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PO Box : 585, East Maitland, 2323

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WITHOUT AUTHORISATION.

CLIENT
BILL JOHNSON

DATE
14/10/15

DETAILS
66 HILLSBOROUGH ROAD, HILLSBOROUGH
LOT 33, DP 802761

PROJECT
PARTIAL IDENT

1:1200
JOB No. 14810

CW
CW



ROAD

HILLSBOROUGH

33
DP 802761



BDY-WALL
9.15

287.93

178.77

148.68

146.67

RIGHT OF CARRIAGEWAY 15 WIDE

DESIGN DOCUMENTATION

DWG No.	DRAWING TITLE	SCALE	NTS
WD01	COVER SHEET & BASIX	1 : 100	
WD02	FLOOR PLAN RESIDENCE	1 : 100	
WD03	FLOOR PLAN GARAGE	1 : 100	
WD04	ELEVATIONS	1 : 100	
WD05	ELEVATIONS	1 : 100	
WD06	SECTIONS	1 : 100	
WD07	ENGINEERING - FOOTING RESIDENCE	1 : 100	
WD08	ENGINEERING - FOOTING GARAGE	1 : 50	
WD09	ENGINEERING DETAILS	1 : 20	
WD10	RESIDENCE ROOF PLAN	1 : 200	
WD11	GARAGE ROOF PLAN	1 : 100	
WD12	SITE & STORMWATER PLAN	1 : 20	

BASIX	
Project name JOHNSON	Project type
Street address 66 HILLSBOROUGH Road HILLSBOROUGH 2320	Dwelling type Attached dwelling house
Local Government Area Maitland City Council	Type of alteration and addition
Plan type and number Deposited Plan 802761	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).
Lot number 33	
Section number 0..	
Glazing requirements The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhead glazing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with improved frames, or polylytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Feroglas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	
Windows and glazed doors	

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that (a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists. Construction Additional insulation required (R-value) Other specifications suspended floor with enclosed subfloor:
framed (R0.7).
R0.60 (down) (or R1.30 including construction)
external wall: framed (weatherboard, fibro, metal clad)
R1.30 (or R1.70 including construction)
flat ceiling, pitched roof ceiling: R1.45 (up), roof: foil backed blanket (75 mm)
dark (solar absorptance > 0.70)
raked ceiling, pitched/skillion roof: framed ceiling: R1.74 (up), dark (solar absorptance > 0.70)
foil backed blanket (75 mm)

Windows and glazed doors glazing requirements

W1 SE 0,08 0 0 eave/verandah/pergola/balcony	<=450 mm
W2 NE 4,8 0 0 eave/verandah/pergola/balcony	6,44, SHGC: 0,75)
(U-value: 4,48, SHGC: 0,75)	improved aluminium, single clear, (U-value:
W3 NW 0,08 0 0 eave/verandah/pergola/balcony	<=450 mm
(U-value: 4,48, SHGC: 0,46)	improved aluminium, single pyrolytic low-e,
W4 NE 0,36 0 0 eave/verandah/pergola/balcony	<=450 mm
(U-value: 4,48, SHGC: 0,46)	improved aluminium, single pyrolytic low-e,
W5 E 4 0 0 eave/verandah/pergola/balcony	<=900 mm
(U-value: 4,48, SHGC: 0,46)	improved aluminium, single clear, (U-value:
6,44, SHGC: 0,75)	



Plot Date: 8/08/2016	
Amendments:	
Rev: Detail: Date:	
D r a w i n g :	
project	
DEVELOPMENT APPLICATION	
&	
CONSTRUCTION CERTIFICATE	
PROPOSED EXTENSION, RENOVATION & GARAGE EXTENSION	
COVER SHEET & BASIS	
client	
MR & MRS B. JOHNSON	
site	
LOT 33 DP 802761 66 HILLSBOROUGH ROAD, HILLSBOROUGH NSW 2320 MATTLAND CITY COUNCIL	
status	
DA & CC	
scale	
AS NOTED (A3 SHEET)	
drawn	
B.C.	
file	
114/2016	
WD01	
of 12	

Multi-Award Winning Building Design Company
 residential - commercial - industrial - heritage

