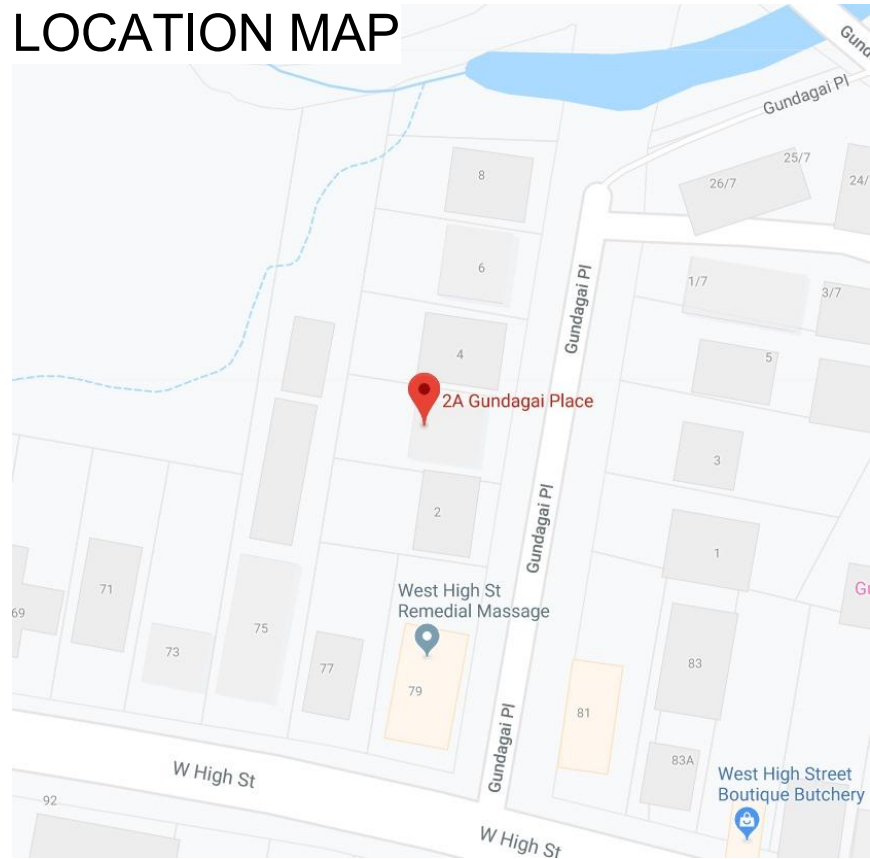



# PROPOSED NEW GENERATION BOARDING HOUSE @ 2A GUNDAGAI PL COFFS HARBOUR FOR MR GEORGE KARAM DEVELOPMENT APPLICATION

SHEET SCHEDULE	
SHEET	TITLE
000	COVER PAGE
1	LEP CONTROLS
2	SITE CONTEXT
3	SITE PLAN
4	FLOOR PLANS
5	ELEVATIONS
6	DETAILS
7	SHADOWS - JUN
8	MATERIALS & FINISHES

LOCATION MAP



		Member Australian Institute of Architects
issue k:	10/06/2020	issue g: DA - Add info - COS & parking
issue j:	22/11/2019	issue h: Additional Information - Manager
issue i:	31/07/2019	issue f: DA - Development Application
issue h:	18/06/2019	issue e: Client Changes
issue g:	06/06/2019	issue d: Client Changes
issue f:	04/06/2019	issue c: Client Sketch

drawing:	COVER PAGE	sheet size:	A3	Council
project:	PROPOSED NEW GENERATION BOARDING HOUSE @ 2A GUNDAGAI PL COFFS HARBOUR	scale:	as shown	ref: 2019-138
client:	MR GEORGE KARAM	date:	OCT 20	CHCC
drawn:	E.K.			
checked:	J.E.			

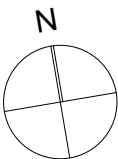
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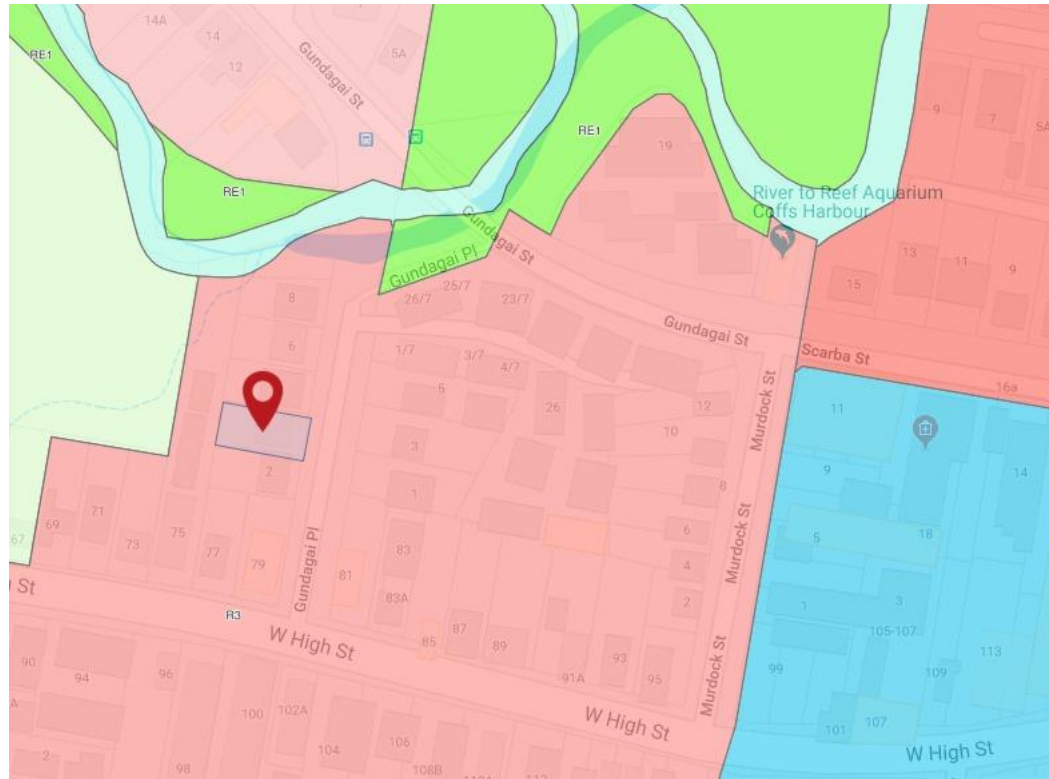
nominated architect - joe el-sabbagh 8707

