 21 Riga Avenue Greenacre 2190 | | |
| Local Government Area | Centurbury-Bankstown Council | | |
| Plan type and plan number | deposited 29957 | | |
| Lot no. | A | | |
| Section no. | - | | |
| Project type | attached dwelling house | | |
| No. of bedrooms | 4 | | |
| Project score | | | |
| Water | <div><div></div></div> 43 | Target | 40 |
| Thermal Comfort | <div><div></div></div> Pass | Target | Pass |
| Energy | <div><div></div></div> 54 | Target | 50 |

Certificate Prepared by

Name / Company Name: Issa Danesh

ABN (if applicable): N/A

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINA_3_19_1 Certificate No.: 1240894S_05 Tuesday, 15 March 2022 page 1/10

Description of project

| Project address | | Assessor details and thermal loads | |
|------------------------------------|--------------------------------|---|------------------|
| Project name | 21A Riga Avenue, Greenacre _05 | Assessor number | n/a |
| Street address | 21 Riga Avenue Greenacre 2190 | Certificate number | n/a |
| Local Government Area | Centurbury-Bankstown Council | Climate zone | n/a |
| Plan type and plan number | Deposited Plan 29957 | Area adjusted cooling load (MJ/m²/year) | n/a |
| Lot no. | A | Area adjusted heating load (MJ/m²/year) | n/a |
| Section no. | - | Ceiling fan in at least one bedroom | n/a |
| Project type | attached dwelling house | Ceiling fan in at least one living room or other conditioned area | n/a |
| Site details | | | |
| No. of bedrooms | 4 | Water | 43 Target 40 |
| Site area (m²) | 297 | Thermal Comfort | Pass Target Pass |
| Roof area (m²) | 149 | Energy | 54 Target 50 |
| Conditioned floor area (m²) | 142.12 | | |
| Unconditioned floor area (m²) | 6.08 | | |
| Total area of garden and lawn (m²) | 144 | | |

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINA_3_19_1 Certificate No.: 1240894S_05 Tuesday, 15 March 2022 page 2/10

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Fixtures | | | |
| The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 Litres plus spray mode and/or coverage tests) in all showers in the development. | | ✓ | ✓ |
| The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. | | ✓ | ✓ |
| The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. | | ✓ | ✓ |
| The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development. | | ✓ | ✓ |
| Alternative water | | | |
| Rainwater tank | | | |
| The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✓ | ✓ | ✓ |
| The applicant must configure the rainwater tank to collect rain runoff from at least 102.19 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). | | ✓ | ✓ |
| The applicant must connect the rainwater tank to: | | ✓ | ✓ |
| • at toilets in the development | | ✓ | ✓ |
| • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) | | ✓ | ✓ |

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINA_3_19_1 Certificate No.: 1240894S_05 Tuesday, 15 March 2022 page 3/10

| Thermal Comfort Commitments | | Show on DA plans | Show on CC/CDC plans & specs | Certifier check | |
|--|---|--|------------------------------------|--------------------|---|
| General features | | | | | |
| The dwelling must not have more than 2 storeys. | | ✓ | ✓ | ✓ | |
| The conditioned floor area of the dwelling must not exceed 300 square metres. | | ✓ | ✓ | ✓ | |
| The dwelling must not contain open mezzanine area exceeding 25 square metres. | | ✓ | ✓ | ✓ | |
| The dwelling must not contain third level habitable attic room. | | ✓ | ✓ | ✓ | |
| Floor, walls and ceiling/roof | | | | | |
| The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. | | | | | |
| | | ✓ | ✓ | ✓ | |
| Construction | | Additional insulation required (R-Value) | | | Other specifications |
| floor - concrete slab on ground | nil | | | | |
| external wall - brick veneer | 1.86 (or 2.40 including construction) | | | | |
| external wall - other/undecided | 2.40 (including construction) | | | | |
| internal wall shared with garage - plasterboard | nil | | | | |
| ceiling and roof - flat ceiling / pitched roof | ceiling: 2.75 (up); roof: falls/sarking | | | | gable end vents; light (solar absorbance < 0.475) |
| Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia. | | | | | |
| Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials. | | | | | |

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINA_3_19_1 Certificate No.: 1240894S_05 Tuesday, 15 March 2022 page 4/10

| Thermal Comfort Commitments | | | | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------------------|---|----------------------------|---------------------------------------|------------------------------|-----------------|
| Windows, glazed doors and skylights | | | | | | |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door. | | | | ✓ | ✓ | ✓ |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table. | | | | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | | | | | | |
| • For the following glass and frame types, the certifier check can be performed by visual inspection. | | | | | | ✓ |
| - Aluminium single clear | | | | | | ✓ |
| - Aluminium double (air) clear | | | | | | ✓ |
| - Timber/UPVC/fibreglass single clear | | | | | | ✓ |
| - Timber/UPVC/fibreglass double (air) clear | | | | | | ✓ |
| The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table). | | | | ✓ | | ✓ |
| The following requirements must also be satisfied in relation to each skylight: | | | | | | ✓ |
| • External awnings and louvers must fully shade the skylight above which they are situated when fully drawn or closed | | | | | | ✓ |
| Skylight no. | Maximum area (square metres) | Type | Shading device | | | |
| S01 | 1.50 | aluminium, moulded plastic single clear | adjustable awning or blind | | | |
| S02 | 1.50 | aluminium, moulded plastic single clear | adjustable awning or blind | | | |
| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type | Shading Device (Dimension within 10%) | | Overshadowing |
| North facing | | | | | | |