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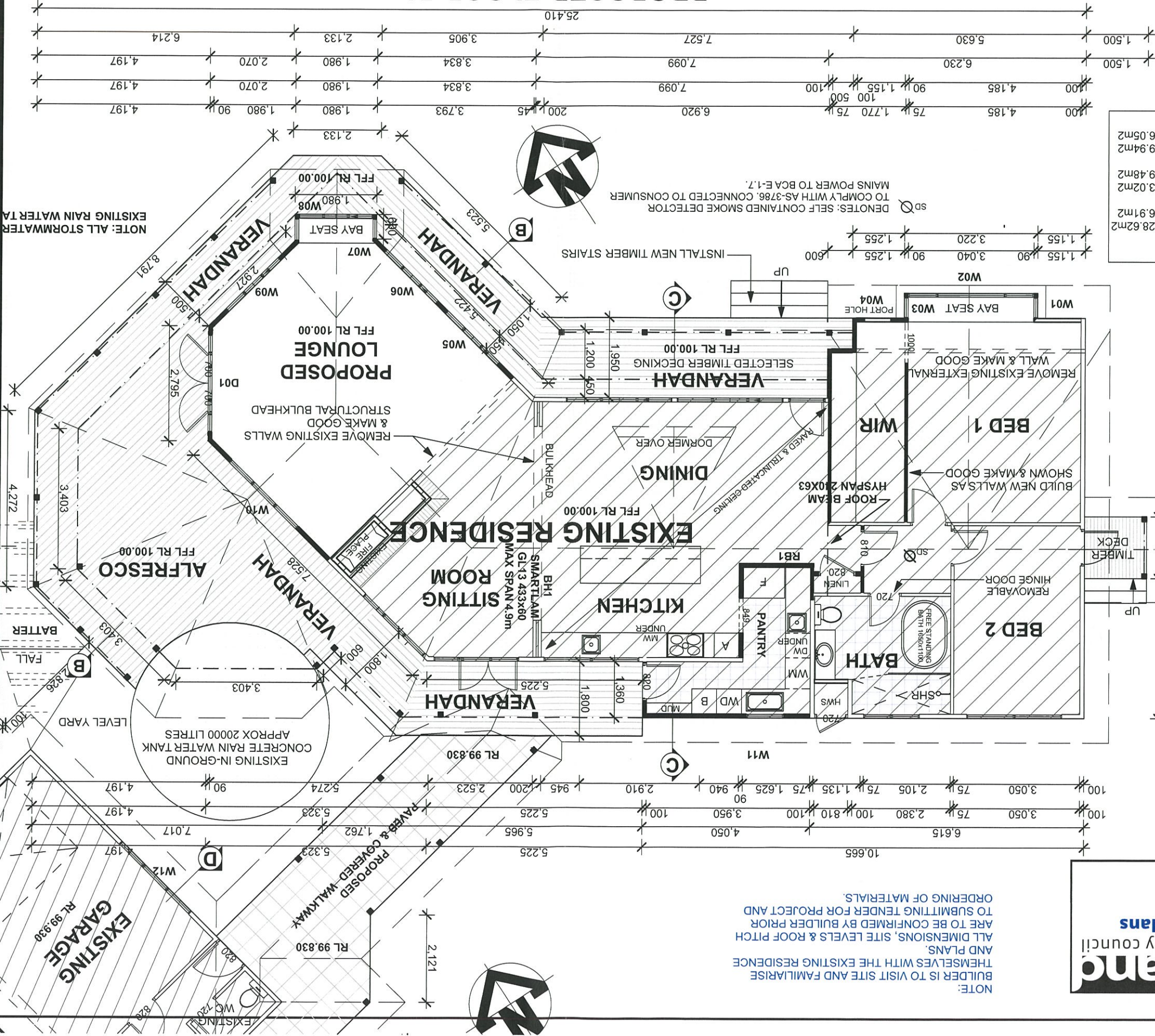
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 NSW 2323
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NOTE:
BUILDER IS TO VISIT SITE AND FAMILIARISE
THEMSELVES WITH THE EXISTING RESIDENCE
AND PLANS.
ALL DIMENSIONS, SITE LEVELS & ROOF PITCH
ARE TO BE CONFIRMED BY BUILDER PRIOR
TO SUBMITTING TENDER FOR PROJECT AND
ORDERING OF MATERIALS.

FLOOR AREAS:	
EXISTING RESIDENCE	128.62m ²
EXISTING VERANDAH	16.91m ²
PROPOSED EXTENSION	43.02m ²
PROPOSED VERANDAH	69.48m ²
EXISTING GARAGE	39.94m ²
PROPOSED EXTENSION	36.05m ²



PROPOSED FLOOR PLAN

SCALE 1 : 100 @ A3

Drawing :
 Project
 DEVELOPMENT APPLICATION
 &
 CONSTRUCTION CERTIFICATE
 PROPOSED EXTENSION,
 REMOVAL & GARAGE
 EXTENSION
 RESIDENCE PART FLOOR PLAN
 client
 MR & MRS B. JOHNSON
 Site
 LOT 33 DP 802761
 66 HILLSBOROUGH ROAD,
 HILLSBOROUGH NSW 2320
 MAITLAND CITY COUNCIL
 status DA & CC
 scale AS NOTED (A3 SHEET)
 drawn B.C.
 title 11/4/2016
 WD02 of 12

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a: po box 114, east maitland 2323

MR & MRS B. JOHNSON

LOT 33 DP 802761

66 HILLSBOROUGH ROAD,
HILLSBOROUGH NSW 2320

MAITLAND CITY COUNCIL

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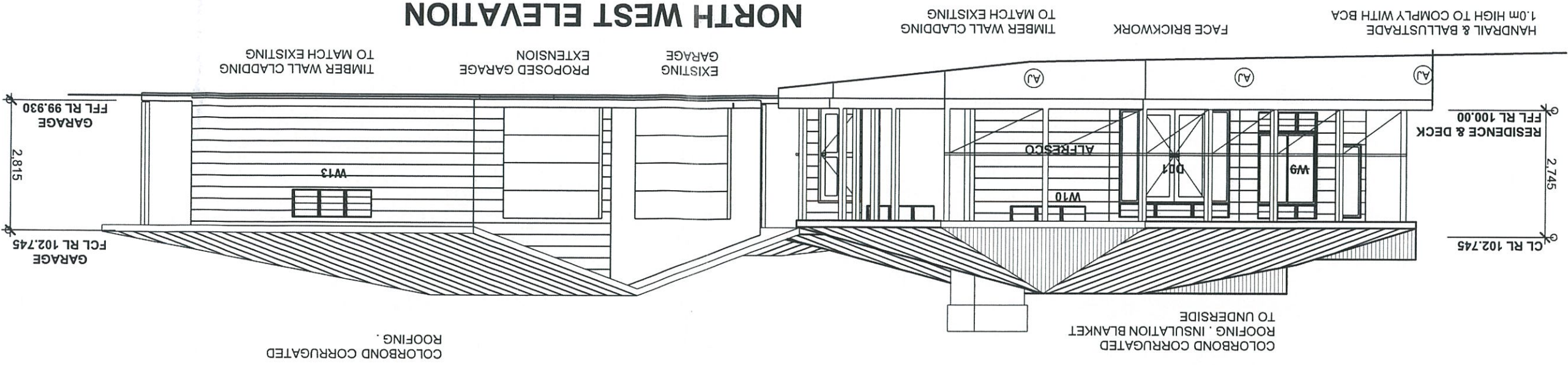
11/4/2016