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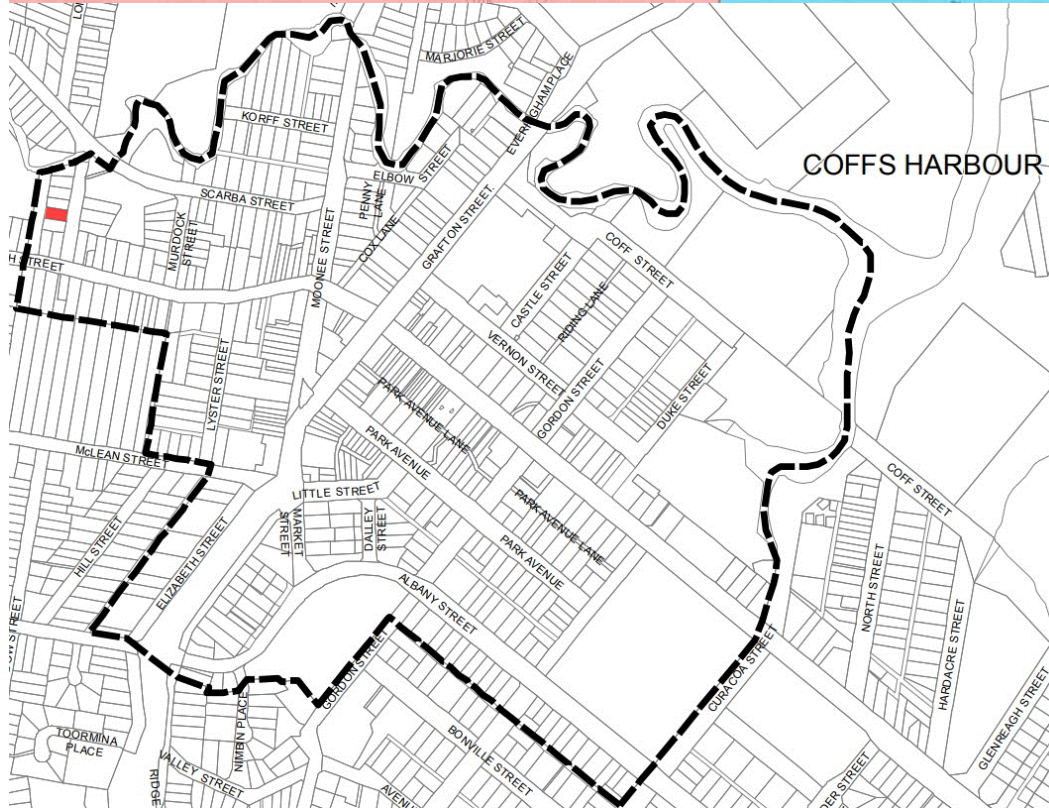
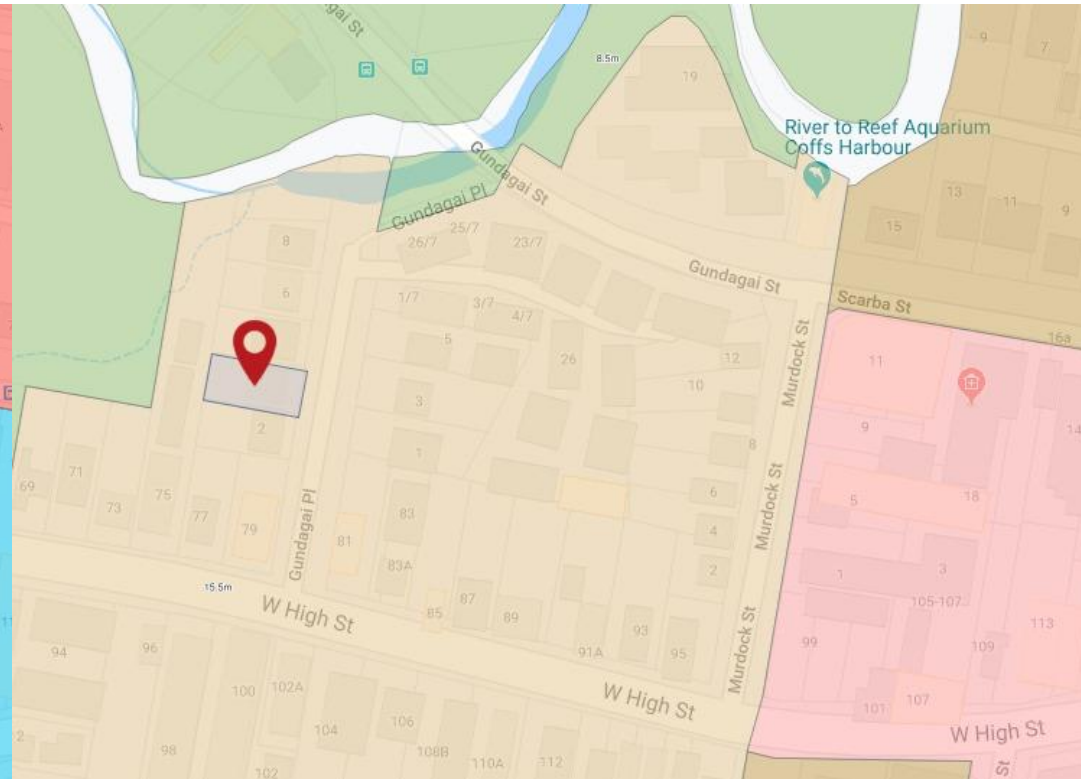