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINA_3_19_1 Certificate No.: 1240894S_05 Tuesday, 15 March 2022 page 5/10

| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type | Shading Device (Dimension within 10%) | Overshadowing |
|------------------------|---------------------|--------------------|--------------------------|--|------------------|
| W07 | 600 | 2000 | aluminium, single, clear | save 2400 mm, 418 mm above head of window or glazed door | not overshadowed |
| D01 | 2400 | 1100 | aluminium, single, clear | solid overhang 500 mm, 263 mm above head of window or glazed door | not overshadowed |
| D07 | 2100 | 2200 | aluminium, single, clear | save 3450 mm, 378 mm above head of window or glazed door | not overshadowed |
| CW01 | 2400 | 1500 | aluminium, single, clear | save 500 mm, 300 mm above head of window or glazed door | not overshadowed |
| CW02 | 1800 | 400 | aluminium, single, clear | solid overhang 3930 mm, 600 mm above head of window or glazed door | not overshadowed |
| East facing | | | | | |
| W01 | 800 | 800 | aluminium, single, clear | solid overhang 735 mm, 700 mm above head of window or glazed door | not overshadowed |
| W02 | 600 | 2000 | aluminium, single, clear | solid overhang 735 mm, 1200 mm above head of window or glazed door | not overshadowed |
| CW02 | 1800 | 4000 | aluminium, single, clear | save 450 mm, 561 mm above head of window or glazed door | not overshadowed |
| CW01 | 2400 | 1100 | aluminium, single, clear | solid overhang 2930 mm, 300 mm above head of window or glazed door | not overshadowed |
| W06 | 1000 | 800 | aluminium, single, clear | save 450 mm, 518 mm above head of window or glazed door | not overshadowed |
| W04 | 800 | 2000 | aluminium, single, clear | save 450 mm, 518 mm above head of window or glazed door | not overshadowed |
| W08 | 800 | 600 | aluminium, single, clear | save 450 mm, 490 mm above head of window or glazed door | not overshadowed |
| W04 | 800 | 2000 | aluminium, single, clear | save 450 mm, 518 mm above head of window or glazed door | not overshadowed |
| South facing | | | | | |

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| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type | Shading Device (Dimension within 10%) | Overshadowing |
|------------------------|---------------------|--------------------|--------------------------|--|------------------|
| W04 | 800 | 2000 | aluminium, single, clear | save 450 mm, 518 mm above head of window or glazed door | not overshadowed |
| D05 | 2100 | 4000 | aluminium, single, clear | solid overhang 3500 mm, 560 mm above head of window or glazed door | not overshadowed |
| W04 | 800 | 2000 | aluminium, single, clear | save 450 mm, 518 mm above head of window or glazed door | not overshadowed |

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINA_3_19_1 Certificate No.: 1240894S_05 Tuesday, 15 March 2022 page 7/10

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|---------------------|---------------------------------|--------------------|
| Hot water | | | |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars. | ✓ | ✓ | ✓ |
| Cooling system | | | |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: airconditioning during only. Energy rating: n/a | | ✓ | ✓ |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning during only. Energy rating: n/a | | ✓ | ✓ |
| Heating system | | | |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: airconditioning during only. Energy rating: n/a | | ✓ | ✓ |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning during only. Energy rating: n/a | | ✓ | ✓ |
| Ventilation | | | |
| The applicant must install the following exhaust systems in the development: | | | |
| At least 1 Bathroom: individual fan, ducted to façade or roof. Operation control: manual switch on/off | | ✓ | ✓ |
| Kitchen: individual fan, ducted to façade or roof. Operation control: manual switch on/off | | ✓ | ✓ |
| Laundry: individual fan, ducted to façade or roof. Operation control: manual switch on/off | | ✓ | ✓ |
| Artificial lighting | | | |
| The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 4 of the bedrooms / study; dedicatedat least 2 of the living / dining rooms; dedicatedthe kitchen; dedicated | | ✓ | ✓ |

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINA_3_19_1 Certificate No.: 1240894S_05 Tuesday, 15 March 2022 page 8/10

| Energy Commitments | | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|--|---------------------|---------------------------------|--------------------|
| • all bathrooms/toilets; dedicated | | | ✓ | ✓ |
| • the laundry; dedicated | | | ✓ | ✓ |
| • all hallways; dedicated | | | ✓ | ✓ |
| Natural lighting | | | | |
| The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. | | ✓ | ✓ | ✓ |
| The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting. | | ✓ | | ✓ |
| Other | | | | |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. | | | ✓ | |
| The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions. | | | ✓ | |
| The applicant must install a fixed outdoor clothes drying line as part of the development. | | | ✓ | |

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LEGEND

S SINK
+ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
← WATER FLOW DIRECTION
X° ROOF PITCH
(FW) FLOOR WASTE
L/C LINEN CUPBOARD
P.O.S PRIVATE OPEN SPACE
LP LIGHT POLE

GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.