WDO4

DEVELOPMENT APPLICATION
&
CONSTRUCTION CERTIFICATE
PROPOSED EXTENSION,
RENOVATION & GARAGE
EXTENSION

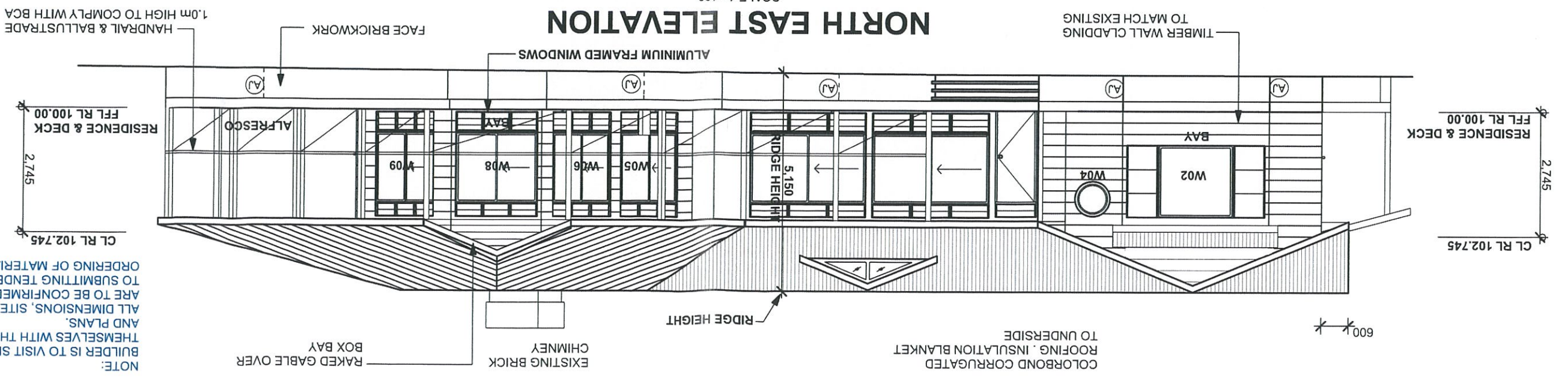
SCALE 1 : 100

NORTH WEST ELEVATION



NORTH EAST ELEVATION

SCALE 1 : 100

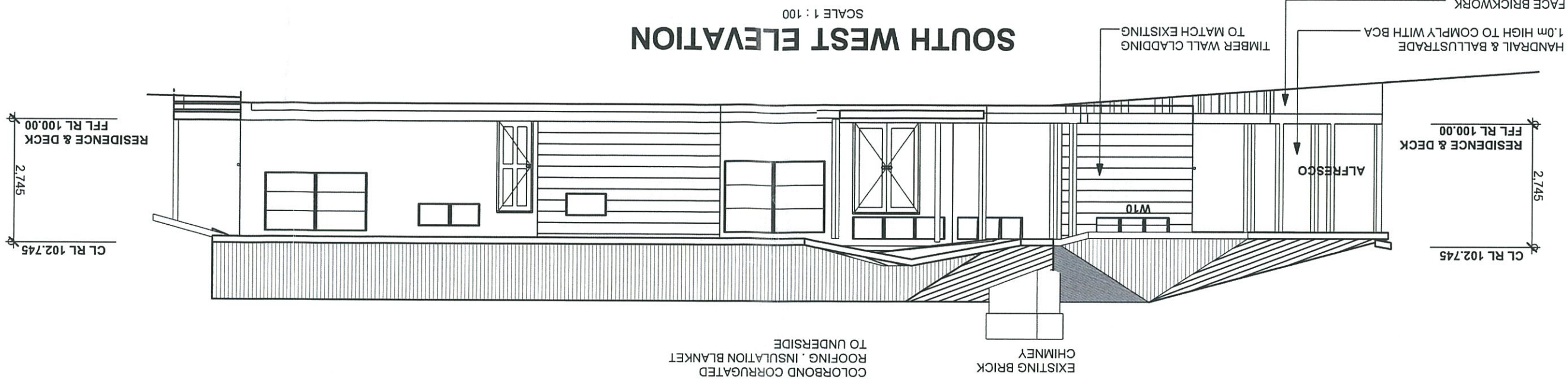


SOUTH WEST ELEVATION

SCALE 1 : 100

DEVELOPMENT APPLICATION
&
CONSTRUCTION CERTIFICATE
PROPOSED EXTENSION,
RENOVATION & GARAGE
EXTENSION

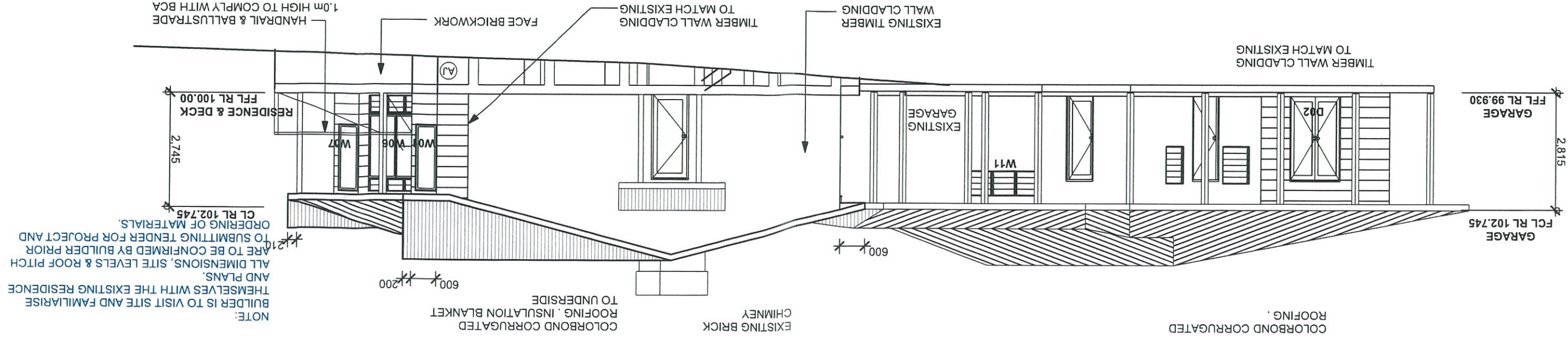
MR & MRS B. JOHNSON
LOT 33 DP 802761
66 HILLSBOROUGH ROAD,
HILLSBOROUGH NSW 2320
MAITLAND CITY COUNCIL
DA & CC
AS NOTED (A3 SHEET)
11/4/2016