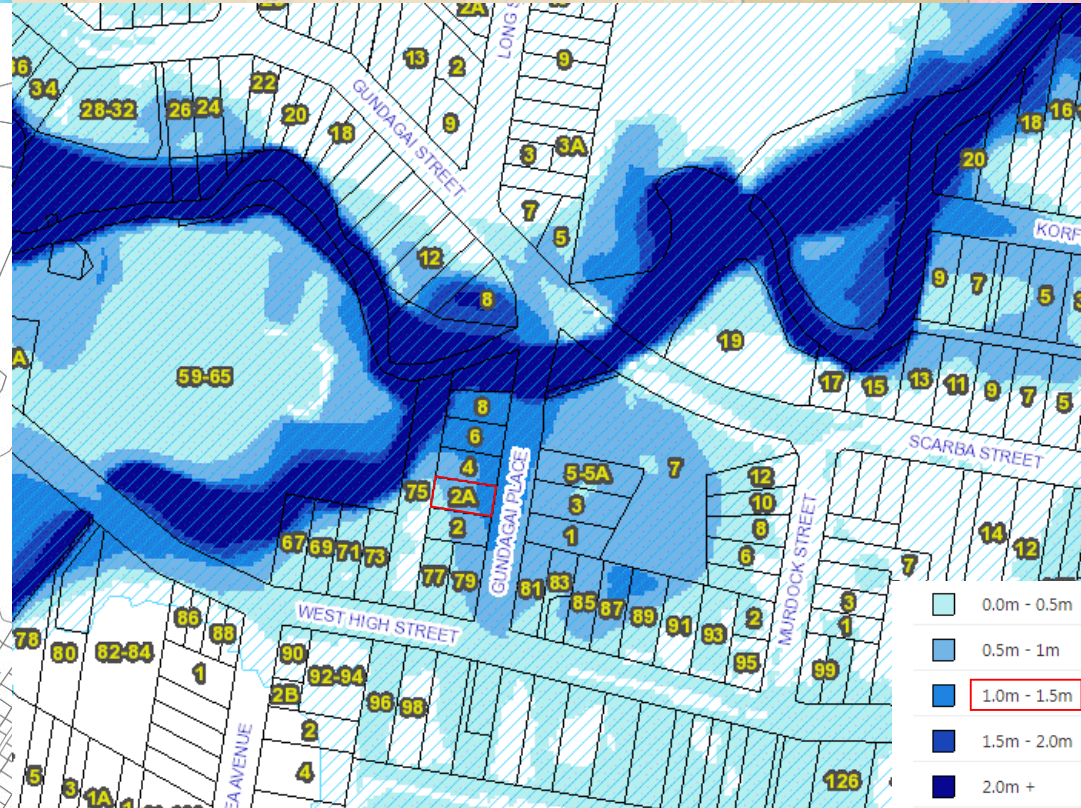
## ZONING - R3



## HEIGHT - max 15.5m



## COFFS HARBOUR CBD AREA



## COFFS CREEK FLOOD MAP

\* BUSHFIRE / HERITAGE / HABITAT AND VEGETATION CONSTRAINTS NOT APPLICABLE AS PER COFFS HARBOUR LEP MAPS

drawing: LEP CONTROLS

project: PROPOSED NEW GENERATION BOARDING  
HOUSE @ 2A GUNDAGAI PL COFFS HARBOUR

client: MR GEORGE KARAM

drawn: E.K. scale: as shown

checked: J.E. date: OCT 20

sheet size: A3

ref: 2019-138

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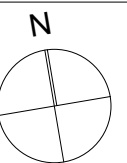
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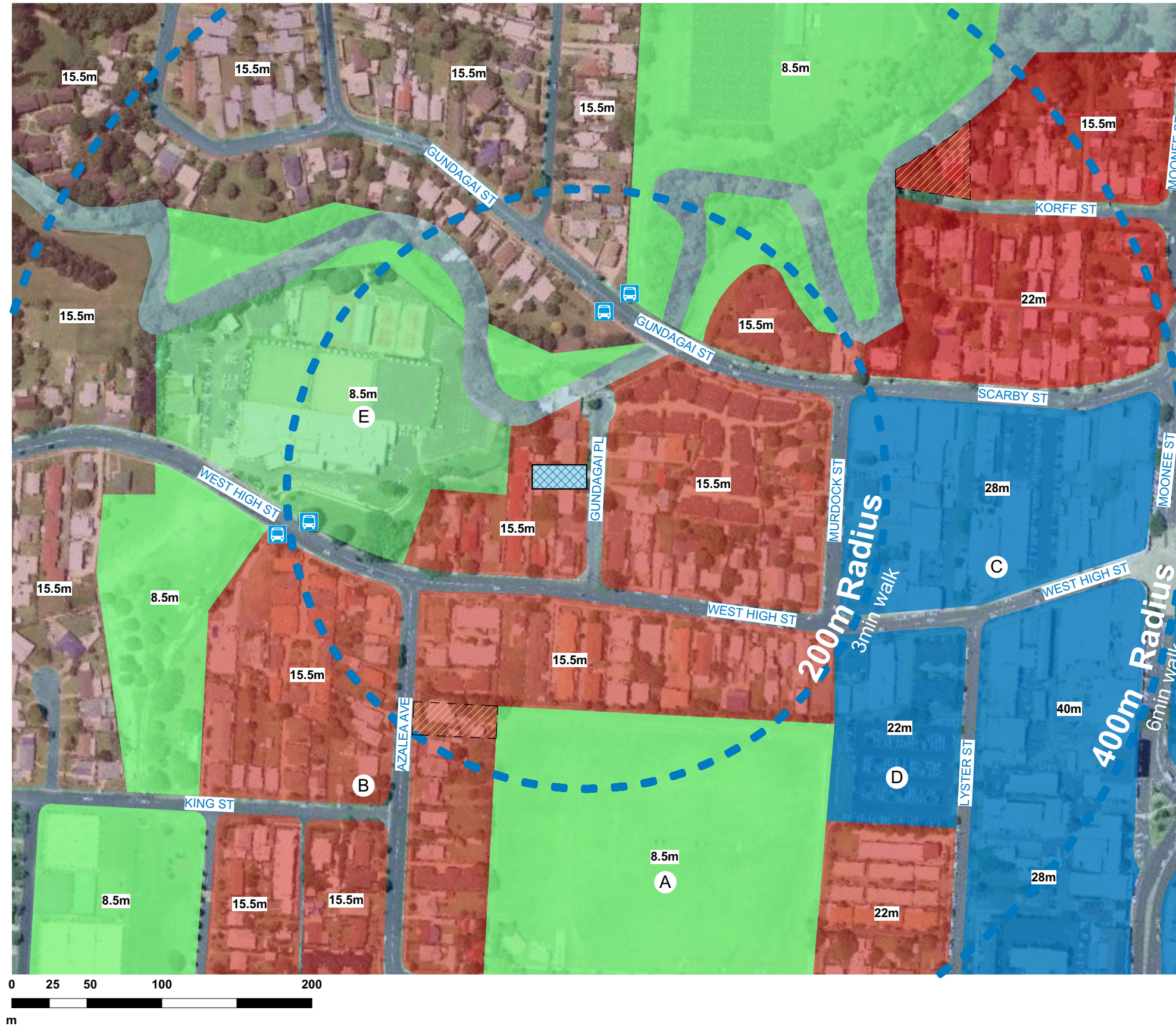
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1:3000



17m Max Height of Building



Member  
Australian  
Institute of  
Architects

issue k:		
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issue i:		
issue h:		
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issue a: <b>Client Sketch</b>		

Drawing: **SITE CONTEXT**

---

Project: **PROPOSED NEW GENERATION BOARDING HOUSE @ 2A GUNDAGAI PL COFFS HARBOUR**

Client:	<b>MR GEORGE KARAM</b>		
Drawn:	E.K.	scale: as shown	sheet size: A3
Checked:	J.E.	date: OCT 20	ref: 2019-138
			Council CHCC

## G 2

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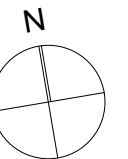