- CHECK ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCEMENT OF KITCHEN DRAWINGS OR FABRICATION. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO COMMENCEMENT OF WORK.

- ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, HNSW DESIGN STANDARDS, THE LOCAL COUNCIL AND AUSTRALIAN STANDARDS.

- ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATION AND SCHEDULES, CONSULTANTS DOCUMENTATION.

-DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONING PURPOSES, FIGURED DIMENSIONS SHALL PREVAIL.

-FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.

-TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

-PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

-WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

-SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786. ALARMS TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE 300mm FROM ANY WALL.

-ALL GROUND LINES ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE

-ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER

-CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

| REVISION | NAME | DATE |
|------------|------|----------|
| REVISION A | M.N | 13/10/20 |
| REVISION B | O.S | 16/09/21 |
| REVISION C | M.N | 28/09/21 |
| REVISION D | M.N | 09/12/21 |
| REVISION E | A.H | 21/12/21 |
| REVISION F | M.N | 15/02/22 |
| REVISION G | O.S | 15/03/22 |

CAMPBELL HILL
GROUP PTY LTD.
Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client

MOUNIR

Project Name

DUAL OCCUPANCY

At

21 RIGA AVE, GREENACRE

Drawing Title:

- Basix Requirements

A3 Basix- 21A Riga Ave

BDAA ACCREDITATION NO:

6455

Project No:

J0186

Date:

15/03/2022

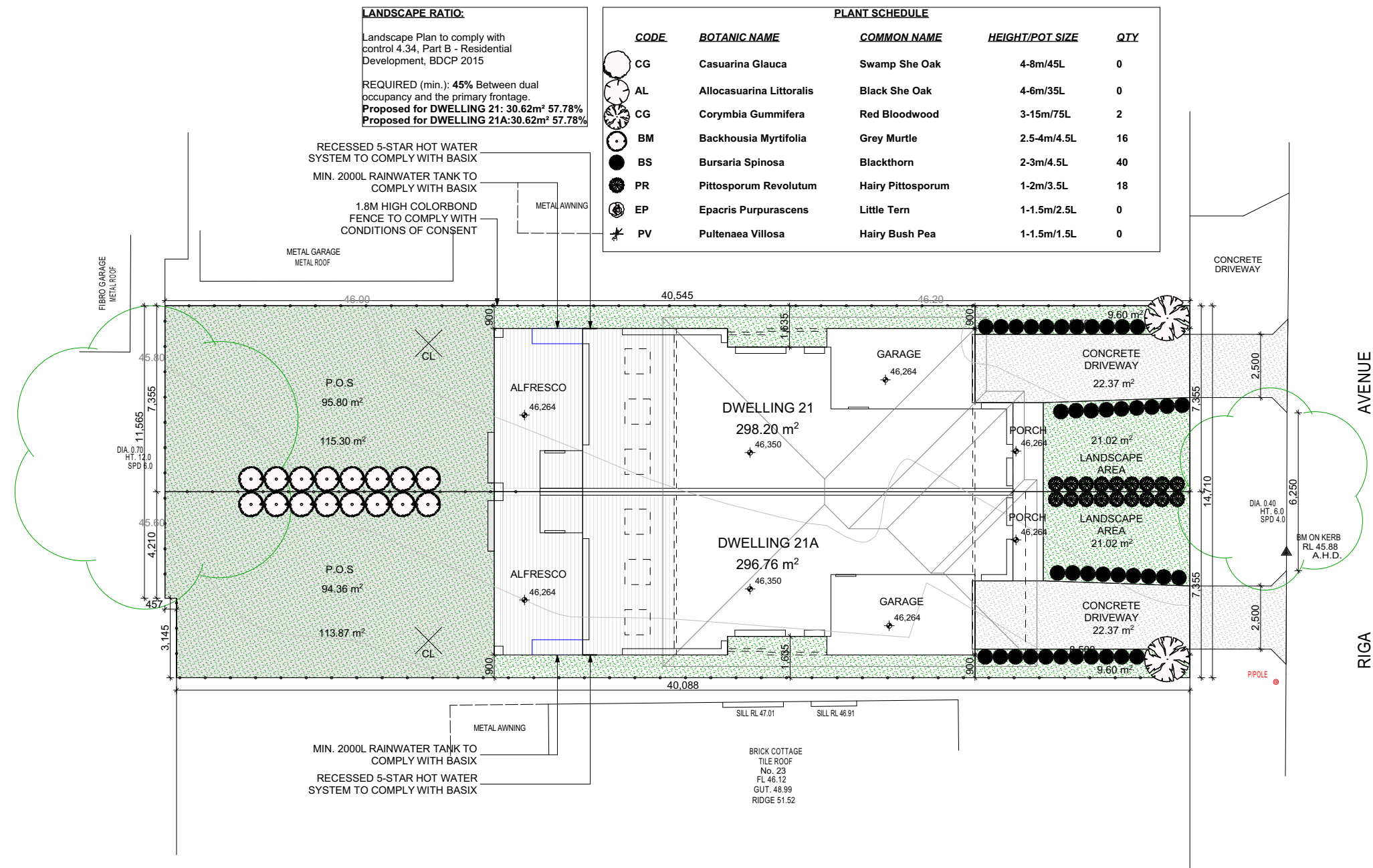
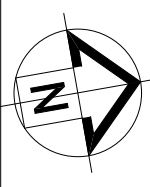
Scale: As Noted