maitland
city council
Approved Plans
NO. DA16-1945
NO. CC16-1946
20/09/2016

SOUTH EAST ELEVATION

SCALE 1 : 100



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TO SUBMITTING TENDER FOR PROJECT AND
ORDERING OF MATERIALS.

PLOT DATE: 8/08/2016

AMENDMENTS:

REV:	DETAIL:

DATE:

DRAWING:

PROJECT:

DEVELOPMENT APPLICATION
&
CONSTRUCTION CERTIFICATE

PROPOSED EXTENSION,
RENOVATION & GARAGE
EXTENSION

TITLE:

SECTION A-A

CLIENT:

MR & MRS B. JOHNSON

SITE:

LOT 33 DP 802761
66 HILLSBOROUGH ROAD,
HILLSBOROUGH NSW 2320
MAITLAND CITY COUNCIL

STATUS:

DA & CC

DRAWN:

B.C.

FILE:

114/2016

WD06

OF 12

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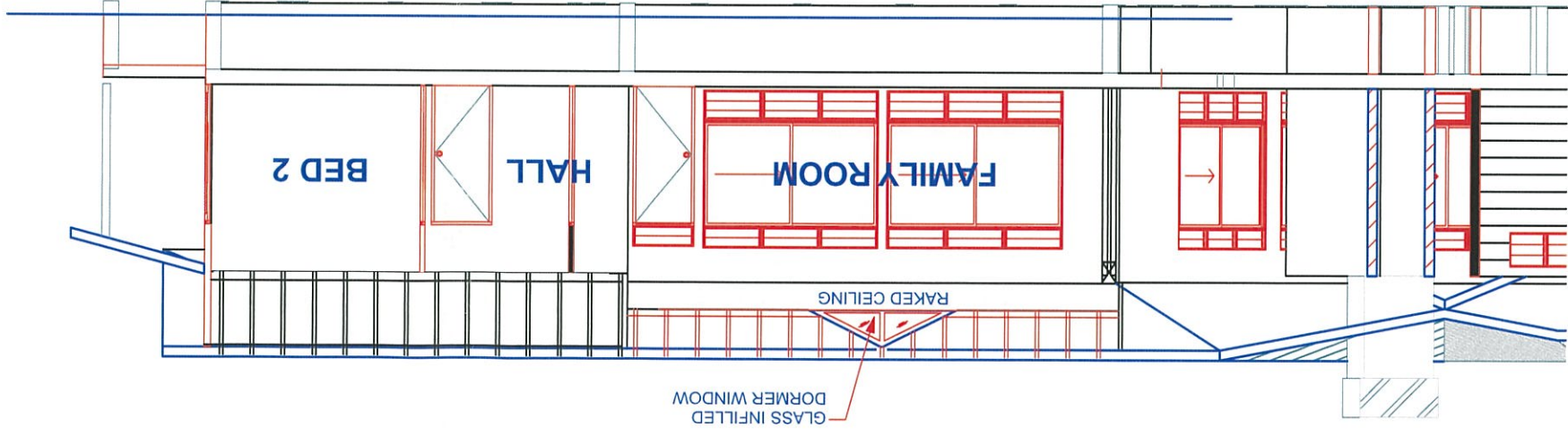
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residential - commercial - industrial - heritage