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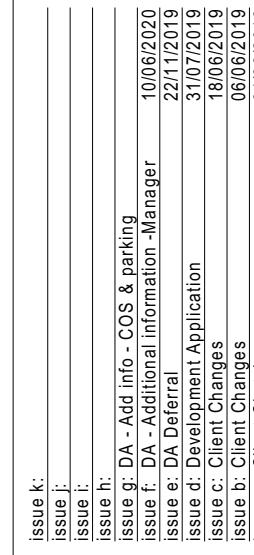
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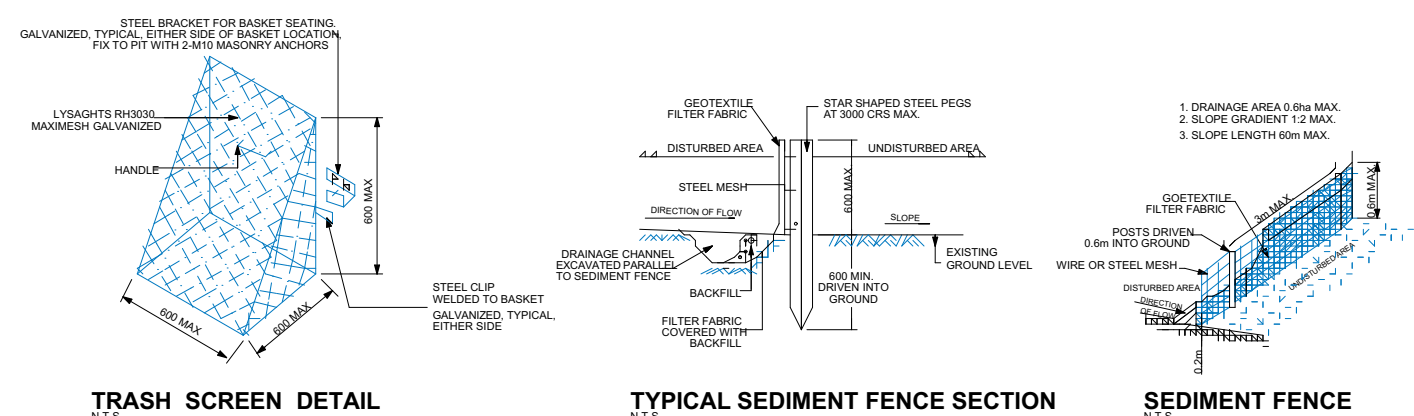