Checked By: M.N

Drawing No.:

25

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Landscape Plan



TEL: (02) 8710 1125

EMAIL:
ECOPLANS@OUTLOOK.COM

ECO DESIGN LANDSCAPE SOLUTIONS

LANDSCAPE PLAN

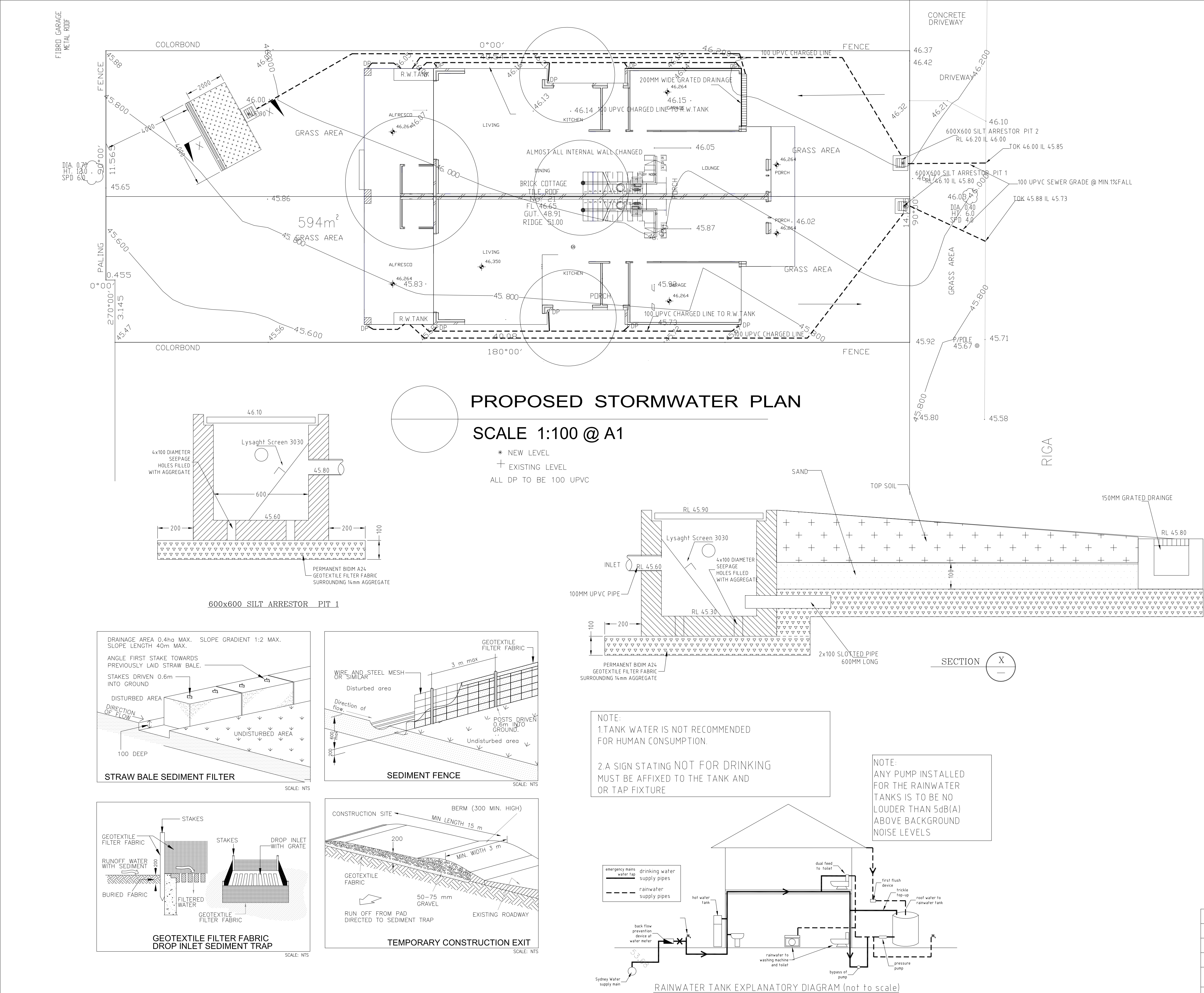
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SUBURB: GREENACRE