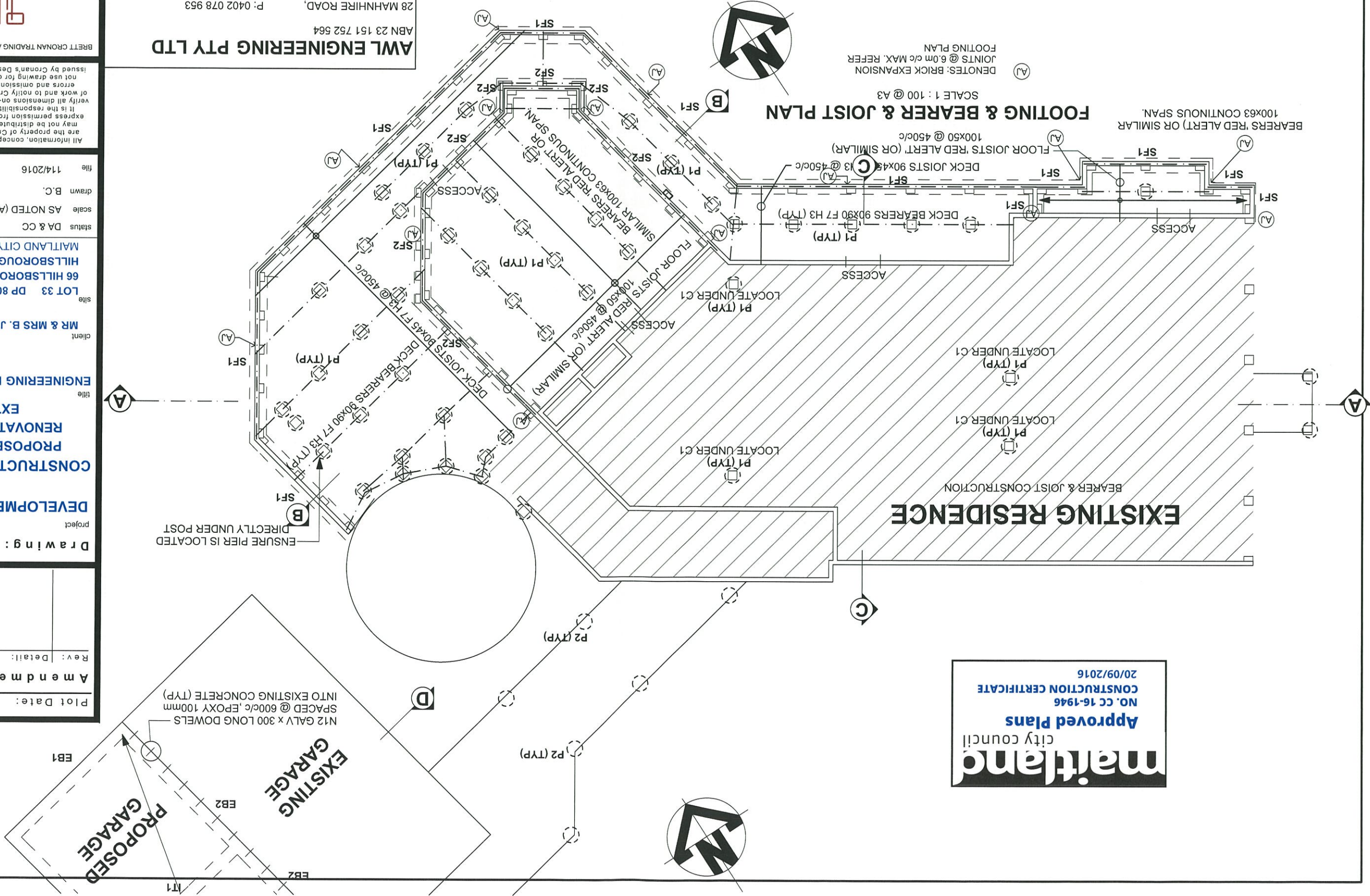
mt: 0416 092 264

or: po box 114, east maitland 2323



SECTION A-A
SCALE 1 : 100

SECTION A-A (1)



AWL ENGINEERING PTY LTD
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28 MAHNNHIRE ROAD,
WYEE NSW 2259
P: 0402 078 953
E: dbwf@intermode.on.net

DRAWN: BC
JOB 114 / 2016

APPROVED: STRUCTURALLY ADEQUATE.
Dawson - Clough
DAMIEN WARING-FLOOD (B.E.)

SOIL CLASSIFICATION
ASSUMED
SITE CLASSIFICATION
WIND CLASSIFICATION
M.
M.
N2

Approved Plans
city council
NO. CC 16-1946
CONSTRUCTION CERTIFICATE
20/09/2016

Development Application & Construction Certificate
PROPOSED EXTENSION,
RENOVATION & GARAGE
EXTENSION
ENGINEERING FOOTING DETAILS

client: MR & MRS B. JOHNSON
site: LOT 33 DP 802761
66 HILLSBOROUGH ROAD,
HILLSBOROUGH NSW 2320
MAITLAND CITY COUNCIL

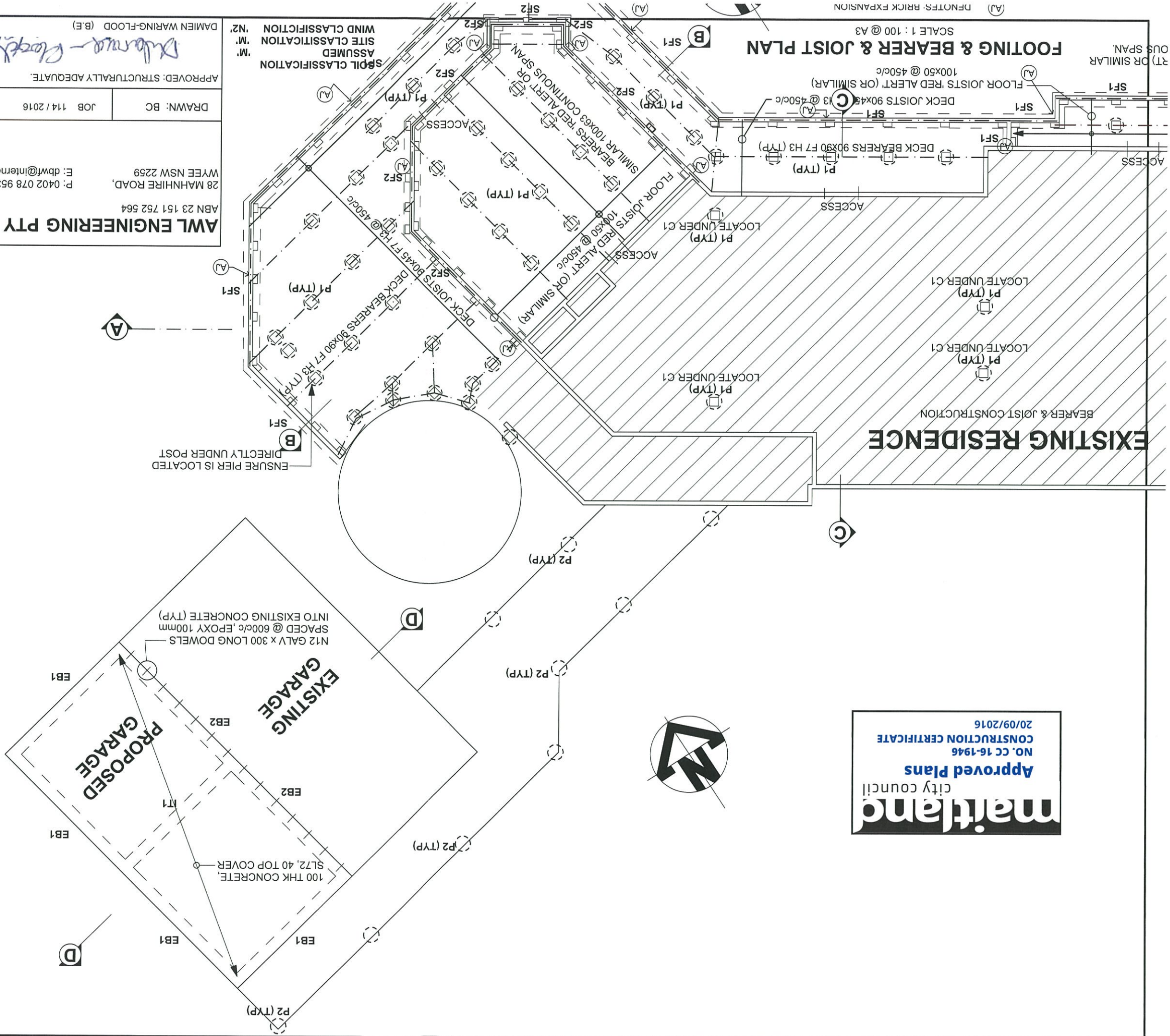
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scale: AS NOTED (A3 SHEET)
drawn: B.C.
file: 114/2016
WD07 of 12