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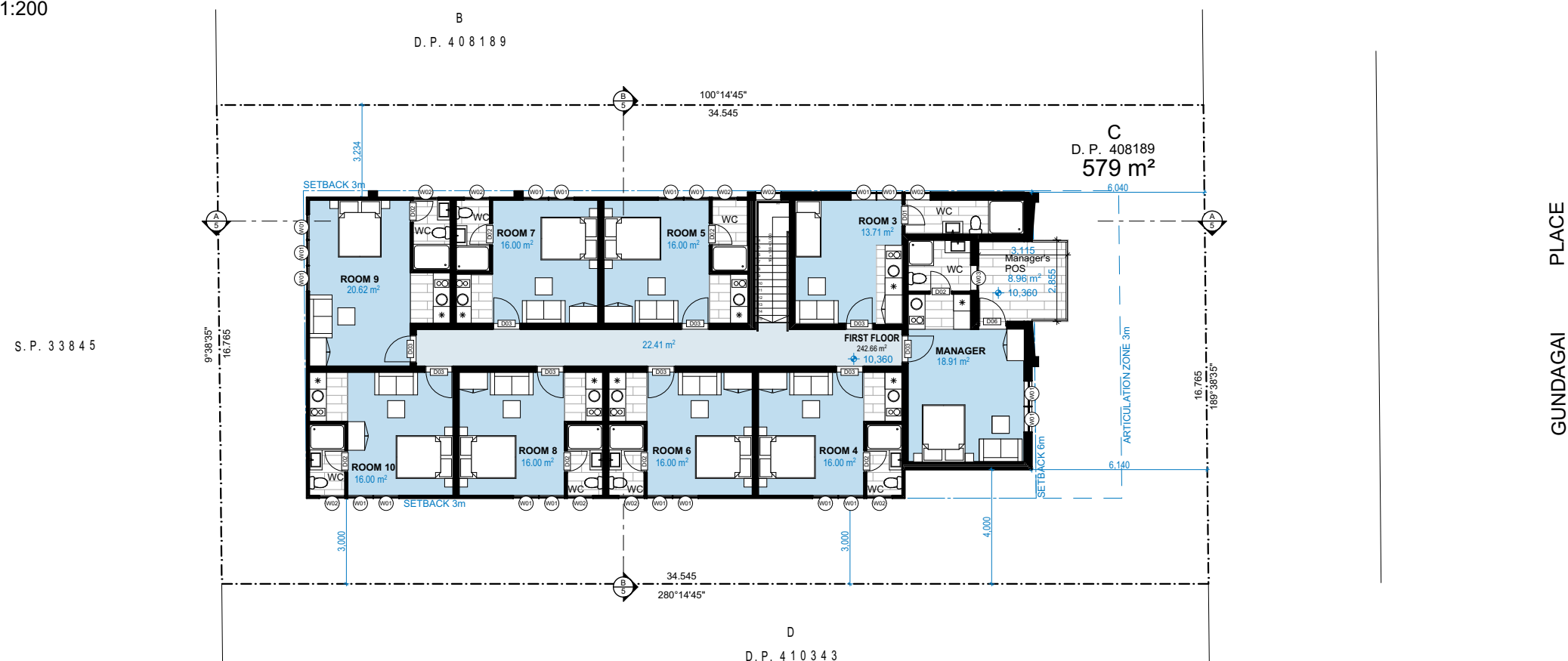
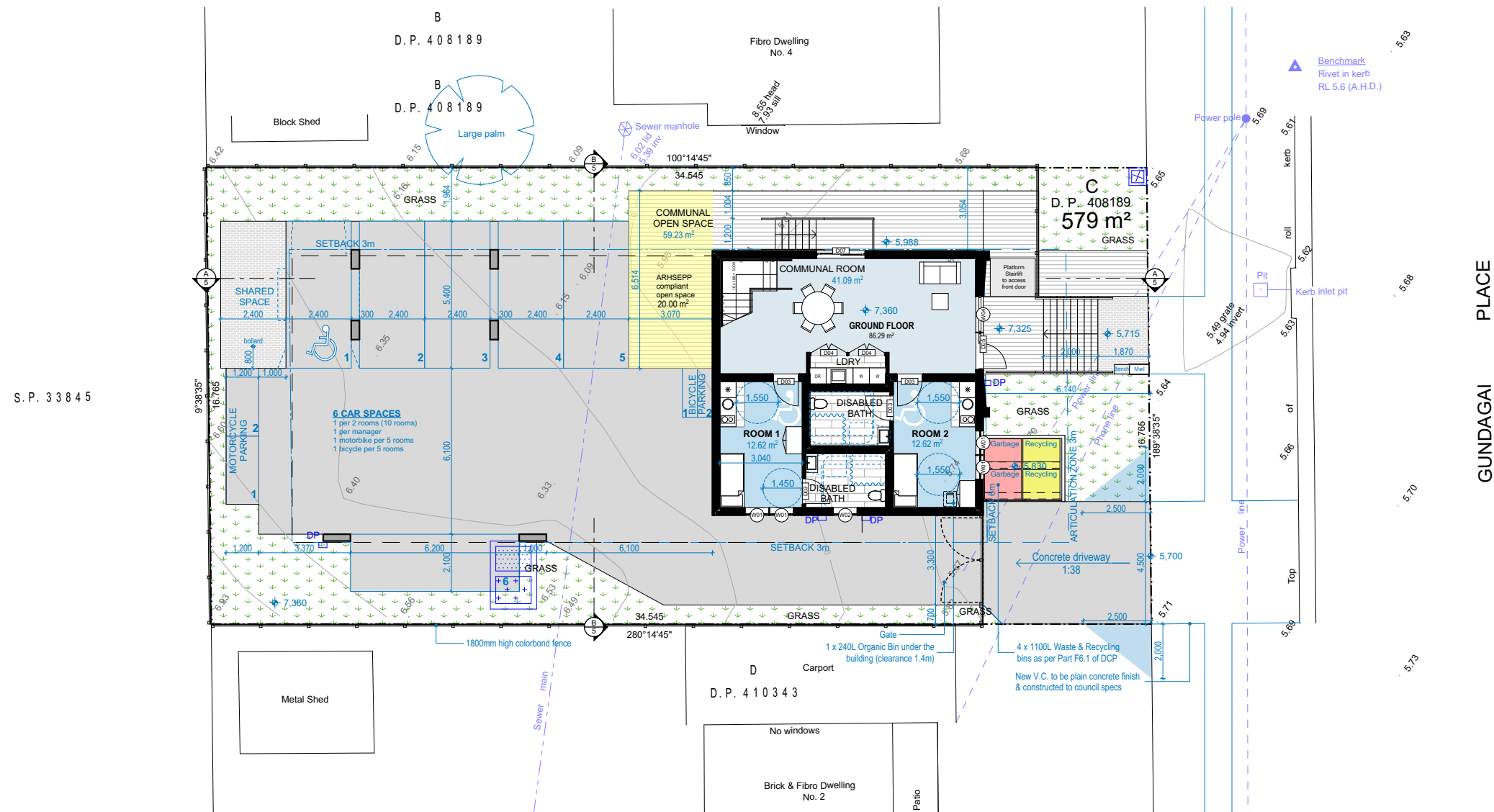