CLIENT: CAMPBELL HILL GROUP

AMENDED: MN DATE: 15/03/2022

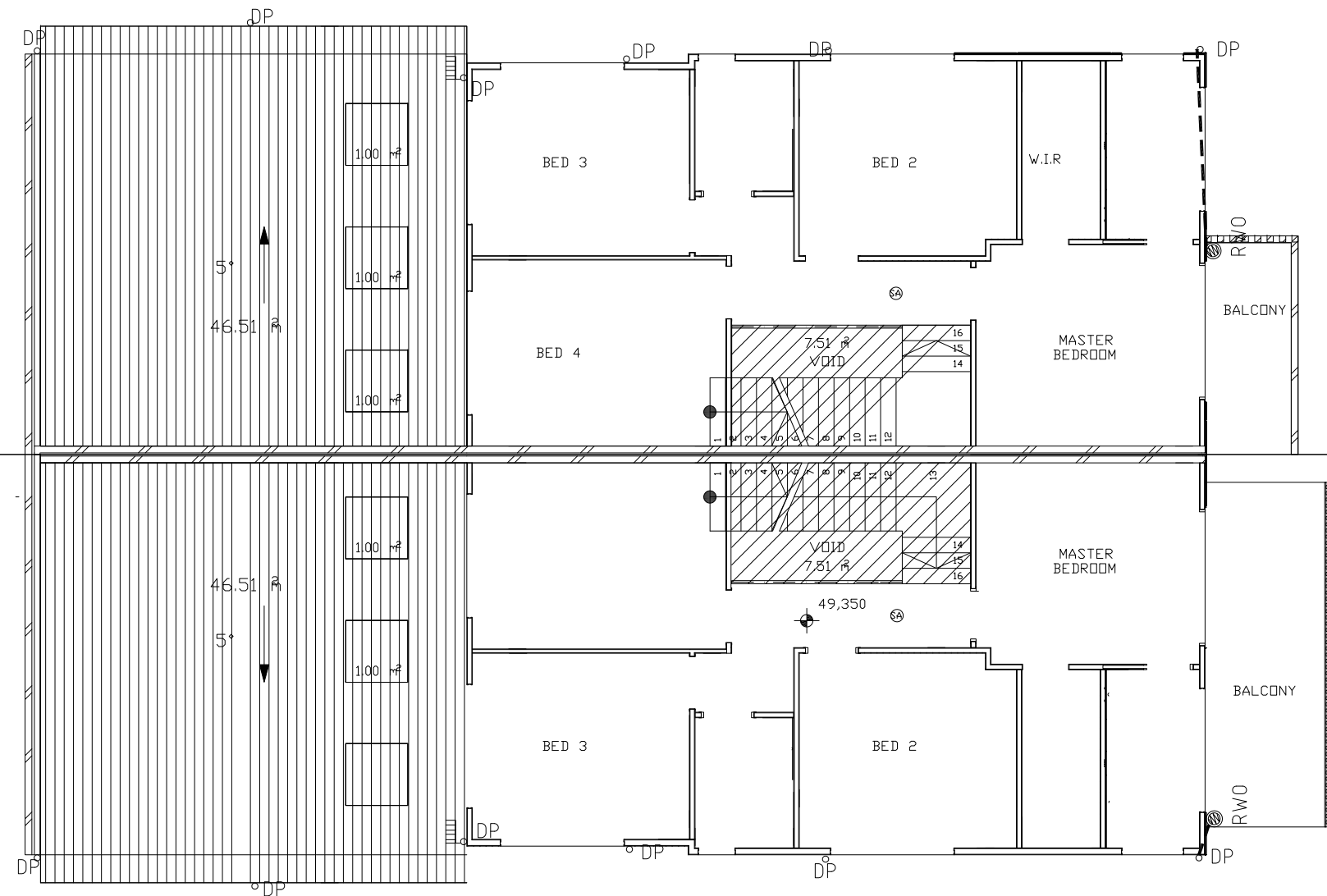
JOB REF: 21RIGA SCALE: 1:200

DRAWN: MN SHEET: 1/1

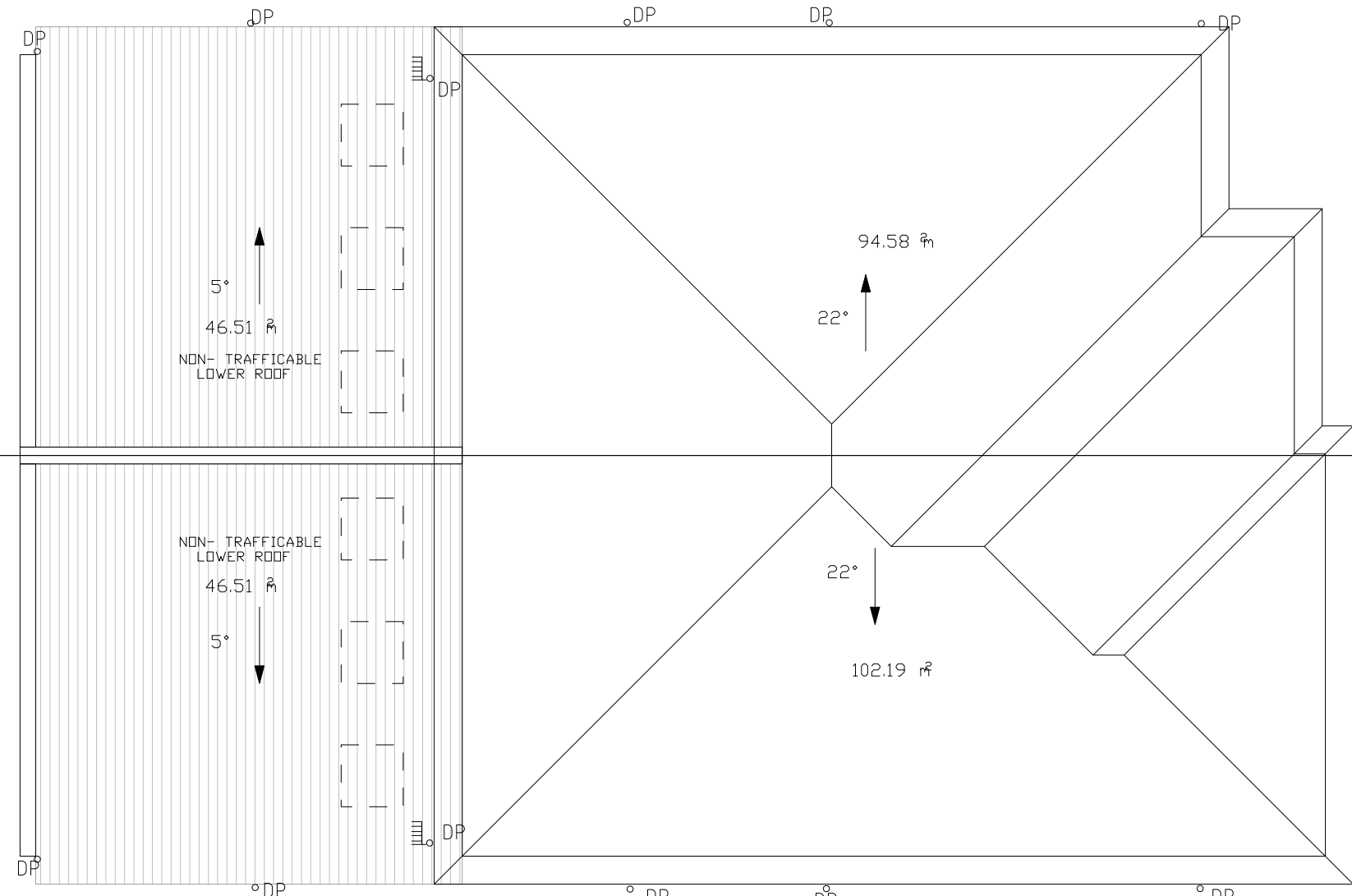


- NOTES
1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS AND THE SPECIFICATION.
 2. PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY HIMSELF OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS. ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
 3. TRAFFIC MANAGEMENT MEASURES HAVE TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTON, ALL IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ALONG THE FOOTPATH.
 4. THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISED PONDING OF SURFACE RUN-OFF.
 5. REFER TO ARCHITECT'S DRAWINGS FOR ALL DETAILS (LEVELS, GRADING ETC.) OF DRIVEWAYS, CONCRETE AND PAVED AREAS, AND RETAINING WALL TYPES ADN LOCATIONS.
 6. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS AND EXTENT OF ALL LANDSCAPED AREAS.
 7. ALL SWD PIPES ARE UPVC AT 1.0% MINIMUM GRADE (UNO).
 8. SWD PITS CAN BE PRE-CAST SIZED AS FOLLOWS:
 - 450mm SQ. UP TO 600mm DEEP
 - 600mm SQ. UP TO 1000mm DEEP
 9. ALL PITS LOCATED IN TRAFFICABLE AREAS, (IE, DRIVEWAYS) TO HAVE MEDIUM DUTY GRATED COVERS SUITABLE FOR WITHSTANDING LOADS ASSOCIATED WITH SMALL TRUCKS.
 10. PROVIDE STEP IRONS TO ALL PITS GREATER THAN 1.2m DEEP.
 11. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF WORKS.
 12. TOPSOIL SHALL BE STRIPPED DN STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED.
 13. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES. ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
 14. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.