Project: **DEVELOPMENT APPLICATION & CONSTRUCTION CERTIFICATE**
Title: **PROPOSED EXTENSION, RENOVATION & GARAGE EXTENSION**
ENGINEERING FOOTING DETAILS

Drawing:

Amendments:
Plot Date: 8/08/2016
Rev: Detail:
Date:

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28 MAHNNHIRE ROAD,
WYEE NSW 2259

P: 0402 078 953
E: dbwf@internode.on.net

DRAWN: BC

JOB 114/2016

APPROVED: STRUCTURALLY ADEQUATE.

Debra - Cloete

DAMIEN WARING-FLOOD (B.E)

Plot Date: 8/08/2016

Amendments:

Rev: Detail:

Date:

Drawing:

project

DEVELOPMENT APPLICATION & CONSTRUCTION CERTIFICATE

PROPOSED EXTENSION, RENOVATION & GARAGE EXTENSION

ENGINEERING FOOTINGS

client

MR & MRS B. JOHNSON

site

LOT 33 DP 802761

66 HILLSBOROUGH ROAD,
HILLSBOROUGH NSW 2320

MAITLAND CITY COUNCIL

status

DA & CC

scale

AS NOTED (A3 SHEET)

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B.C.

file

114/2016

WD08 of 12

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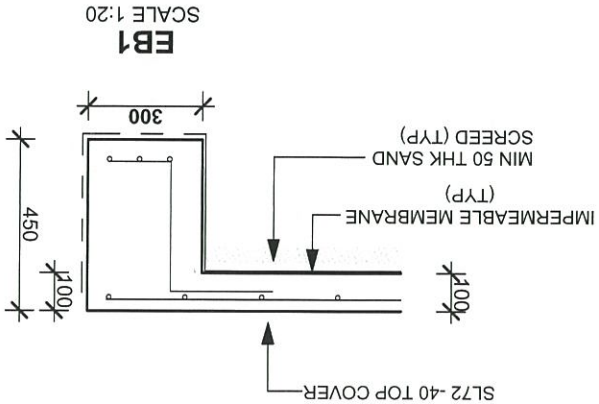