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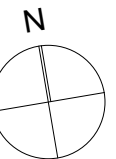
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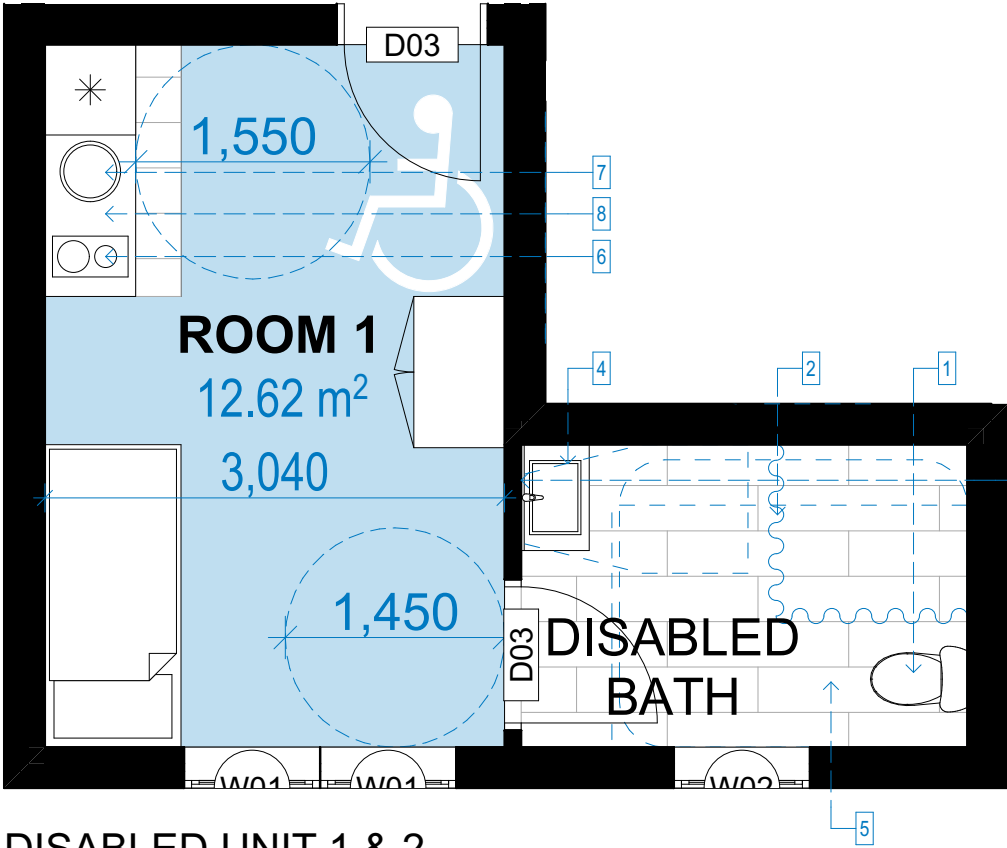
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DISABLED UNIT 1 & 2  
1:50

DOOR SCHEDULE						
ID	TYPE	HEIGHT	WIDTH	PLAN	ELEVATION	Q
D01	SINGLE SWING DOOR	2,070	720			1
D02	SINGLE SWING DOOR	2,070	720			8
D03	SINGLE SWING DOOR	2,070	920			13
D04	DOUBLE SWING DOOR	2,070	1,315			2
D05	SINGLE SWING DOOR W/SIDELIGHT	2,200	945			1
D06	SINGLE SWING DOOR	2,360	920			1
D07	SLIDING DOOR	2,400	1,800			1

WINDOW SCHEDULE							
ID	TYPE	SILL	WIDTH	HEIGHT	PLAN	ELEVATION	Q
W01	DOUBLE HUNG WINDOW (OBSCURE BELOW)	600	900	1,800			23
W02	DOUBLE HUNG WINDOW (OBSCURE)	600	900	1,800			10
W03	FIXED WINDOW	600	900	1,800			1
W04	FIXED WINDOW	0	1,330	2,700			1