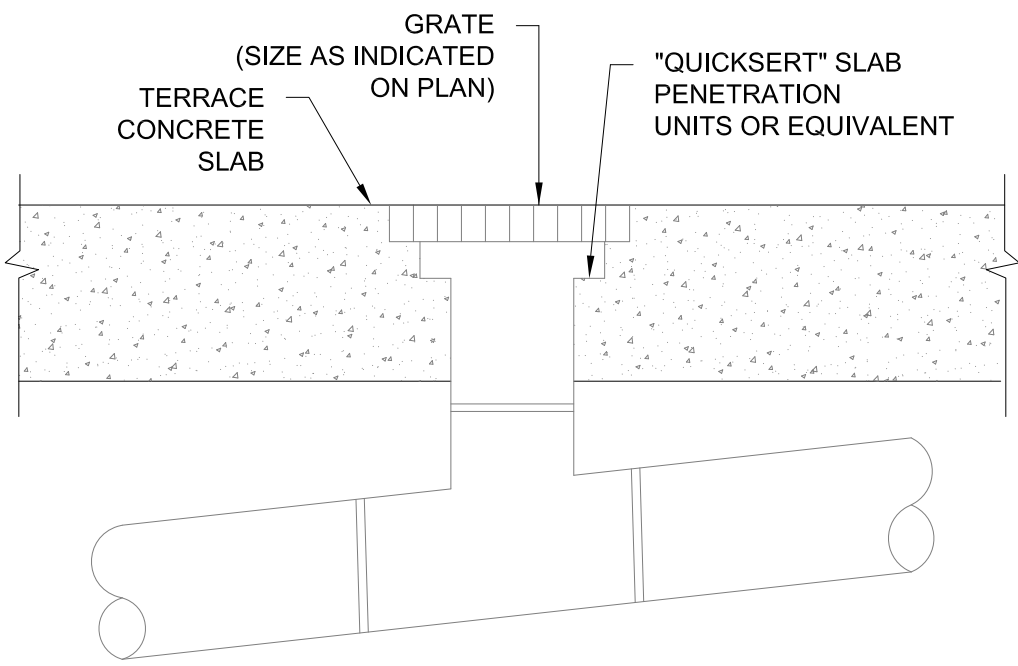
| | | | | | | |
|---|--|--|-------------------------------------|------------|----------|------------------|
| MBC ENGINEERING MBC ENGINEERING PTY LTD PO BOX 269, PARRAMATTA EMAIL: mbcconsulting@live.com MOBILE: 0432546227 | PROPOSED RESIDENTIAL AT: 21 RIGA AVE, GREENACRE | TITLE: STORMWATER DRAINAGE PLAN | DRAWN BY : | DATE : | JOB No : | SET OF : |
| | | | DESIGNED: C.Z.(BE, MIEAust 3928680) | 11/11/2020 | 2020830 | SHEET No : S1 |