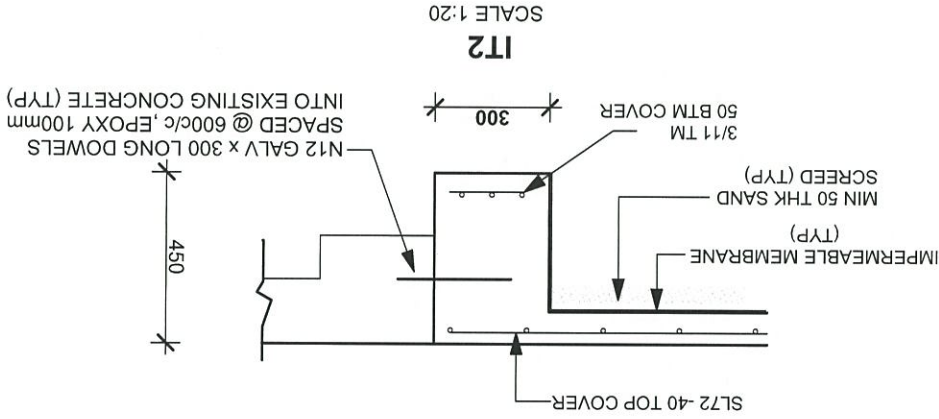
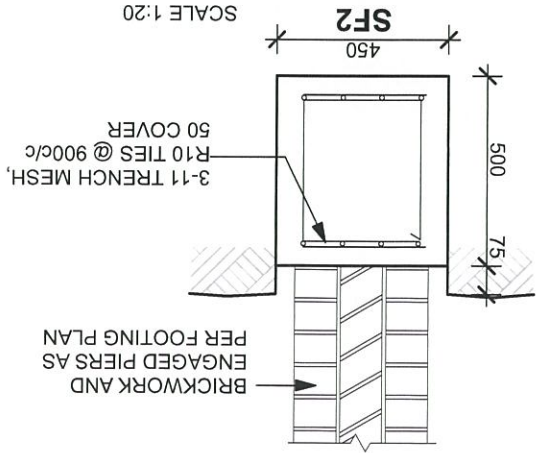
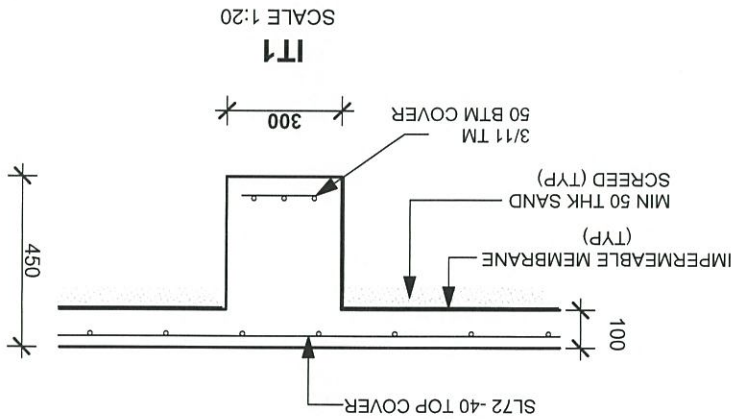
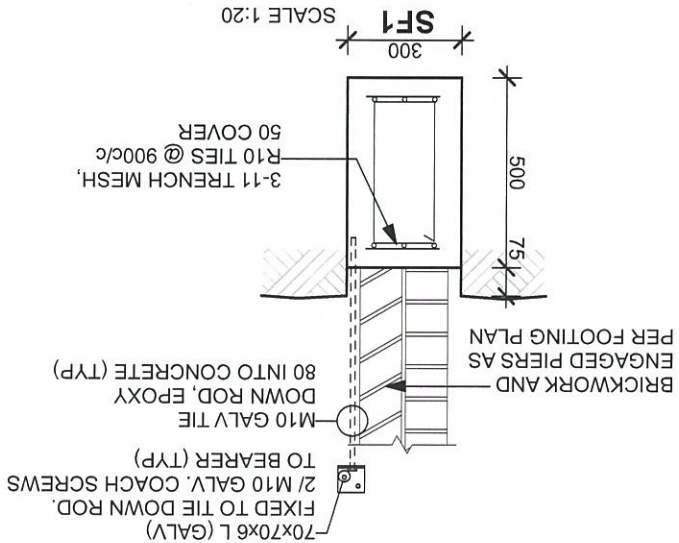
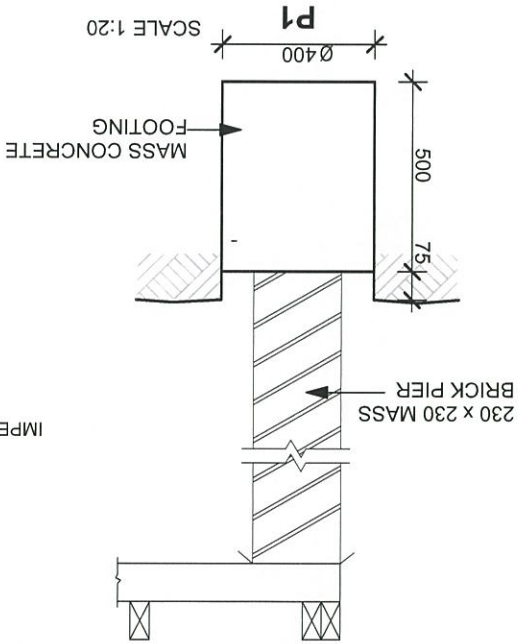
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SOIL CLASSIFICATION
ASSUMED
SITE CLASSIFICATION
WIND CLASSIFICATION

APPROVED: STRUCTURALLY ADEQUATE.
DAMIEN WARING-FLOOD (B.E.)

AWL ENGINEERING PTY LTD
ABN 23 151 752 564
28 MAHMHIRE ROAD,
WYEE NSW 2259
P: 0402 078 953
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DRAWN: BC
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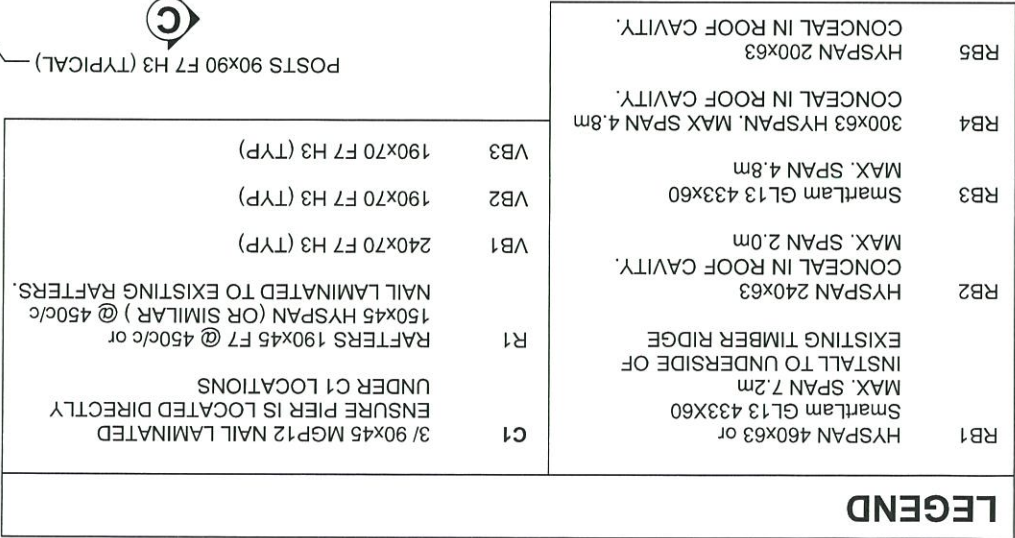
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scale AS NOTED (A3 SHEET)
drawn B.C.
file 114/2016
WD09 of 12

client MR & MRS B. JOHNSON
site LOT 33 DP 802761
66 HILLSBOROUGH ROAD,
HILLSBOROUGH NSW 2320
MAITLAND CITY COUNCIL
title ENGINEERING DETAILS
PROPOSED EXTENSION,
RENOVATION & GARAGE
&
DEVELOPMENT APPLICATION
CONSTRUCTION CERTIFICATE
project
Drawing :