- 1

DOWNWARD FOLDING SEAT
- 2

USE CURTAIN TO PREVENT WATER SPLASHING - NO HOB
- 3

DOUBLE GPO BESIDE MIRROR
- 4

VERTICALLY ADJUSTABLE WASH BASIN WITH SPACE UNDER FOR WHEELCHAIR ACCESS. USE LEVER TYPE HANDLE FOR TAPS
- 5

APPLY NON SLIPPERY FLOOR FINISH TO BATHROOM FLOOR
- 6

HEIGHT ADJUSTABLE HOTPLATE WITH WHEELCHAIR ACCESS UNDER
- 7

HEIGHT ADJUSTABLE SINK WITH WHEELCHAIR ACCESS UNDER
- 8

HEIGHT ADJUSTABLE BENCHTOP WITH WHEELCHAIR ACCESS

**ANCILLARY ITEMS.**  
\*Switches located 900-1100 mm above floor in line with door handles.  
\*GPOs located not less then 600mm above floor  
\*Electrical distribution board located inside housing unit

**LIVING & DINING RM.**  
\*Minimum of 4 GPOs  
\*Telephone adjacent to GPOs  
\*Telephone outlet location between kitchen & living space, adjacent to GPOs  
\*Two TV antenna outlets to GPOs (positioned so viewing from kitchen & dining is achievable)

**MAIN BED RM.**  
\*Two double GPOs on the wall where bedhead is likely to be  
\*Minimum of one GPO on opposite wall  
\*Telephone outlet next to bed on the side closest to door (with GPO adjacent to telephone outlet)  
\*TV antenna point and double GPO on opposite wall to bedhead  
\*2-way light switches one located above bedhead.1000 mm high above floor

SITE DATA	
SITE AREA	579.00 m²
DWELLING	
Ground Floor Area	86.29
First Floor Area	242.66
Total	328.95
FSR	1 = 0.568

COMPLIANCE TABLE			
CONTROL	REQUIRED	PROPOSED	Compliance
Site Area (m²) <sup>R4</sup>	na	579.00	YES
Site Coverage (max 50% )	289.5	146.53	YES
Street Frontage Setback	6m	6m	YES
Side Setback	3m	3m	YES
Rear Setback	3m	3m	YES
Building Height	max 22m	10.89m	YES
Communal Living room	If boarding Has 5 or more Boarding rooms	10 rooms proposed - 1 Communal Rooms provided	YES
Solar Access	Communal living rooms minimum 3 hours direct sunlight 9:00am to 3:00pm mid winter	Common room receiving min 3 hrs of direct sunlight linked to open courtyard	YES
Min. Landscape	Landscaping of front setback area compatible with streetscape	Proposed courtyard fencing and landscaping compatible with streetscape	YES
Private Open Space	Min 20m²; min dimension 3m	All rooms have access to shared open courtyard and garden 20m2 (min dim 3m)	YES
Parking	0.5 spaces/ 10 rooms = 5 + 1 Manager	6	YES
Parking (Motor cycle) / (Bicycle)	Minimum 1 space bicycle and 1 space motorcycle for every 5 boarding rooms	2 - Motorcycles 2 - Bicycles	YES

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issue a: Client Sketch	

drawing: DETAILS

project: PROPOSED NEW GENERATION BOARDING HOUSE @ 2A GUNDAGAI PL COFFS HARBOUR

client: MR GEORGE KARAM

drawn: E.K.

checked: J.E.

scale: as shown

sheet size: A3

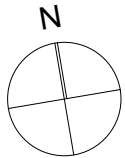
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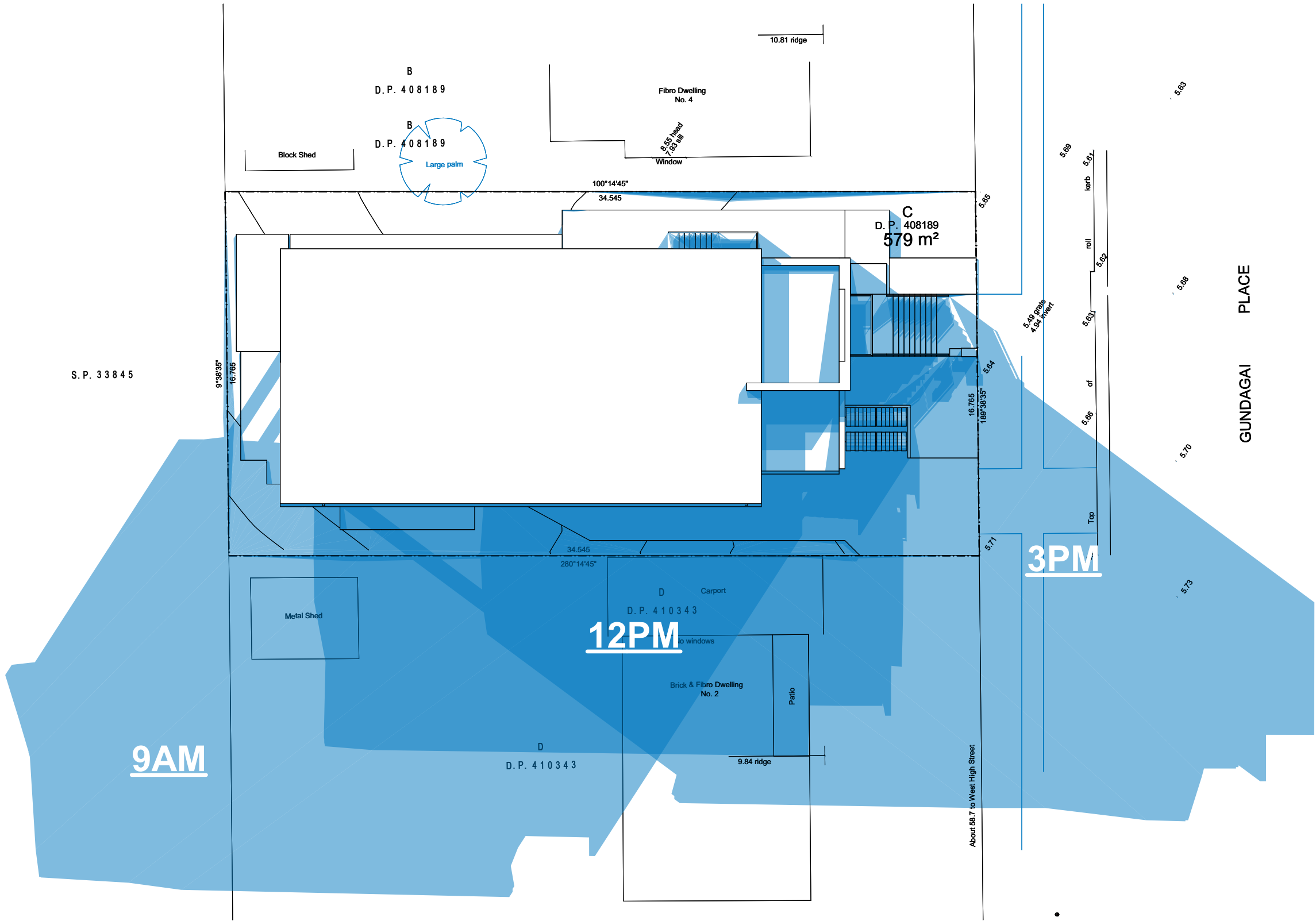
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SHADOW ANALYSIS