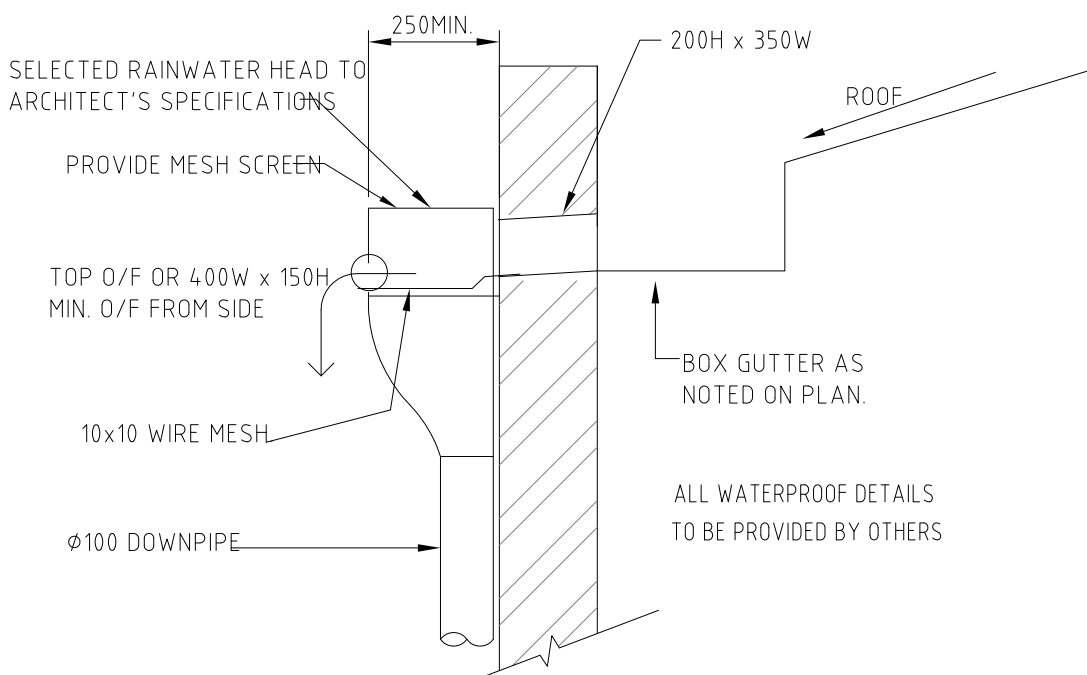
FIRST FLOOR PLAN



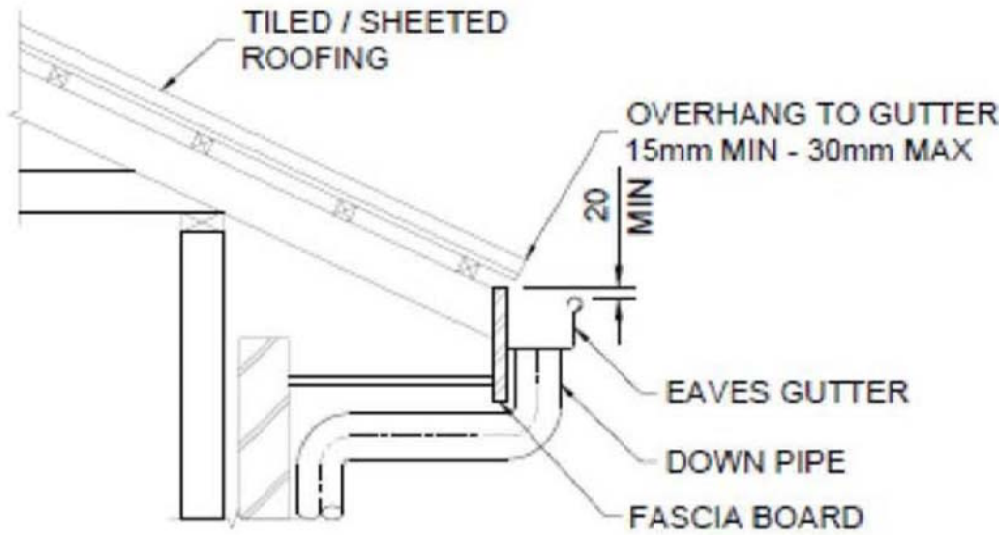
ROOF PLAN



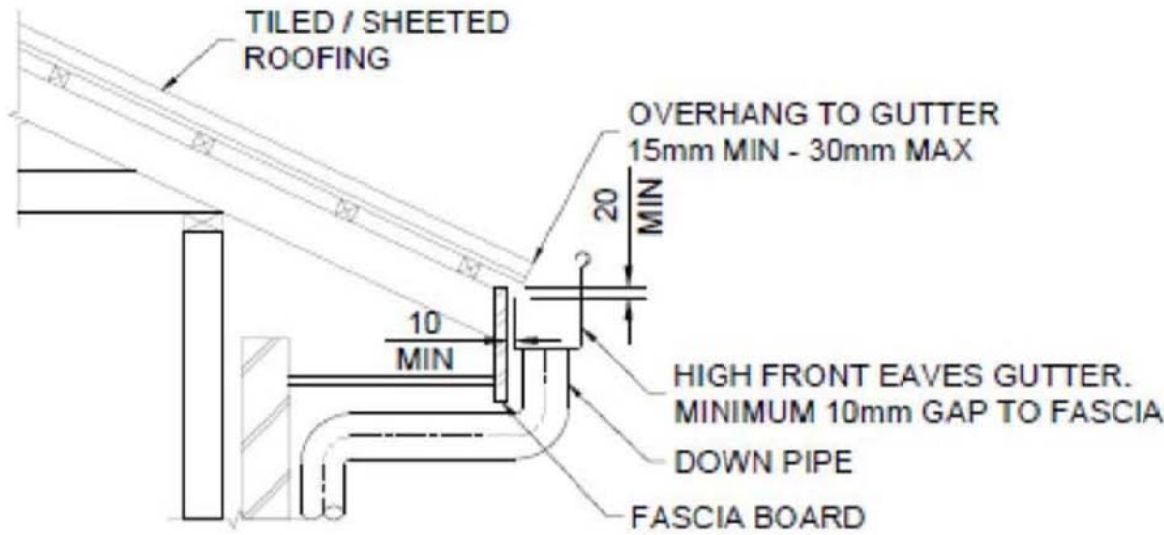
RAINWATER OUTLET DETAIL
N.T.S.



ROOF OUTLET/RAINHEAD DETAIL
N.T.S.



FRONT OVERFLOW



REAR OVERFLOW

TYPICAL EAVES GUTTER DETAIL
1:20

| | | | |
|-------|------------|------------------------|-------|
| | | | |
| 3 | 28/02/2022 | ISSUED FOR DA APPROVAL | JZ |
| 2 | 11/11/2020 | ISSUED FOR DA APPROVAL | JZ |
| 1 | 11/11/2020 | ISSUED FOR DA APPROVAL | JZ |
| ISSUE | DATE | REVISION & AMENDMENT | DRAWN |

MBC ENGINEERING

MBC ENGINEERING PTY LTD
PO BOX 269, PARRAMATTA
EMAIL: mbconsulting@live.com
MOBILE: 0432546227

PROPOSED RESIDENTIAL AT:

21 RIGA AVE, GREENACRE

TITLE:

STORMWATER DRAINAGE PLAN

DRAWN BY :

DATE :

11/11/2020

JOB No :

2020830

SET OF :

DESIGNED: C.Z.(BE, MIEAust 3928680)

SCALE :

1:100
1:20

SHEET No :

S2