Plot Date: 8/08/2016
Amendments :
Rev: Detail:
Date:



SCALE 1 : 100 @ A3



28 MAHNHIRE ROAD,

E: dbwtf@internode.on.net

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DAMIEN WARING-FLOOD (B.E)

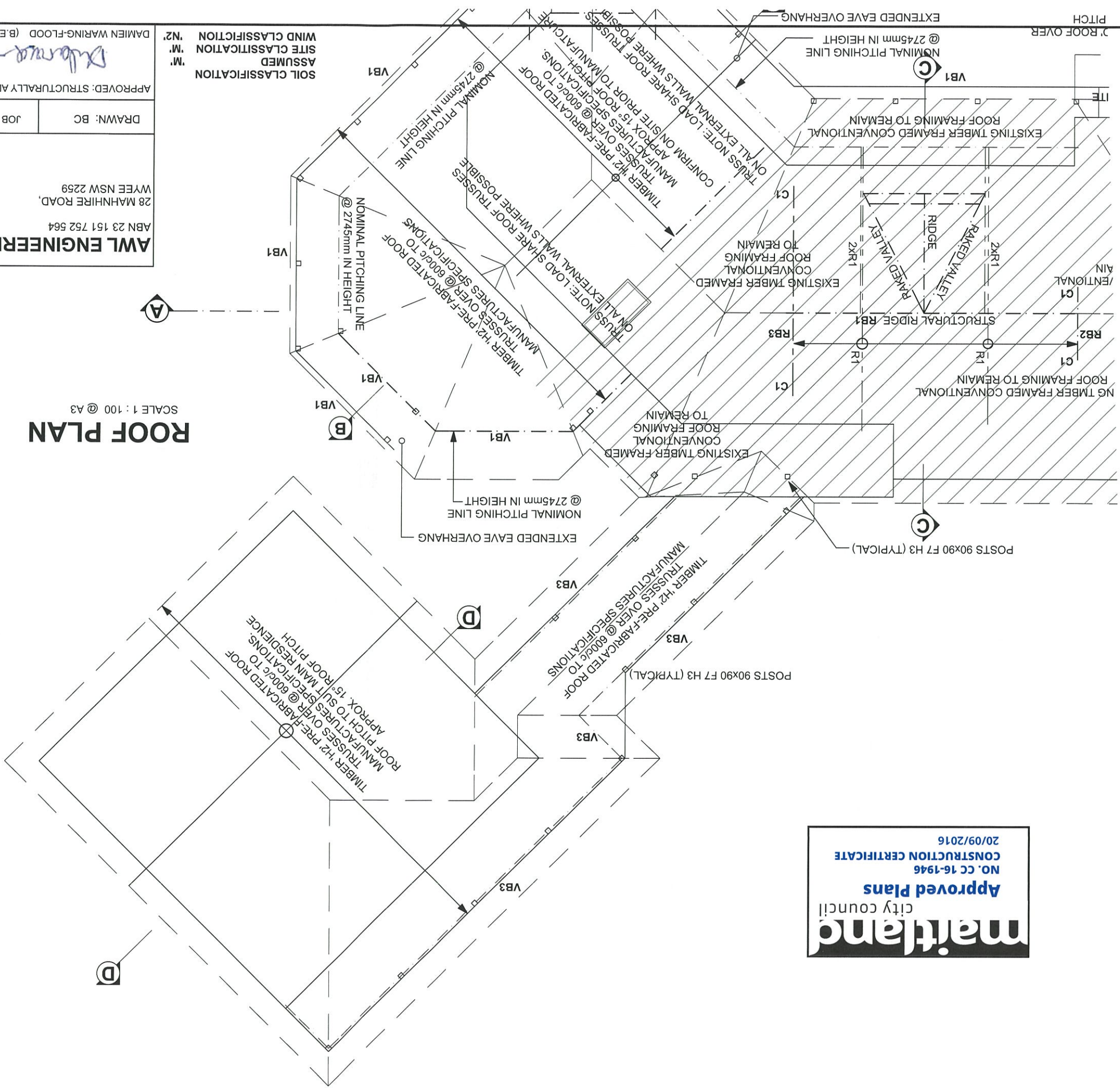
Debarwa - Chertik

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12 of 12

Plot Date:	8/08/2016
Amendments:	
Rev:	
Detail:	
Date:	



SCALE 1 : 100 @ A3
ROOF PLAN

AWL ENGINEERING PTY LTD ABN 23 151 752 564 28 MAHNNHIRE ROAD, WYEE NSW 2259 P: 0402 078 953 E: dbwf@internode.on.net		DRAWN: BC JOB 114 / 2016	APPROVED: STRUCTURALLY ADEQUATE. <i>Debra - Clerk</i>	DAMIEN WARING-FLOOD (B.E)
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Plot Date: 8/08/2016		Amendments:		Rev: Detail:	Date:
Project: DEVELOPMENT APPLICATION & CONSTRUCTION CERTIFICATE, PROPOSED EXTENSION, RENOVATION & GARAGE EXTENSION					
Title: GARAGE ROOF PLAN					
Client: MR & MRS B. JOHNSON					
Site: LOT 33 DP 802761 66 HILLSBOROUGH ROAD, HILLSBOROUGH NSW 2320 MAITLAND CITY COUNCIL					
Status: DA & CC Scale: AS NOTED (A3 SHEET) Drawn: B.C. File: 114/2016 WD11 of 12					
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