1:200



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drawing:	SHADOWS - JUN
project:	PROPOSED NEW GENERATION BOARDING HOUSE @ 2A GUNDAGAI PL COFFS HARBOUR
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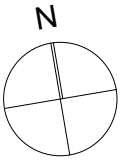
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# SCHEDULE OF MATERIALS & FINISHES

## @ 2A GUNDAGAI PL COFFS HARBOUR

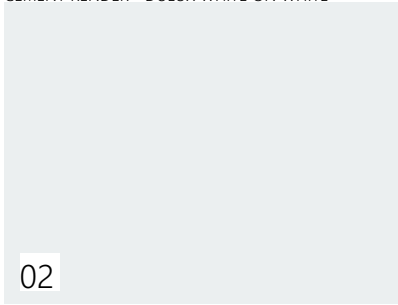
### DEVELOPMENT APPLICATION



EXTERNAL BRICK WALLS  
FACE BRICK - PGH OLYMPUS



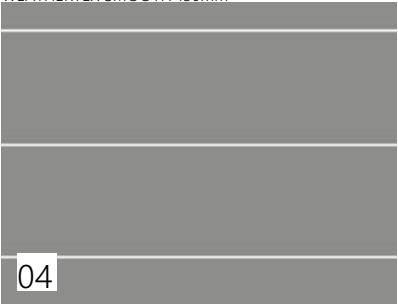
EXTERNAL RENDER 01  
CEMENT RENDER - DULUX WHITE ON WHITE



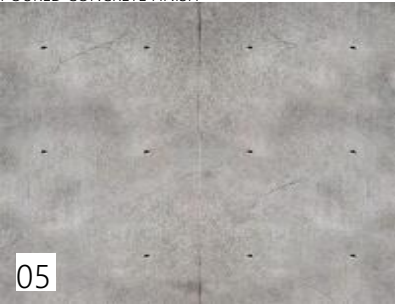
EXTERNAL CLADDING 01  
TIMBER FINISH - WOOD WALNUT



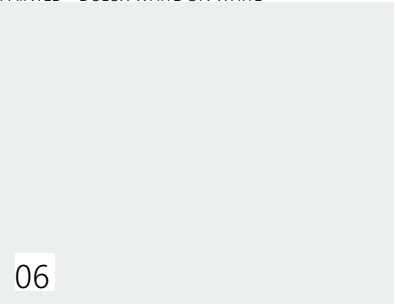
EXTERNAL CLADDING 02  
WEATHERTEX SMOOTH 150mm



EXTERNAL FINISH  
POURED CONCRETE FINISH



FASCIA & SOFFIT  
PAINTED - DULUX WHITE ON WHITE



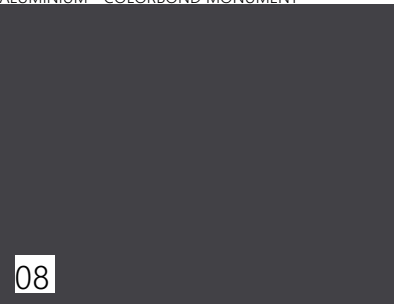
DRIVEWAY  
CHARCOAL CONCRETE



BALUSTRADE, FRONT  
FENCE & GUTTERS  
ALUMINIUM - COLORBOND MONUMENT

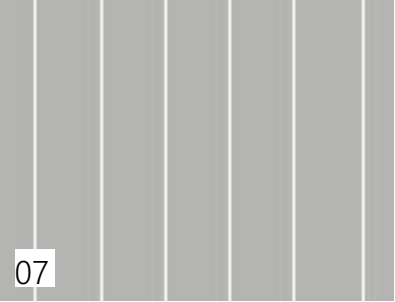


DOORS & WINDOWS  
ALUMINIUM - COLORBOND MONUMENT



ROOF MATERIAL

METAL SHEETING - COLORBOND SHALE GREY



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drawing:	MATERIALS & FINISHES
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